



DATE: January 4, 2019

File: PDP 18-01

TO: PLANNING COMMISSION

FROM: Shannon Costa, Assistant Planner (879-6807, [shannon.costa@chicoca.gov](mailto:shannon.costa@chicoca.gov))

RE: Eaton Ranch Planned Development Permit  
Located on the South Side of E. Eaton Rd between Floral Avenue and Ceanothus Avenue, APNs: 016-200-017 and 016-340-034

---

## SUMMARY

The applicant requests approval of a Planned Development Permit to construct a 257-unit apartment project on a vacant site consisting of two parcels totaling 15 acres. A Planned Development Permit is necessary to satisfy a condition of approval of the Mountain Vista Subdivision and Planned Development Permit (S/PDP 01-12) and the Sycamore Glen Subdivision and Planned Development Permit (S/PDP 00-11). The intended purpose of the Planned Development Permit is to ensure that a minimum number of multi-family residential housing units are constructed to meet required densities of the General Plan. No modifications of development standards are proposed as part of the Planned Development Permit.

The Architectural Review and Historic Preservation Board (ARHPB) has reviewed the site design and architecture and recommends approval, subject to conditions. Staff also recommends Commission approval of the project, subject to conditions.

### Recommendation:

Planning staff recommends adoption of Resolution No. 19-01 (**Attachment A**), approving the project, subject to the conditions contained therein.

### Proposed Motion:

I move that the Planning Commission adopt Resolution No. 19-01, approving the Eaton Ranch Planned Development Permit (PDP 18-01), subject to the conditions of approval contained therein.

## BACKGROUND

The applicant proposes to construct 19 apartment buildings with a total of 257 units, developed in two phases. The overall site is 15-acres in size, bounded by E. Eaton Road to the north, Floral Avenue to the west, Ceanothus Avenue to the east and a 40-foot-wide Pacific Gas and Electric (PG&E) easement to the south. The site is transected by public right-of-way for the future extension of Mariposa Avenue (see **Attachment B**, Location Map and **Attachment C**, Overall Site Plan). The site is zoned R3-AOC-PD (Medium-High Density Residential with Airport Overflight Zone C and Planned Development Permit overlay) and designated Medium High Density Residential on the General Plan Land Use Diagram. Surrounding land uses includes single family homes and a vacant parcel to the north, zoned

for commercial use.

### Planned Development Overlay

The project site is identified for multi-family residential development by the Mountain Vista Subdivision (S/PDP 01-12) and Sycamore Glen Subdivision (S/PDP 00-11) project approvals. As part of these approvals, a -PD overlay was applied where commercial and multi-family residential uses were proposed to set design parameters to ensure that future development would be harmonious and function effectively with the existing residential uses in the neighborhood. These approvals were designed such that residential densities appropriately increase in a north-to-south direction, with the highest densities occurring around the neighborhood commercial core (Floral Avenue and E. Eaton Road intersection). The design intention is that the larger single-family lots (lower density) are closest to the open space preserve and the higher multi-family uses (higher density) are closest to the commercial uses and larger roadways. These approvals stipulate that the total number of units required for Phase I (Lot 215, Mountain Vista Subdivision) is 114 units and the total of number of units required for Phase II (Lot 199, Sycamore Glen Subdivision) is 143 units (257 units total). The proposed project is consistent with the densities adopted for the Mountain Vista/Sycamore Glen projects. No modifications to design standards are proposed.

### Phase I and Phase II Architecture

The overall project design for Phase I and Phase II features a bungalow-agrarian style architecture, consistent with the surrounding single-family residential development. Apartment buildings would be a combination of four building types; Building Type A would contain 12 units and 14 private ground-floor garages, Building Type B would contain 16 units, Building Type C would contain 11 units, and Building Type D would contain 11 units. Each building, including the amenities building, would feature identical architectural styling with minor distinguishing details.

Apartment buildings would be two-stories in height with an assortment of exterior finishes and colors (see **Attachment D**, Apartment Building Elevations). The main body of each building would be fiber cement in variations of beige and brown with accent colors in green and brown. Building masses would be differentiated by varied gable roof planes and heights. Amenities buildings, such as the cabana building and leasing office, would be single story and feature architectural styling consistent with the apartment buildings (see **Attachment E**, Amenities Elevations).

A variety of textures and materials would be used on the exterior of the buildings, including wood-grain lap siding, wood-grain vertical siding, stucco and wood-grain cement fiber panels. Window glazing would be white vinyl and outdoor private patio areas would be enclosed by vertical wood-grain panels in dark brown (see **Attachment F**, Colors and Materials). As mentioned, Building Type A would feature first-floor private garages featuring metal garage doors in dark brown. Steel-post carport structures would be located through the parking lot featuring a metal posts and roof. Trash enclosures located throughout the site would be CMU brick with metal trellis covers. These structures would be painted to match the color scheme of the apartments. Ground-mounted HVAC units and building-mounted gas meters are screened from public view by a low, metal-mesh fence panel and extensive landscape treatment.

### Phase I and Phase II Landscaping

The landscape plan calls for a variety of species, predominately with low to moderate water demands (see **Attachment G**, Phase I and Phase II Landscape Plan). Ample landscaping is provided throughout both parcels, with close attention paid to areas surrounding amenities. The base of each building would feature extensive ground cover, including star jasmine and creeping germander. The E. Eaton Road frontage would include rows of elm trees with various shrubs and groundcover throughout the parkway. Site lighting is provided by box fixtures mounted 14-feet in height, bollards located throughout pedestrian walkways, and lights mounted beneath carport. All exterior lighting would be low-intensity and energy efficient.

The site plan demonstrates the layout of the proposed project, including the location and orientation of the buildings, pool and other tenant amenities, landscaping, trash enclosure, carports and site lighting. The specific site plan aspects of each phase will be discussed separately below.

### Phase I Site Plan

Phase I is located on the south side of E. Eaton Road, between Floral Avenue and Mariposa Avenue (see **Attachment H**, Phase I Site Plan). The site would include a total of 10 buildings as well as resident amenities, including a pool, clubhouse and cabana, fitness room and leasing office. The apartment buildings are oriented such that four buildings would front E. Eaton Road, while buildings closer to the rear of the site would be situated perpendicularly, reducing building interface with the adjacent residential neighbors.

Resident amenities would be situated central to the site surrounding an outdoor pool and patio area. A large amenities building would be located northeasterly of the outdoor pool area and would contain a leasing/staff office, yoga studio, business center, clubhouse, game room and mail room. A smaller cabana building would be situated west of the pool and would contain a shaded lounging area. A pet spa, bike repair area and pool equipment storage building would be located adjacent to the cabana building. The entire amenities area would be enclosed by a six-foot-tall horizontal wood fence and extensive landscaping.

A total of 265 vehicle parking spaces are provided on the Phase I site. Parking is provided by; 42 private garage spaces located within the first-floor of Buildings 4, 5, and 9; 109 spaces covered by metal carport structures, or; 114 open parking spaces. Parking lot shade, which is estimated to reach 52-percent at full tree maturity, is provided by scarlet oak and cork oak trees. The site is accessed by two entry points; primary access would be from a four-lane entry from E. Eaton Road and secondary access would be provided by a single-lane access point on Mariposa Avenue. Each access point would be secured by an electric gate that would remain open during daytime hours and would close in evening/nighttime hours. Tenants would be able to access the site through a keypad entry, or with a remote control.

### Phase II Site Plan

Phase II is located on the south side of E. Eaton Road, between Mariposa Avenue and Ceanothus Avenue, adjacent to the PG&E substation (see **Attachment I**, Phase II Site Plan). The site would include a total of nine apartment buildings as well as resident amenities, including a pool, clubhouse and fitness room. The apartment buildings are oriented such that

three buildings would front E. Eaton Road, while buildings closer to the rear of the site would be situated perpendicularly, reducing building interface with the adjacent residential neighbors.

A total of 217 vehicle parking spaces are provide on the Phase II site. Parking is provided by; 42 private garage spaces located within the first-floor of Buildings 2, 8, and 9; 83 carport parking spaces, or; 90 open parking spaces. Parking areas associated with the project are located towards the interior and sides of the site, screened from view by buildings and landscape features. The site is accessed by two entry points; primary access would be taken from a four-lane gated entry from E. Eaton Road and secondary access would be provided by a single-lane entry on Ceanothus Avenue. Each access point would be secured by an electric gate that would remain open during daytime hours and would close in evening/nighttime hours. Tenants would be able to access the site through a keypad entry, or with a remote control.

### **Prior Review**

The Architectural Review and Historic Preservation Board reviewed the project at its December 19, 2018 meeting. Several people spoke during the public hearing; two people, including a neighbor to the project site, spoke in favor of the project, citing the applicant's history of quality projects in Chico and other communities. One person, Mr. Will Clark, spoke against the proposal, questioning the project's compatibility with the surrounding single-family homes and concern for increased traffic on Ceanothus Avenue. Brendan Ottoboni, Director of Public Works, was available to provide clarification on the future expansion of E. Eaton Road; Mr. Ottoboni explained that as a result of this project, E. Eaton Road would be fully expanded to four lanes across the project site, and that Mariposa Avenue would be extended to connect to E. Eaton Road. Mr. Ottoboni also explained that the E. Eaton Road connection to the Bruce Road roundabout near Wildwood Park should be complete in 2019, which will alleviate some traffic congestion in the area.

Since the date of this meeting, Mr. Clark submit an appeal letter to the City Clerk's office (see **Attachment J**, Mr. Clark Letter). Mr. Clark was informed that because the action of the Board was comprised of only a recommendation it could not be appealed, and that the project would be heard by the Planning Commission for final decision. In his letter, Mr. Clark identified three areas of concern, which are described below with a brief staff response:

1. Incompatibility with multi-family development near existing single-family development.

*Staff response:* The corner of Floral Avenue and E. Eaton Road was identified in the Mountain Vista/Sycamore Glen approvals as a mixed-use neighborhood center, with residential densities appropriately increasing in a north-to-south direction, with the highest densities occurring around the neighborhood commercial core (Floral Avenue and E. Eaton Road intersection). The design intention is that the larger single-family lots (lower density) are closest to the open space preserve and the higher multi-family uses (higher density) are closest to the commercial uses and larger roadways. The Mountain Vista/Sycamore Glen approvals identified the minimum number of units to be constructed at each site, which the proposal complies with. The project has been designed to be architecturally compatible with the surrounding single-family developments, matching architectural features, style and color themes.

2. Significant traffic impacts on Ceanothus Avenue:

*Staff response:* Ceanothus Avenue is identified as a Collector Street in the General Plan and these streets are intended to provide a link between local streets and arterials. Ceanothus Avenue is generally 62-feet-wide, allowing for travel lanes, on-street parking and separated sidewalks. It is also expected that future improvements to the Eaton Road corridor (extension of Mariposa Avenue and through connection of Eaton Road) will disperse traffic in the area.

3. No dedicated turn lane on Ceanothus Avenue will cause traffic to back up:

*Staff response:* Approximately 30 peak-hour trips will be added to Ceanothus Avenue as a result of the project. It is anticipated that some of the existing traffic from Ceanothus Avenue will be shifted to Mariposa Avenue and Eaton Road after Mariposa Avenue is extended to Eaton Road and Eaton Road is connected through the Bruce Road round-a-bout. It is projected that there will be a minimal net gain of traffic on Ceanothus Avenue, therefore it is not anticipated that traffic would stack-up.

The Architectural Review and Historic Preservation Board (ARHPB) voted unanimously to recommend conditional approval with the following suggestions:

1. The applicant shall include a children's play structure ("tot area") on the site plan.
2. The applicant shall insure there will be a diversity of color schemes for building that front E. Eaton Road (no two buildings of the same color shall be next to each other).

These items have been added as Condition #4 and #5 on the attached resolution (see **Attachment A, Exhibit I**).

## **DISCUSSION**

The proposed project would establish a medium-high density residential use on a site identified for multi-family residential development on the City of Chico zoning map and General Plan Land Use Designation. The proposal is compatible with the surrounding single-family homes developed as part of the Mountain Vista/Sycamore Glen developments, matching architectural features, style and color themes.

The project is consistent with General Plan policies that encourage compatible infill development (LU-4.2 and LU-4.3), context-sensitive design (CD-5.2 and CD-5.3) and providing an adequate supply of rental housing to meet a wide range of renters and future needs throughout the city (H.3, H.3.2, and H.3.4). The placement of the buildings on the site is consistent with policies that encourage orientating multi-family housing developments and front entries towards to the street (DG 4.1.13 and 4.1.35). The parking area is located to the rear of the buildings, providing vehicle visibility to residents while reducing views of automobiles from the public street (DGs 1.1.14, 4.1.52, and 4.1.53). The project includes a shared recreational area consistent with Design Guidelines (DGs) that call for incorporating common space into the project design (DGs 1.1.42, 4.1.42, 4.1.43, and 4.1.45).

### Traffic and Circulation

The project site is in an area where public facilities are adequate to support the proposed density for the project. East Eaton Road is identified as an Expressway in the General Plan.

This street classification is designed to carry heavy traffic volumes at speeds of 40-55 miles per hour, therefore, access taken from these streets is limited. Eaton Ranch Phase I is between Floral Avenue and Mariposa Avenue, which are identified as Arterials in the General Plan. The primary function of these streets is to move large volumes of traffic between freeways and other arterials. Phase II is located between Mariposa Avenue and Ceanothus Avenue. Ceanothus Avenue is identified as a Collector street in the General Plan and these streets are intended to provide a link between local streets and arterials.

Public improvements would include constructing new curb, gutter and sidewalk along the Ceanothus Avenue and Floral Avenue frontages, the extension of Mariposa Avenue to E. Eaton Road, and the expansion of E. Eaton Road to four lanes across the project site. Additionally, the project will pay the appropriate City of Chico standard Transportation Facility Fees for added traffic on the roadway system.

#### Neighborhood Meeting

On October 22, 2018, a neighborhood meeting was held at the project site. The meeting was attended by the project applicant, engineer, contractor, landscape architect, City staff and approximately 27 neighbors. The project consultant presented the project and answered questions, mostly about the height of the structures, if the units would be market rate or designated for low income, and what the rear fencing/landscaping design would be. Project representatives answered questions and displayed illustrations depicting the proposed two-story buildings, the approximately 35-foot rear year separation with the residential neighbors and clarified that the units would be market-rate (see **Attachment K**, Neighborhood Meeting Minutes).

### **REQUIRED FINDINGS FOR APPROVAL**

#### Environmental

The project falls within the scope of the Environmental Impact Report (EIR) for the Mountain Vista/Sycamore Glen Vesting Tentative Subdivision/Planned Development Permit (S/PDP 01-12 and S/PDP 00-11), which was certified by the City Council on July 17, 2007. Pursuant to Section 15162 of the California Environmental Quality Act, no subsequent environmental review is necessary, as there have been no substantial changes to the project which would require revisions of the EIR, no substantial changes have occurred with respect to the circumstances under which the project is being undertaken which would require major revisions of the EIR, and no new information has become available which was not known and could not have been known at the time the EIR was completed.

### **REQUIRED FINDINGS FOR APPROVAL**

#### Planned Development Permit Findings (CMC Section 19.28.060)

Following a public hearing, the Planning Commission may approve or conditionally approve a planned development permit only after making all of the following findings:

1. *The proposed development is allowed within the zoning district and generally complies with all of the applicable provisions of City of Chico Title 19 regulations with modifications as specifically approved, and applicable project design guidelines.*

The proposed multi-family residential development is allowed within the subject R3 (Medium-High Density Residential) zoning district and generally complies with applicable design guidelines and applicable provisions of Title 19 Land Use Regulations. No deviations to design standards are requested with this Planned Development permit. Regarding design guideline compliance, the placement of the buildings on the site is consistent with policies that encourage orientating multi-family housing developments and front entries towards to the street (DG 4.1.13 and 4.1.35). The parking area is located to the rear of the buildings, providing vehicle visibility to residents while reducing views of automobiles from the public street (DGs 1.1.14, 4.1.52, and 4.1.53). The project includes a shared recreational area consistent with Design Guidelines (DGs) that call for incorporating common space into the project design (DGs 1.1.42, 4.1.42, 4.1.43, and 4.1.45).

2. *The proposed development would be harmonious and compatible with existing and future developments within the zoning district and general area, as well as with the land uses presently on the subject property.*

The Project is compatible with the surrounding single-family homes developed as part of the Mountain Vista/Sycamore Glen developments, matching architectural features, style and color themes. Ground-mounted utilities would be hidden from view, and the trash area would be appropriately screened (DG 3.1.35). The parking lot features appropriate lighting that would not create unnecessary glare impacts on residents or neighboring properties (DG 4.1.44).

3. *The proposed entitlement is consistent with the General Plan.*

At 17 dwelling units per acre the proposal falls within the allowable density range for the R3 zone (16 to 22 units per acre). The project is consistent with several General Plan policies, including those that encourage compatible infill development (LU-1, LU-4, and CD-5) context-sensitive design (CD-5.2 and CD-5.3) and providing an adequate supply of rental housing to meet a wide range of renters and future needs throughout the city (H.3, H.3.2, and H.3.4).

4. *The site is physically suitable for the type and density and/or intensity of use being proposed.*

The project site is physically suitable for a multi-family residential use in that it is adjacent to existing residential uses and necessary utilities and infrastructure are available to serve the project. The proposed structures are compatible with the site in that they provide functional, adequate setbacks, with the off-street parking and recreation area located on the Project interior.

5. *There are adequate provisions for public and emergency vehicle access, sanitation, water, and public utilities and services to ensure that the proposed development would not be detrimental to public health and safety.*

The existing streets provide adequate public and emergency vehicle access, sanitation, water, and public utilities and services to ensure that the project would not be detrimental to public health and safety, in that the City's sanitary sewer system has adequate capacity to serve the project; domestic water will be provided by California Water Service Company; and storm water facilities will be constructed in accordance

with adopted City standards.

6. *The design, location, size and operating characteristics of the proposed development would not be detrimental to the public interest, health, safety, convenience, or welfare of the City.*

The design, location, size, and operating characteristics of the project will comply with all City zoning, building, and public improvement standards and, therefore, the project would not be detrimental to the public interest, health, safety, convenience, or welfare of the City. The proposal would introduce two-story buildings in an area predominantly developed with single-story homes, however, placement of the buildings towards the front of the site would reduce building interface with the adjacent neighbors. Exterior equipment will be properly screened in the rear yards of each unit by fences or painted to match the structures. Parking lot lighting is proposed at a pedestrian scale and will not result in any unnecessary source of glare or contribution to the night sky pollution.

7. *The proposed development is consistent with the purpose of [CMC 19.28.010].*

While no deviations from design standards are requested in this permit, the project offers an innovative housing design, is consistent with the General Plan and design guidelines as outlined above, includes open space as an integral part of the overall project design, and promotes development in the community which, has been demonstrated to be of greater quality or community benefit than might occur with a conventional development proposal.

## **PUBLIC CONTACT**

A 10-day public hearing notice was mailed to all landowners and residents within 500 feet of the site. A legal notice was also placed in the *Chico Enterprise Record*.

## **DISTRIBUTION:**

PC Distribution  
Bruce Ambo, Principle Planner  
Shannon Costa, Assistant Planner  
File: PDP 18-01

## **External**

Channel Properties, c/o Mark Funseth, 1850 Soscol Avenue, suite 207, Napa, Ca 94559  
([mfunseth@channelprop.com](mailto:mfunseth@channelprop.com))  
FAE Holdings, LLC, 100 W. Cutting Blvd, Richmond, CA 94804  
Rural Consulting Associates, attn.: Jim Mann, 140 Yellowstone Drive, Suite 160, Chico, CA 95973 ([jimatrural@aol.com](mailto:jimatrural@aol.com))

## **ATTACHMENTS:**

- A. Planning Commission Resolution No. 19-01  
Exhibit I Conditions of Approval
- B. Location Map
- C. Overall Site Plan
- D. Apartment Building Elevations
- E. Amenities Building Elevations



- F. Colors and Materials
- G. Phase I and Phase II Landscape Plan
- H. Phase I Site Plan
- I. Phase II Site Plan
- J. Mr. Clark Letter
- K. Neighborhood Meeting Minutes

1 RESOLUTION NO. 19-01

2 RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CHICO  
3 CONDITIONALLY APPROVING THE EATON RANCH PLANNED  
4 DEVELOPMENT PERMIT PDP 18-01  
5 (Eaton Ranch)

6 WHEREAS, Channel Properties has submitted a planned development permit application  
7 to construct 257 new residential units located on the south side of E. Eaton Road, between Floral  
8 Avenue and Ceanothus Avenue, identified as Assessor's Parcel Nos. 016-200-117 and 016-340-  
9 034 (the "Project"); and

10 WHEREAS, the Planning Commission considered the Project, staff report,  
11 recommendation from the Architectural Review and Historic Preservation Board, and comments  
12 submitted at a noticed public hearing held on December 19, 2018; and

13 WHEREAS, the Project falls within the scope of the Environmental Impact Report (EIR)  
14 for the Mountain Vista/Sycamore Glen Vesting Tentative Subdivision/Planned Development  
15 Permit (S/PDP 01-12 and S/PDP 00-11), which was certified by the City Council on July 17,  
16 2007. Pursuant to Section 15162 of the California Environmental Quality Act, no subsequent  
17 environmental review is necessary, as there have been no substantial changes to the project  
18 which would require revisions of the EIR, no substantial changes have occurred with respect to  
19 the circumstances under which the project is being undertaken which would require major  
20 revisions of the EIR, and no new information has become available which was not known and  
21 could not have been known at the time the EIR was completed.

22 NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF  
23 THE CITY OF CHICO AS FOLLOWS:

- 24 1. With regard to the Planned Development Permit the Planning Commission finds that:
- 25 A. The proposed multi-family residential development is allowed within the subject R3  
26 (Medium-High Density Residential) zoning district and generally complies with  
27 applicable design guidelines and applicable provisions of Title 19 Land Use  
28 Regulations. No deviations to design standards are requested with this Planned  
Development permit. Regarding design guideline compliance, the placement of the

1 buildings on the site is consistent with policies that encourage orientating multi-family  
2 housing developments and front entries towards to the street (DG 4.1.13 and 4.1.35).  
3 The parking area is located to the rear of the buildings, providing vehicle visibility to  
4 residents while reducing views of automobiles from the public street (DGs 1.1.14,  
5 4.1.52, and 4.1.53). The project includes a shared recreational area consistent with  
6 Design Guidelines (DGs) that call for incorporating common space into the project  
7 design (DGs 1.1.42, 4.1.42, 4.1.43, and 4.1.45).

8 B. The Project is compatible with the surrounding single-family homes developed as part of  
9 the Mountain Vista/Sycamore Glen developments, matching architectural features, style  
10 and color themes. Ground-mounted utilities would be hidden from view, and the trash  
11 area would be appropriately screened (DG 3.1.35). The parking lot features appropriate  
12 lighting that would not create unnecessary glare impacts on residents or neighboring  
13 properties (DG 4.1.44).

14 C. At 17 dwelling units per acre the proposal falls within the allowable density range for  
15 the R3 zone (16 to 22 units per acre). The project is consistent with several General Plan  
16 policies, including those that encourage compatible infill development (LU-1, LU-4, and  
17 CD-5) context-sensitive design (CD-5.2 and CD-5.3) and providing an adequate supply  
18 of rental housing to meet a wide range of renters and future needs throughout the city  
19 (H.3, H.3.2, and H.3.4).

20 D. The Project site is physically suitable for a multi-family residential use in that it is  
21 adjacent to existing residential uses and necessary utilities and infrastructure are  
22 available to serve the Project. The proposed structures are compatible with the site in  
23 that they provide functional, adequate setbacks, with the off-street parking and  
24 recreation area located on the Project interior.

25 E. The existing streets provide adequate public and emergency vehicle access, sanitation,  
26 water, and public utilities and services to ensure that the Project would not be  
27 detrimental to public health and safety, in that the City's sanitary sewer system has  
28 adequate capacity to serve the Project; domestic water will be provided by California

1 Water Service Company; and storm water facilities will be constructed in accordance  
2 with adopted City standards.

3 F. The design, location, size, and operating characteristics of the Project will comply with  
4 all City zoning, building, and public improvement standards and, therefore, the Project  
5 would not be detrimental to the public interest, health, safety, convenience, or welfare of  
6 the City. The proposal would introduce two-story buildings in an area predominantly  
7 developed with single-story homes, however, placement of the buildings towards the  
8 front of the site would reduce building interface with the adjacent neighbors. Exterior  
9 equipment will be properly screened in the rear yards of each unit by fences or painted  
10 to match the structures. Parking lot lighting is proposed at a pedestrian scale and will not  
11 result in any unnecessary source of glare or contribution to the night sky pollution.

12 G. The Project is consistent with the purpose of Chico Municipal Code Chapter 19.28  
13 (*Planned Development*). While no deviations from design standards are requested in this  
14 permit, the Project offers an innovative housing design, is consistent with the General  
15 Plan and design guidelines as outlined above, includes open space as an integral part of  
16 the overall project design, and promotes development in the community which, has been  
17 demonstrated to be of greater quality or community benefit than might occur with a  
18 conventional development proposal.

19 2. Based on all of the above, the Planning Commission hereby approves the Project, subject to  
20 the conditions set forth in Exhibit I, attached hereto.

21 3. The Planning Commission hereby specifies that the materials and documents which  
22 constitute the record of proceedings upon which its decision is based are located at and  
23 under the custody of the City of Chico Community Development Department.

24

25 THE FOREGOING RESOLUTION WAS ADOPTED at a meeting of the Planning Commission  
26 of the City of Chico held on \_\_\_\_\_, by the following vote:

27 //

28 AYES:

1  
2  
3  
4  
5  
6  
7  
8  
9  
10  
11  
12  
13  
14  
15  
16  
17  
18  
19  
20  
21  
22

NOES:  
ABSENT:  
ABSTAIN:  
DISQUALIFIED:  
ATTEST:

APPROVED AS TO FORM:

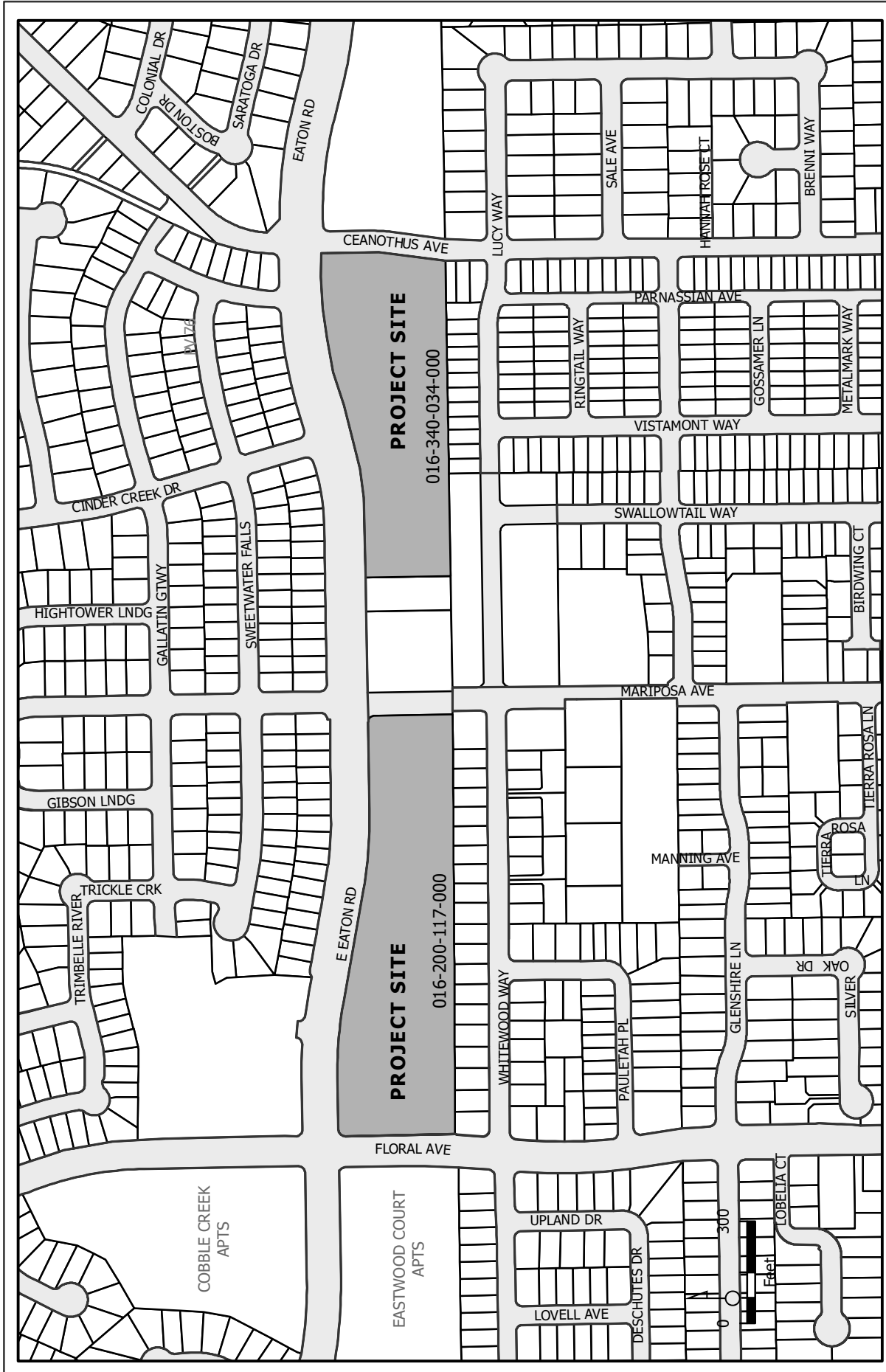
\_\_\_\_\_  
BRUCE AMBO  
Planning Commission Secretary

\_\_\_\_\_  
ANDREW L. JARED  
Assistant City Attorney\*

\* Pursuant to The Charter of  
the City of Chico, Section 906(E)

**EXHIBIT “I”**  
**CONDITIONS OF APPROVAL**  
**Eaton Ranch Planned Development Permit (PDP 18-01)**  
**(Eaton Ranch)**

1. All approved building plans and permits shall note on the cover sheet that the project shall comply with PDP 18-01 (Channel Eaton Road).
2. All wall-mounted utilities and roof or wall penetrations, including vent stacks, utility boxes, exhaust vents, gas meters and similar equipment, shall be screened by appropriate materials and colors. Adequate screening shall be verified by Planning staff prior to issuance of a certificate of occupancy.
3. All new electric, telephone, and other wiring conduits for utilities shall be placed underground in compliance with CMC 19.60.120.
4. The applicant shall include a children’s play structure (“tot area”) on the site plan.
5. The applicant shall insure there will be a diversity of color schemes for building that front E. Eaton Road (no two buildings of the same color shall be next to each other).









PDP 18-01 (Channel Eaton Road, PDP)  
 South side of E Eaton Rd between Floral and Ceanothus Aves  
 APNs: 016-200-017 and 016-340-034

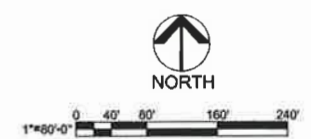
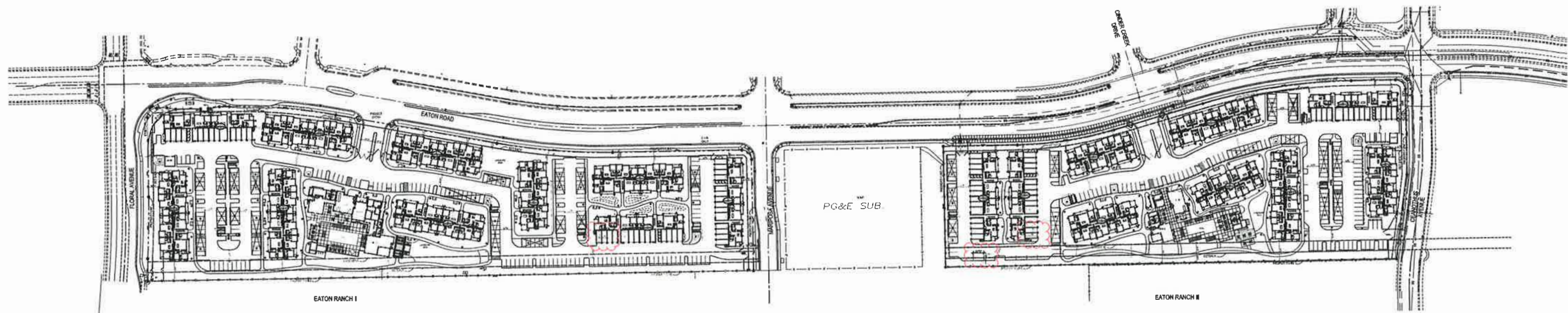
PARKING REQUIRED				
DU	SPACES/DU	EATON RANCH I	EATON RANCH II	TOTAL
1 BR	1.25	49	43	91
2 BR	1.75	147	109	256
3 BR	2.0	40	36	76
SUBTOTAL		236	187	423
GUEST	0.2	29	23	52
TOTAL		264	210	475
REQ. ACCESSIBLE STALLS		7	5	12
(INCL. IN TOTAL)				
MIN. 1 COVERED STALL PER UNIT				

PARKING PROVIDED			
PARKING TYPE	EATON RANCH I	EATON RANCH II	TOTAL
GARAGES	41	41	82
2% ACCESSIBLE GARAGE	1	1	2
CARPORT	106	83	189
2% ACCESSIBLE CARPORT	3	2	5
OPEN	111	87	198
2% ACCESSIBLE OPEN	3	3	6
TOTAL	265	217	482

**KEYNOTE LEGEND**

-  LIGHTING
-  CONDENSER
-  TRANSFORMER
-  TRASH ENCLOSURE
-  GAS METER
-  WATER HEATER

RECEIVED  
 OCT 31 2018  
 CITY OF CHICO  
 PLAN ENGINEERING SERVICES



OVERALL SITE PLAN **A1.2**

**EATON RANCH**  
 CHANNEL PROPERTIES  
 1850 SOCOL AVE., SUITE 207 NAPA, CA 94559  
 707-252-5460

CHICO, CA

DATE: 09-26-18  
 JOB NO.: 2018-369  
**ARCHITECTS ORANGE**  
 144 NORTH ORANGE ST., ORANGE, CA 92866  
 (714) 639-9860





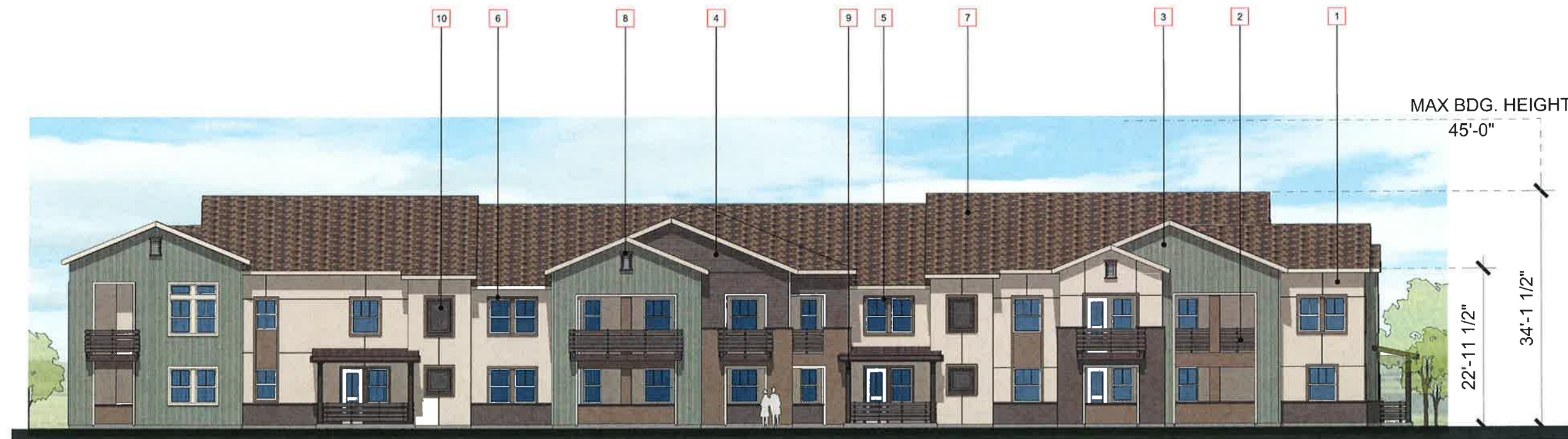
**MATERIAL / COLOR LEGEND**

- 1 EXTERIOR PLASTER
- 2 COMPOSITE SLATS RAILING
- 3 BOARD AND BATTEN SIDING (FIBER CEMENT)
- 4 HORIZONTAL SIDING (FIBER CEMENT)
- 5 VINYL WINDOWS
- 6 STUCCO OVER FOAM TRIM
- 7 COMPOSITION ROOF TILES
- 8 DECORATIVE LOUVERED VENT
- 9 DECORATIVE WOOD POST
- 10 DECORATIVE METAL MESH GRILLE
- 11 METAL SECTIONAL GARAGE DOOR



LEFT ELEVATION 2

RECEIVED  
 SEP 12 2018  
 CITY OF CHICO  
 PLANNING SERVICES



FRONT ELEVATION 1



Friday, September 07, 2018 12:20:08 PM S:\2018\2018-369 CHANNEL EATON RD RESIDENTIAL CHICO\TITLEMENTS\18-369\_A2.2 BUILDING A ELEVATIONS.DWG

**EATON RANCH**  
 CHANNEL PROPERTIES  
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559  
 707-252-5460

CHICO, CA

BUILDING "A" ELEVATIONS

**A2.2**

DATE: 09-10-2018  
 JOB NO.: 2018-369

**ARCHITECTS ORANGE**  
 144 NORTH ORANGE ST., ORANGE, CA 92866  
 (714) 639-9860



Attachment D

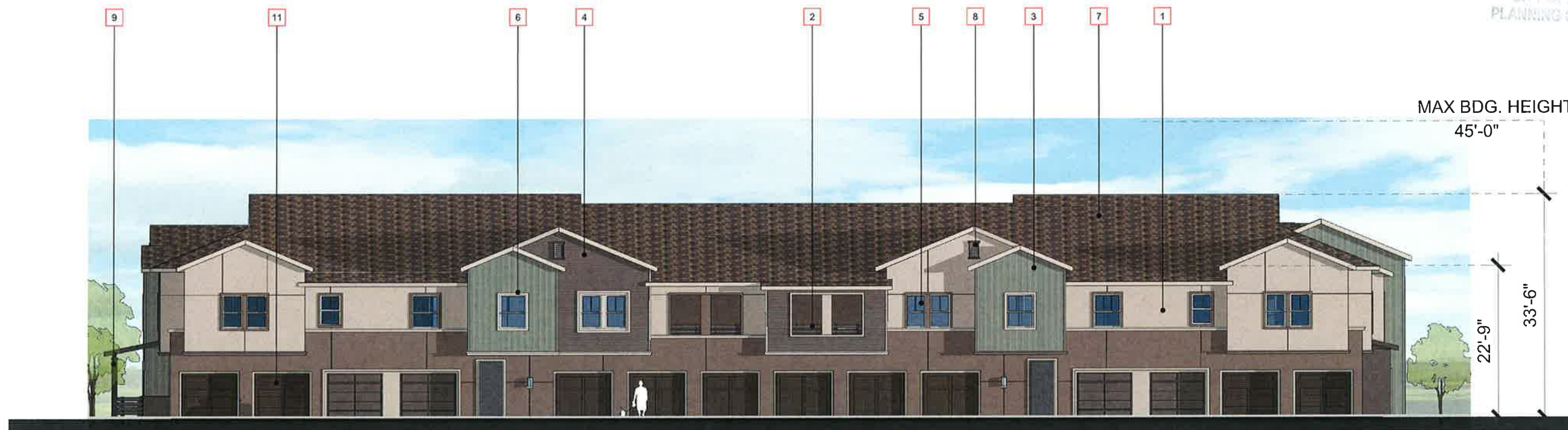
**MATERIAL / COLOR LEGEND**

- 1 EXTERIOR PLASTER
- 2 COMPOSITE SLATS RAILING
- 3 BOARD AND BATTEN SIDING (FIBER CEMENT)
- 4 HORIZONTAL SIDING (FIBER CEMENT)
- 5 VINYL WINDOWS
- 6 STUCCO OVER FOAM TRIM
- 7 COMPOSITION ROOF TILES
- 8 DECORATIVE LOUVERED VENT
- 9 DECORATIVE WOOD POST
- 10 DECORATIVE METAL MESH GRILLE
- 11 METAL SECTIONAL GARAGE DOOR



RIGHT ELEVATION 4

RECEIVED  
 SEP 12 2018  
 CITY OF CHICO  
 PLANNING SERVICES



REAR ELEVATION 3



Friday, September 07, 2018 12:20:21 PM  
 S:\2018\2018-369 CHANNEL EATON RD RESIDENTIAL CHICO\TITLEMENTS\18-368\_A2\_2 BUILDING A ELEVATIONS DWG

**EATON RANCH**  
 CHANNEL PROPERTIES  
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559  
 707-252-5460

CHICO, CA

BUILDING "A" ELEVATIONS

**A2.3**

DATE: 09-10-2018  
 JOB NO.: 2018-369

**ARCHITECTS ORANGE**  
 144 NORTH ORANGE ST., ORANGE, CA 92866  
 (714) 639-9860



Attachment D

**MATERIAL / COLOR LEGEND**

- 1 EXTERIOR PLASTER
- 2 COMPOSITE SLATS RAILING
- 3 BOARD AND BATTEN SIDING (FIBER CEMENT)
- 4 HORIZONTAL SIDING (FIBER CEMENT)
- 5 VINYL WINDOWS
- 6 STUCCO OVER FOAM TRIM
- 7 COMPOSITION ROOF TILES
- 8 DECORATIVE LOUVERED VENT
- 9 DECORATIVE WOOD POST
- 10 DECORATIVE METAL MESH GRILLE
- 11 METAL SECTIONAL GARAGE DOOR



LEFT ELEVATION 2

RECEIVED  
 SEP 12 2018  
 CITY OF CHICO  
 PLANNING SERVICES



FRONT ELEVATION 1



BUILDING "B" ELEVATIONS

A3.2

**EATON RANCH**  
 CHANNEL PROPERTIES  
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559  
 707-252-5460

CHICO, CA

DATE: 09-10-2018  
 JOB NO.: 2018-369

**ARCHITECTS ORANGE**  
 144 NORTH ORANGE ST., ORANGE, CA 92866  
 (714) 639-9860

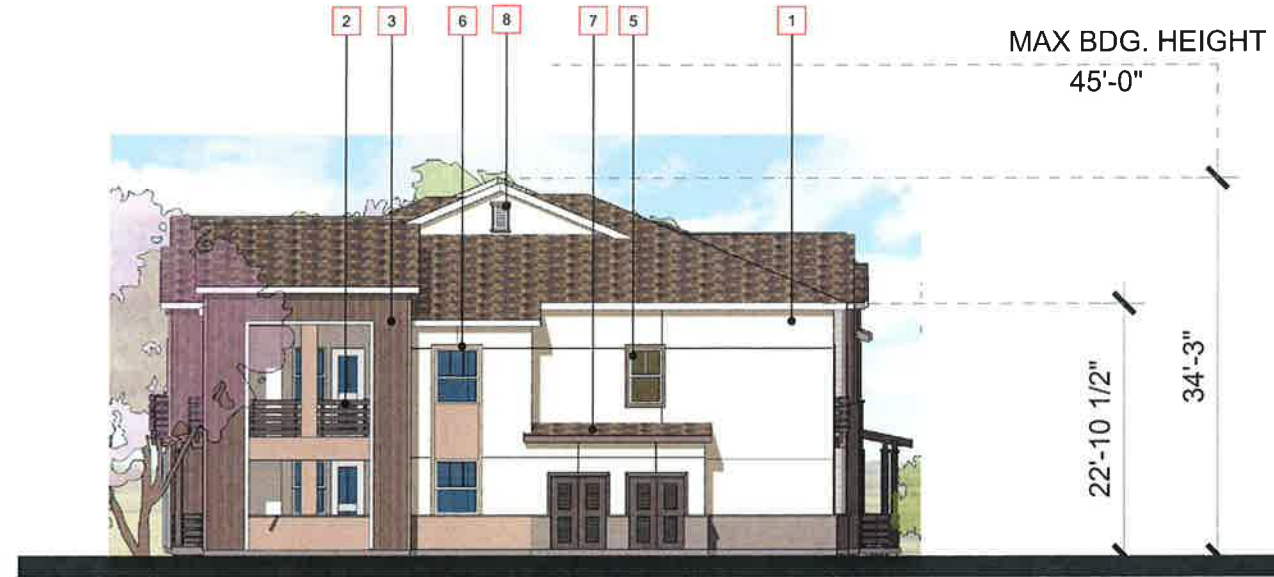


Attachment D

Friday, September 07, 2018, 12:20:43 PM  
 S:\2018\2018-369 CHANNEL EATON RD RESIDENTIAL CHICCO\TITLEMENTS\18-369\_A3.2 BUILDING B ELEVATIONS.DWG

**MATERIAL / COLOR LEGEND**

- 1 EXTERIOR PLASTER
- 2 COMPOSITE SLATS RAILING
- 3 BOARD AND BATTEN SIDING (FIBER CEMENT)
- 4 HORIZONTAL SIDING (FIBER CEMENT)
- 5 VINYL WINDOWS
- 6 STUCCO OVER FOAM TRIM
- 7 COMPOSITION ROOF TILES
- 8 DECORATIVE LOUVERED VENT
- 9 DECORATIVE WOOD POST
- 10 DECORATIVE METAL MESH GRILLE
- 11 METAL SECTIONAL GARAGE DOOR



RIGHT ELEVATION 4

RECEIVED  
 SEP 12, 2018  
 CITY OF CHICO  
 PLANNING SERVICES



REAR ELEVATION 3



Friday, September 07, 2018, 12:20:56 PM  
 S:\2018\2018-369 CHANNEL EATON RD RESIDENTIAL CHICCO\TITLEMENTS\18-369\_A3.2 BUILDING B ELEVATIONS.DWG

**EATON RANCH**  
**CHANNEL PROPERTIES**  
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559  
 707-252-5460

CHICO, CA

BUILDING "B" ELEVATIONS

**A3.3**

DATE: 09-10-2018  
 JOB NO.: 2018-369

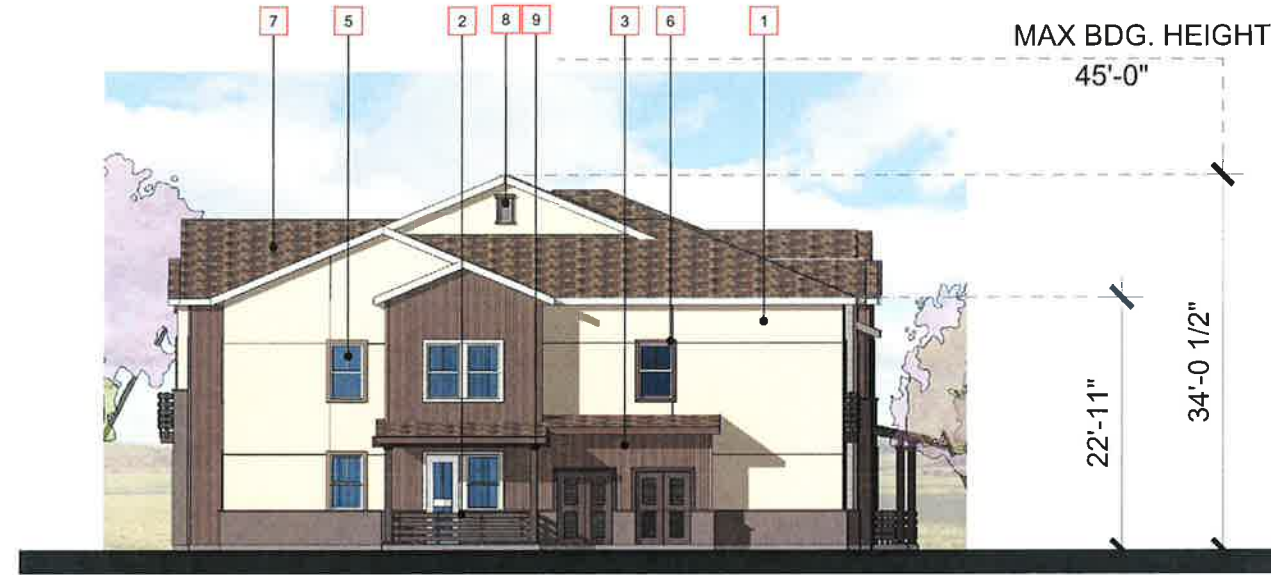
**ARCHITECTS ORANGE**  
 144 NORTH ORANGE ST., ORANGE, CA 92866  
 (714) 639-9860



Attachment D

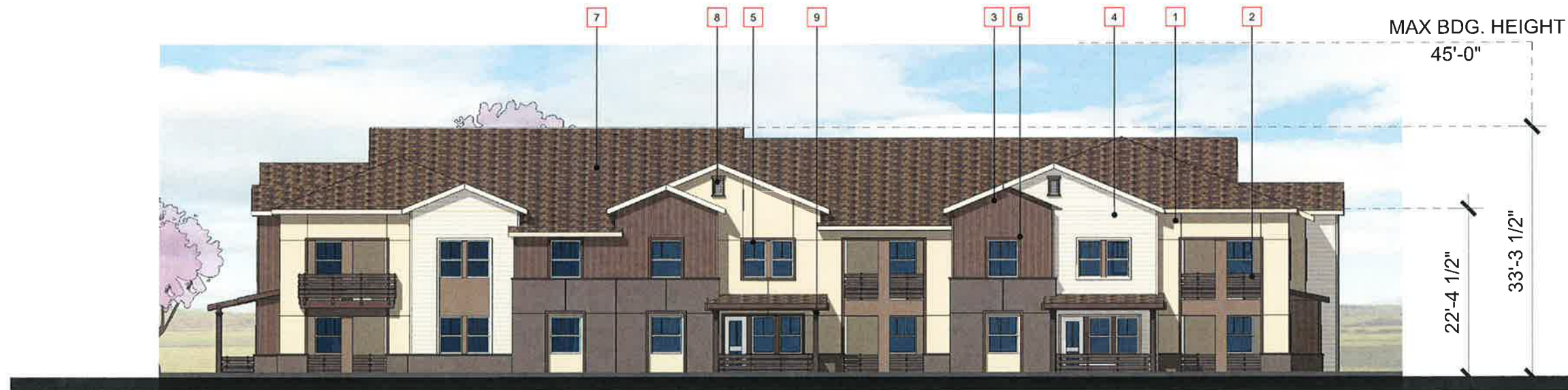
**MATERIAL / COLOR LEGEND**

- 1 EXTERIOR PLASTER
- 2 COMPOSITE SLATS RAILING
- 3 BOARD AND BATTEN SIDING (FIBER CEMENT)
- 4 HORIZONTAL SIDING (FIBER CEMENT)
- 5 VINYL WINDOWS
- 6 STUCCO OVER FOAM TRIM
- 7 COMPOSITION ROOF TILES
- 8 DECORATIVE LOUVERED VENT
- 9 DECORATIVE WOOD POST
- 10 DECORATIVE METAL MESH GRILLE
- 11 METAL SECTIONAL GARAGE DOOR



LEFT ELEVATION 2

RECEIVED  
 SEP 12 2018  
 CITY OF ORANGE  
 PLANNING SERVICES



FRONT ELEVATION 1



Friday, September 07, 2018 12:21:18 PM  
 S:\2018\2018-369 CHANNEL EATON RD RESIDENTIAL CHICO\ENTITLEMENTS\18-369\_A4 2 BUILDING C ELEVATIONS.DWG

**EATON RANCH**  
 CHANNEL PROPERTIES  
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559  
 707-252-5460

CHICO, CA

BUILDING "C" ELEVATIONS

**A4.2**

DATE: 09-10-2018  
 JOB NO.: 2018-369

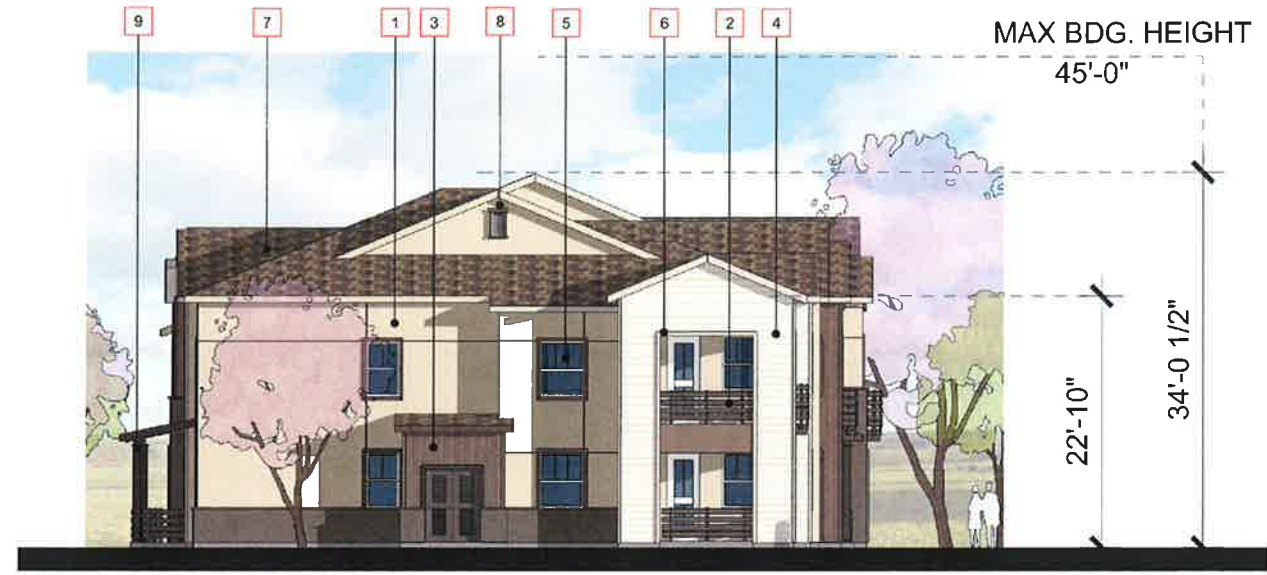
**ARCHITECTS ORANGE**  
 144 NORTH ORANGE ST., ORANGE, CA 92866  
 (714) 639-9860



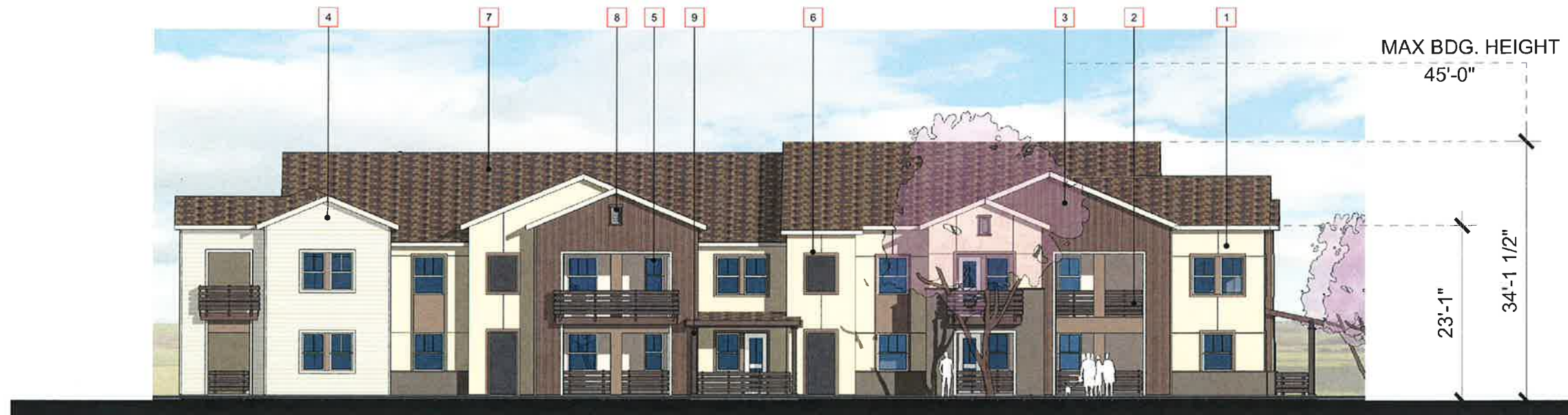
Attachment D

**MATERIAL / COLOR LEGEND**

- 1 EXTERIOR PLASTER
- 2 COMPOSITE SLATS RAILING
- 3 BOARD AND BATTEN SIDING (FIBER CEMENT)
- 4 HORIZONTAL SIDING (FIBER CEMENT)
- 5 VINYL WINDOWS
- 6 STUCCO OVER FOAM TRIM
- 7 COMPOSITION ROOF TILES
- 8 DECORATIVE LOUVERED VENT
- 9 DECORATIVE WOOD POST
- 10 DECORATIVE METAL MESH GRILLE
- 11 METAL SECTIONAL GARAGE DOOR



RIGHT ELEVATION 4



REAR ELEVATION 3



Friday, September 07, 2018, 12:49:52 PM  
S:\2018\2018-369 CHANNEL EATON RD RESIDENTIAL CHICO\TITLEMENTS\18-389\_A4.2 BUILDING C ELEVATIONS.DWG

**EATON RANCH**  
**CHANNEL PROPERTIES**  
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559  
 707-252-5460

CHICO, CA

BUILDING "C" ELEVATIONS

**A4.3**

DATE: 09-10-2018  
 JOB NO.: 2018-369

**ARCHITECTS ORANGE**  
 144 NORTH ORANGE ST., ORANGE, CA 92866  
 (714) 639-9860



Attachment D

**MATERIAL / COLOR LEGEND**

- 1 EXTERIOR PLASTER
- 2 COMPOSITE SLATS RAILING
- 3 BOARD AND BATTEN SIDING (FIBER CEMENT)
- 4 HORIZONTAL SIDING (FIBER CEMENT)
- 5 VINYL WINDOWS
- 6 STUCCO OVER FOAM TRIM
- 7 COMPOSITION ROOF TILES
- 8 DECORATIVE LOUVERED VENT
- 9 DECORATIVE WOOD POST
- 10 DECORATIVE METAL MESH GRILLE
- 11 METAL SECTIONAL GARAGE DOOR



LEFT ELEVATION 2



FRONT ELEVATION 1



RECEIVED  
 SEP 10 2018  
 CITY OF CHICO  
 PLANNING SERVICES

Friday, September 07, 2018 12:21:48 PM S:\2018\2018-369 CHANNEL EATON RD RESIDENTIAL CHICO\TITLEMENT\18-369\_A5.2 BUILDING D ELEVATIONS.DWG

**EATON RANCH**  
 CHANNEL PROPERTIES  
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559  
 707-252-5460

CHICO, CA

BUILDING "D" ELEVATIONS

**A5.2**

DATE: 09-10-2018  
 JOB NO.: 2018-369

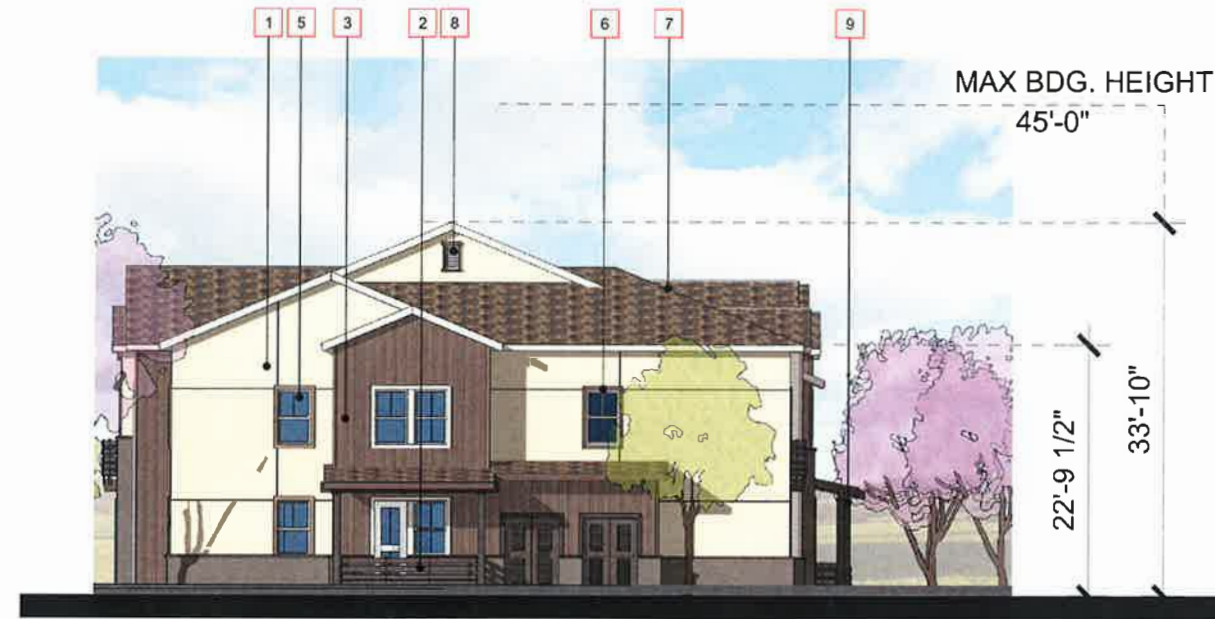
**ARCHITECTS ORANGE**  
 144 NORTH ORANGE ST., ORANGE, CA 92866  
 (714) 639-9860



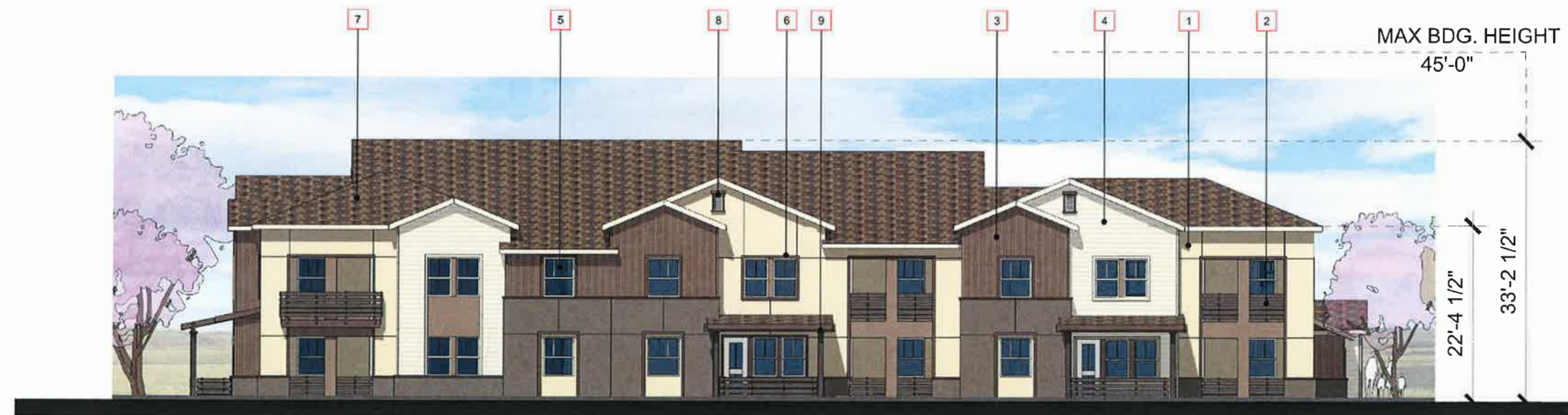
Attachment D

**MATERIAL / COLOR LEGEND**

- 1 EXTERIOR PLASTER
- 2 COMPOSITE SLATS RAILING
- 3 BOARD AND BATTEN SIDING (FIBER CEMENT)
- 4 HORIZONTAL SIDING (FIBER CEMENT)
- 5 VINYL WINDOWS
- 6 STUCCO OVER FOAM TRIM
- 7 COMPOSITION ROOF TILES
- 8 DECORATIVE LOUVERED VENT
- 9 DECORATIVE WOOD POST
- 10 DECORATIVE METAL MESH GRILLE
- 11 METAL SECTIONAL GARAGE DOOR



RIGHT ELEVATION 4



REAR ELEVATION 3



BUILDING "D" ELEVATIONS

A5.3

**EATON RANCH**

CHICO, CA

**CHANNEL PROPERTIES**

1850 SOCOL AVE, SUITE 207 NAPA, CA 94559  
707-252-5460

DATE: 09-10-2018  
JOB NO.: 2018-369

**ARCHITECTS ORANGE**

144 NORTH ORANGE ST., ORANGE, CA 92866  
(714) 639-9860

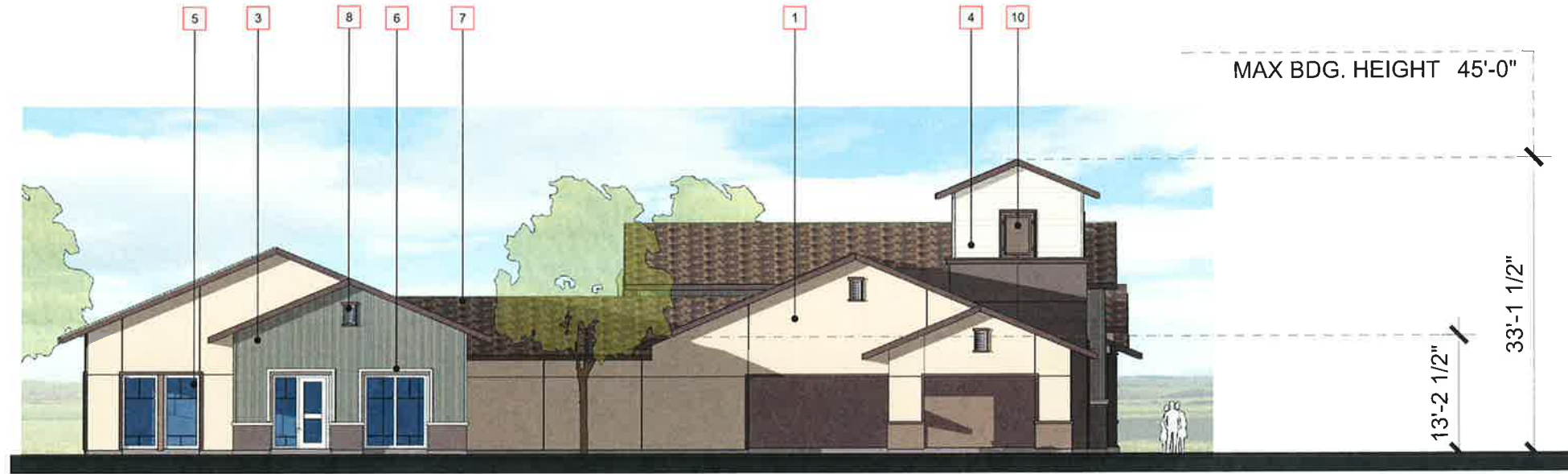


Attachment D

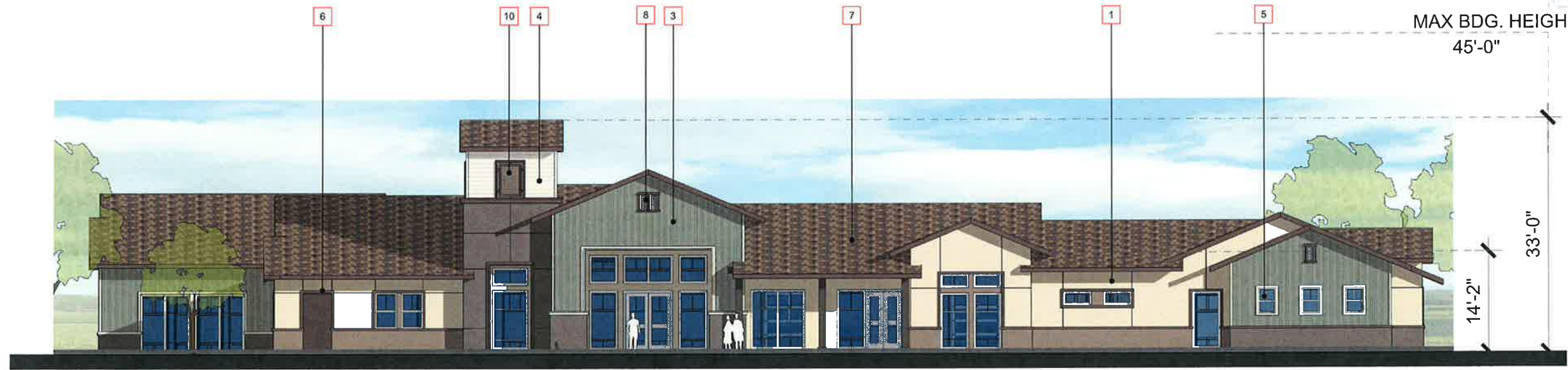


**MATERIAL / COLOR LEGEND**

- 1 EXTERIOR PLASTER
- 2 COMPOSITE SLATS RAILING
- 3 BOARD AND BATTEN SIDING (FIBER CEMENT)
- 4 HORIZONTAL SIDING (FIBER CEMENT)
- 5 VINYL WINDOWS
- 6 STUCCO OVER FOAM TRIM
- 7 COMPOSITION ROOF TILES
- 8 DECORATIVE LOUVERED VENT
- 9 DECORATIVE WOOD POST
- 10 DECORATIVE METAL MESH GRILLE
- 11 METAL SECTIONAL GARAGE DOOR



EAST ELEVATION 2



NORTH ELEVATION 1



EATON RANCH I AMENITIES BUILDING ELEVATIONS

**A7.2**

**EATON RANCH**  
**CHANNEL PROPERTIES**  
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559  
 707-252-5460

CHICO, CA

DATE: 09-10-2018  
 JOB NO.: 2018-369

**ARCHITECTS ORANGE**  
 144 NORTH ORANGE ST., ORANGE, CA 92866  
 (714) 639-9860

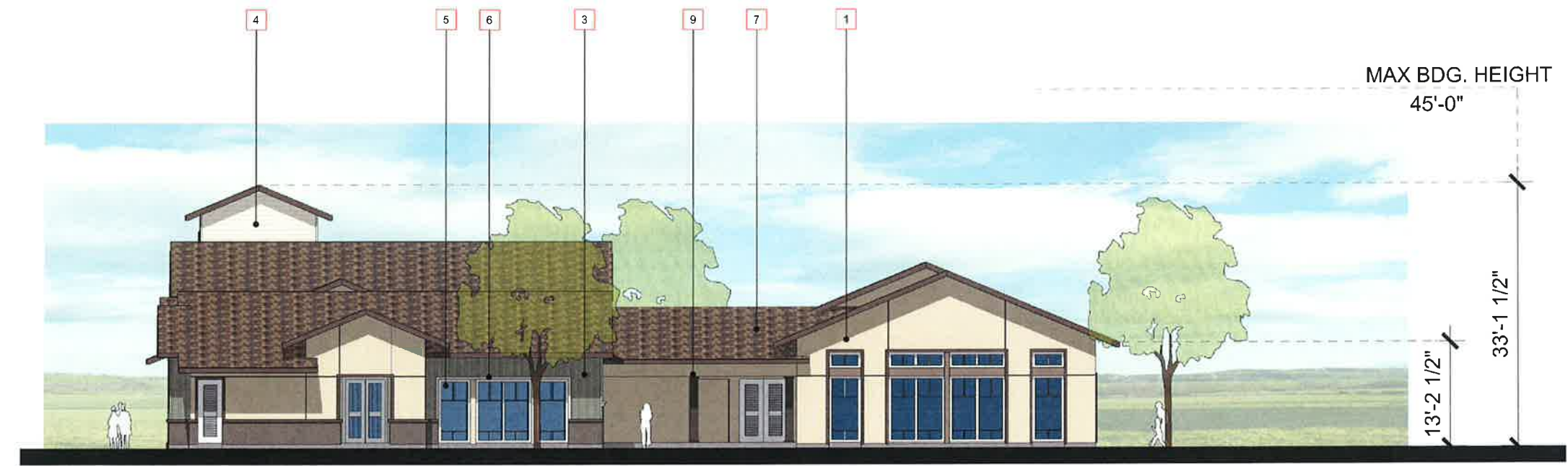


Attachment E

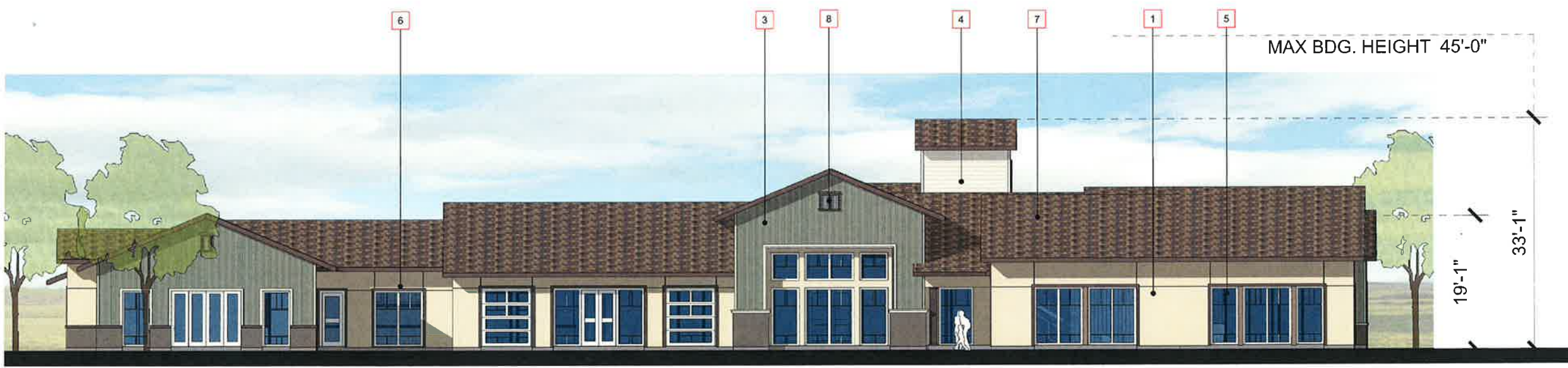
Friday, September 07, 2018 1:09:20 PM S:\2018\2018-369 CHANNEL EATON RD RESIDENTIAL CHICO\TITLEMENTS\18-369\_A7.2 EATON RANCH I AMENITIES ELEVATION.DWG

**MATERIAL / COLOR LEGEND**

- 1 EXTERIOR PLASTER
- 2 COMPOSITE SLATS RAILING
- 3 BOARD AND BATTEN SIDING (FIBER CEMENT)
- 4 HORIZONTAL SIDING (FIBER CEMENT)
- 5 VINYL WINDOWS
- 6 STUCCO OVER FOAM TRIM
- 7 COMPOSITION ROOF TILES
- 8 DECORATIVE LOUVERED VENT
- 9 DECORATIVE WOOD POST
- 10 DECORATIVE METAL MESH GRILLE
- 11 METAL SECTIONAL GARAGE DOOR



WEST ELEVATION 4



SOUTH ELEVATION 3



EATON RANCH I AMENITIES BUILDING ELEVATIONS

**A7.3**

**EATON RANCH**  
**CHANNEL PROPERTIES**  
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559  
 707-252-5460

CHICO, CA

DATE: 09-10-2018  
 JOB NO.: 2018-369  
**ARCHITECTS ORANGE**  
 144 NORTH ORANGE ST., ORANGE, CA 92866  
 (714) 639-9860

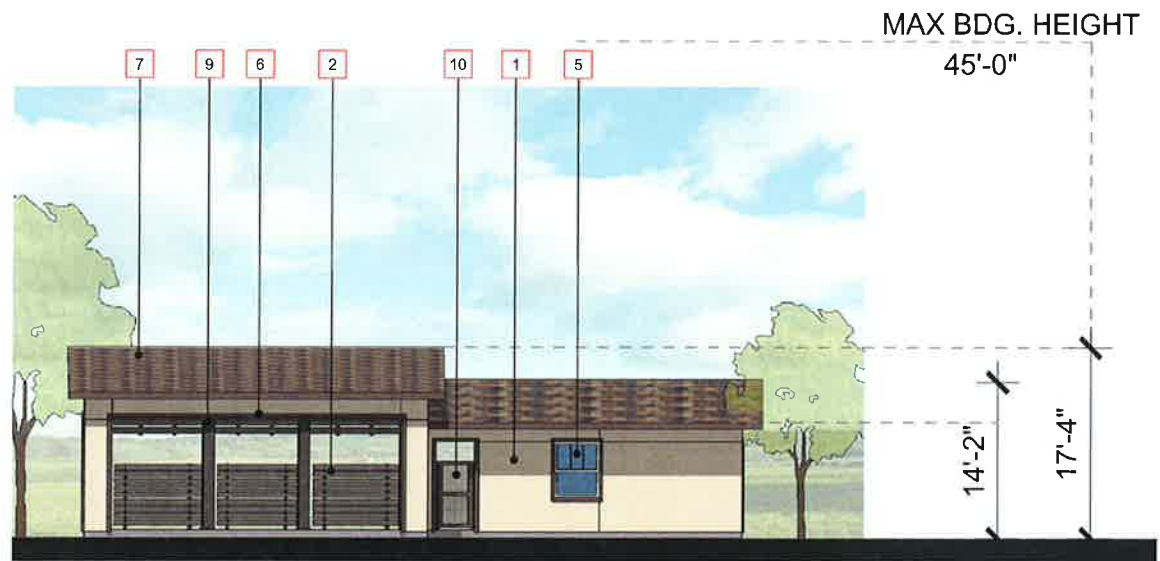


Attachment E

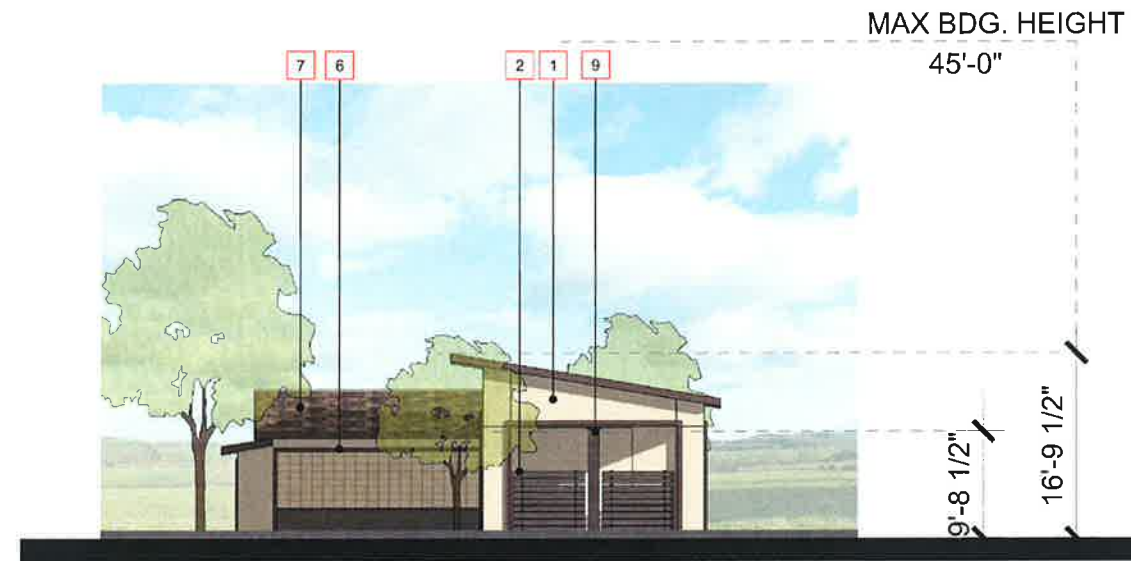
Friday, September 07, 2018 12:59:40 PM S:\2018\2018-369 CHANNEL EATON RD RESIDENTIAL CHICO\TITLEMENTS\18-369\_A7.2 EATON RANCH I AMENITIES ELEVATION.DWG

**MATERIAL / COLOR LEGEND**

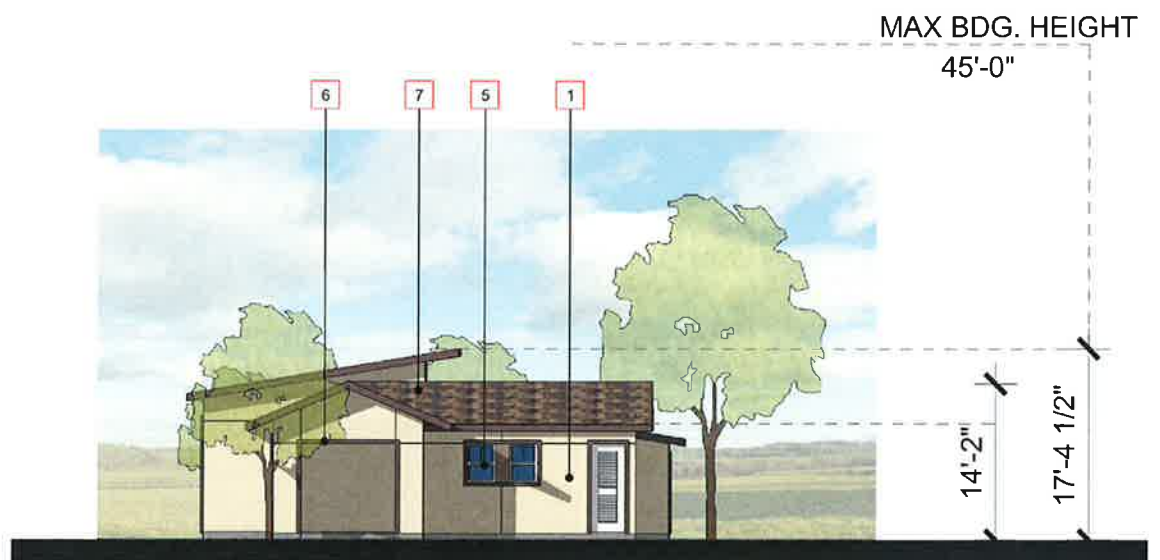
- 1 EXTERIOR PLASTER
- 2 COMPOSITE SLATS RAILING
- 3 BOARD AND BATTEN SIDING (FIBER CEMENT)
- 4 HORIZONTAL SIDING (FIBER CEMENT)
- 5 VINYL WINDOWS
- 6 STUCCO OVER FOAM TRIM
- 7 COMPOSITION ROOF TILES
- 8 DECORATIVE LOUVERED VENT
- 9 DECORATIVE WOOD POST
- 10 DECORATIVE METAL MESH GRILLE
- 11 METAL SECTIONAL GARAGE DOOR



WEST ELEVATION 4



NORTH ELEVATION 2



SOUTH ELEVATION 3



EAST ELEVATION 1

PREPARED BY  
 07.10.2018  
 CIVIL AND  
 PLANNING SERVICES



Friday, September 07, 2018, 1:50:42 PM  
 S:\2018\2018-369 CHANNEL EATON RD RESIDENTIAL CHICO\TITLEMENTS\18-369\_A7.5 EATON RANCH I CABANA ELEVATION.DWG

**EATON RANCH**  
**CHANNEL PROPERTIES**  
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559  
 707-252-5460

CHICO, CA

EATON RANCH I CABANA BUILDING ELEVATIONS

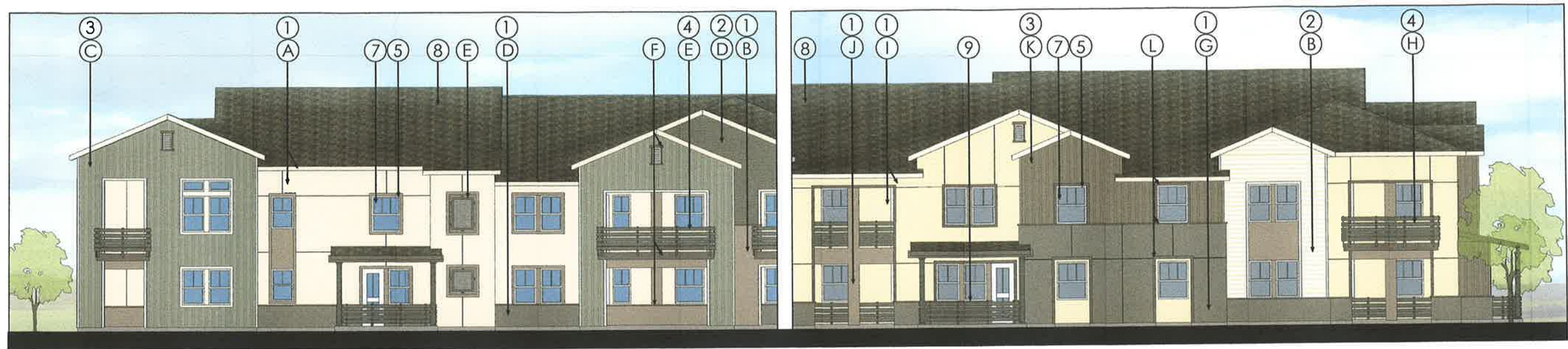
**A7.5**

DATE: 09-10-2018  
 JOB NO.: 2018-369

**ARCHITECTS ORANGE**  
 144 NORTH ORANGE ST., ORANGE, CA 92866  
 (714) 639-9860



Attachment E



A Accessible Beige  
SW 7036



B Sycamore Tan  
SW 2855



C Dried Thyme  
SW 6186



D Porpoise  
SW 7047



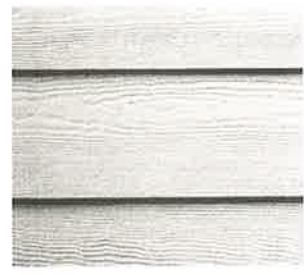
E Urbane Bronze  
SW 7048



F Rookwood Medium Brown  
SW 2807



1 Exterior Plaster 20/30  
Sand Finish - Paint Grade



2 Fiber Cement Wood Grain  
Lap Siding - Paint Grade



3 Fiber Cement Wood Grain  
Vertical Siding - Paint Grade



4 Fiber Cement Wood Grain  
Railing Panels - Paint Grade



5 Vinyl Windows - White



7 Clear Glass



G Accessible Beige  
SW 7036



H Aesthetic White  
SW 7035



I Lotus Pod  
SW 7572



J Sycamore Tan  
SW 2855



K Cobble Brown  
SW 6082



L Rookwood Medium Brown  
SW 2807



G Porpoise  
SW 7047



H Urbane Bronze  
SW 7048



8 Composition Roof  
Shingles

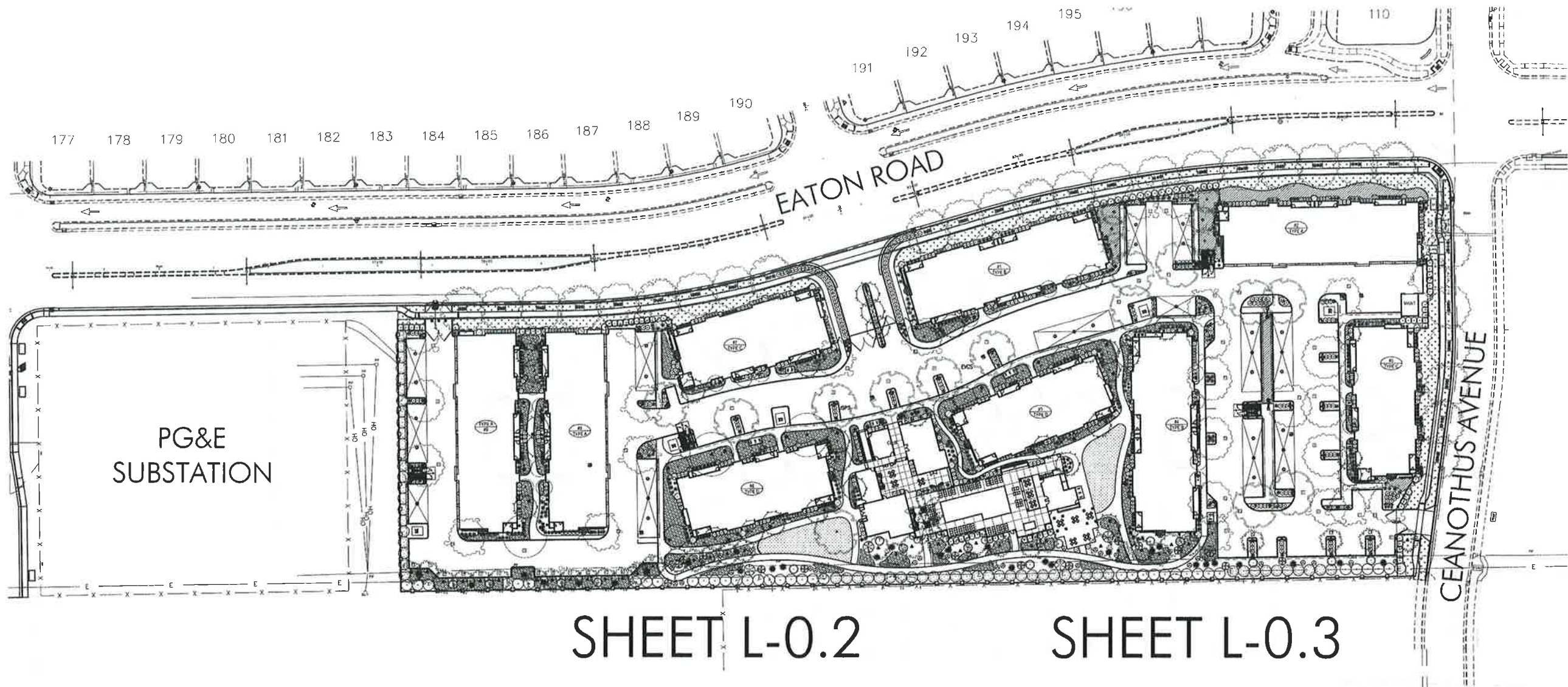
MATERIAL BOARD

**EATON RANCH**  
CHANNEL PROPERTIES  
1850 SOCOL AVE, SUITE 207 NAPA, CA 94559  
(000) 000-0000

CHICO, CA

DATE: 09-05-2018  
JOB NO.: 2018-369  
**ARCHITECTS ORANGE**  
144 NORTH ORANGE ST., ORANGE, CA 92866  
(714) 639-9860





BRIAN FIRTH  
LANDSCAPE  
ARCHITECT, INC.  
627 BROADWAY, SUITE 220,  
CHICO, CALIFORNIA 95928  
PHONE: (530) 899-1130  
www.BFLandscape.com  
www.facebook.com/BFLandscape

LICENSE



CONSULTANT

CLIENT

CHANNEL  
PROPERTIES  
  
1850 SOSCOL  
AVENUE, SUITE 207  
NAPA, CA 94559

PROJECT  
EATON RANCH  
APARTMENTS  
  
EATON AVENUE  
CHICO CA 95928

SHEET TITLE  
EATON RANCH II  
PRELIMINARY  
LANDSCAPE PLAN  
REFERENCE SHEET

DATES	NO	DESCRIPTION	DATE
1	REVIEW SUBMITTAL	9-19-18	
	SITE REVISIONS	10-30-18	

Plot Date: October 30, 2018 - 11:52 am

PROJECT NUMBERS  
BFLA PROJECT #: 2056  
CONSULTANT PROJECT #:  
APN: 016-200-117 AND 016-340-034  
  
SHEET NUMBER



L-0.1

SCALE: NO SCALE

SHEET L-0.2

SHEET L-0.3

PARKING LOT LANDSCAPE AREA

DESCRIPTION	AREA	PERCENT
TOTAL PARKING AND BACK-UP AREA	62,614 SF	
PARKING LOT LANDSCAPE AREA PROVIDED	5,840 SF	9%

SHADE CALCULATIONS

DESCRIPTION	TOTAL
GROSS PARKING AND BACK-UP AREA	78,098 SF
MINUS CARPORT AREA	15,483 SF
TOTAL PARKING AND BACK-UP AREA FOR CALCULATIONS	62,614 SF

SHADE AREA PROVIDED				
DESCRIPTION	SHADE AREA	QUANTITY	TOTAL	PERCENT
20 FOOT DIAMETER TREES				
F FULL	314 SF	0	0	0
TQ THREE QUARTER	235 SF	3	705 SF	1%
H HALF	157 SF	13	2,041 SF	3%
Q QUARTER	78 SF	2	156 SF	0
40 FOOT DIAMETER TREES				
F FULL	1,256 SF	8	10,048 SF	16%
TQ THREE QUARTER	942 SF	13	12,246 SF	19%
H HALF	628 SF	10	6,280 SF	10%
Q QUARTER	314 SF	5	1,570 SF	2%
TOTAL SHADE AREA PROVIDED			33,046 SF	52%

WATER USE CALCULATIONS

**Maximum Applied Water Allowance (MAWA) - Calculation**

MAWA = (Eto) (0.7) (LA) (0.62)

**MAWA = 1,971,004 Gallons per Year**

Hydrozone 5; Medium water use trees, shrubs and ground cover; drip.	PR= 0.21
PF = 0.5	
HA = 74,947 (square feet)	1.720546 Acres
IE = 0.9	
EWU = 1479203.957 (gallons per year)	4.53951 acre-feet/year 1977.545 ccf/year
Hydrozone 16; Cool season turf; rotator, rotor	PR= 0.68
PF = 0.8	
HA = 4,311 (square feet)	0.098967 Acres
IE = 0.7	
EWU = 175031.5269 (gallons per year)	0.537152 acre-feet/year 233.9994 ccf/year
<b>Total Estimated Water Use for All Hydrozones (EWU) - Sum</b>	
<b>EWU = 1,654,236 (gallons per year)</b>	<b>5.076662 Acre-Feet per Year</b>
<b>2,212 (100 cubic feet per year)</b>	<b>0.05077 Acres</b>

SOILS STATEMENT

STANDARD SOIL AMENDMENTS WILL BE APPLIED IN ACCORDANCE WITH RECOMMENDATIONS BY AN ANALYTICAL SOILS TESTING LABORATORY.

LANDSCAPE IRRIGATION

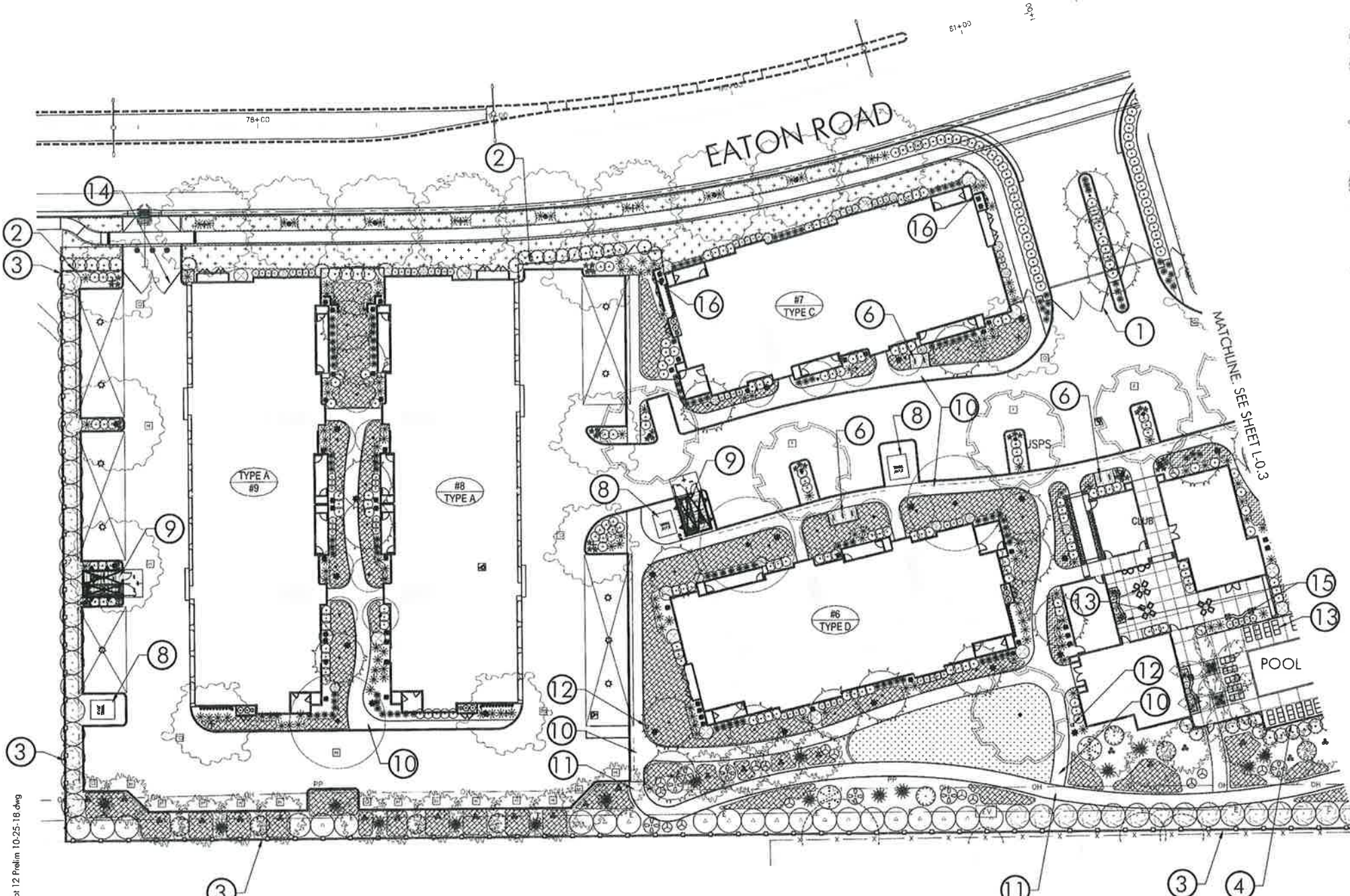
LANDSCAPE IS PRIMARILY MEDIUM WATER USE PLANTINGS IRRIGATED BY MEANS OF AN AUTOMATICALLY CONTROLLED LOW VOLUME DRIP IRRIGATION SYSTEM. A PORTION OF THE LANDSCAPE WILL BE A HIGH WATER USE TURF AREA IRRIGATED BY MEANS OF AN AUTOMATICALLY CONTROLLED POP-UP ROTATOR SYSTEM.

THE IRRIGATION SYSTEM WILL UTILIZE A FLOW SENSING/ MASTER VALVE ASSEMBLY THAT WILL SHUT THE SYSTEM DOWN IN THE EVENT OF A LINE BREAK SO AS TO PREVENT WASTING WATER AND DAMAGE TO LANDSCAPE. IT WILL ALSO FEATURE AN EVAPOTRANSPIRATION/ RAIN/ FREEZE SENSOR WHICH ADJUSTS THE IRRIGATION SCHEDULE BASED UPON REAL-TIME CONDITIONS IN ORDER TO PROVIDE THE MINIMUM AMOUNT OF IRRIGATION FOR OPTIMAL PLANT GROWTH.

File Name: Z:\BFLA (2000-2099)\2056 Channel Lumber Apartments\2056 CAD\2056 Master Plan\2056 Lot 12 Prelim 10-25-18.dwg

# PLANT LIST

TREES	SYMBOL	COMMON NAME	CONTAINER SIZE	QUANTITY	REMARKS	WATER USE
ACER PALMATUM	10000000	JAPANESE MAPLE	24" BK	20	STANDARD	MEDIUM
ULMUS PARVIFLORA	10000000	SMALL LEAF ELM	3" GAL	20	STANDARD	MEDIUM
QUERCUS RUBER	10000000	SCOUR LOG	15" GAL	15	STANDARD	MEDIUM
PHILUS CANADENSIS	10000000	CANARY BIRD PINE	15" GAL	6	STANDARD	LOW
QUERCUS LOBATA	10000000	VALLEY OAK	15" GAL	17	STANDARD	LOW
LAGEBROOKIA INDOCA	10000000	RED BLOSSOM CAPE MYRTLE	24" BK	24	STANDARD	LOW
LAGEBROOKIA INDOCA	10000000	TUSCANY CAPE MYRTLE	24" BK	14	STANDARD	LOW
PLATANUS HYBRIDA	10000000	KETH DAVY	15" GAL	18	STANDARD	LOW
QUERCUS COCCINEA	10000000	SCARLET OAK	15" GAL	5	STANDARD	MEDIUM
OSMANTHUS FRAGRANS	10000000	SWEET OLIVE	15" GAL	37	STANDARD	MEDIUM
WASHINGTONIA ROBURATA	10000000	MEXICAN PALM	12" HEIGHT	7	STANDARD	MEDIUM
<b>SHRUBS</b>						
VIBURNUM TINUS	10000000	SPRING BOUQUET	5" GAL	-	-	MEDIUM
CAMELIA SASSANICA	10000000	CLEOPATRA	5" GAL	34	-	MEDIUM
ROSA HOATRUM	10000000	ROSE BEEBEE	1" GAL	96	-	MEDIUM
ERABODIENSIS	10000000	SPRING BLOSSOM	5" GAL	122	-	MEDIUM
ADONIS AFRICANUS	10000000	QUEEN ANNE'S LILY	1" GAL	316	-	MEDIUM
DIETES BICOLOR	10000000	FORNIGHT	1" GAL	248	-	LOW
PODOCARPUS N. HAWAII	10000000	SP. RUBBY YEW	5" GAL	41	-	MEDIUM
HELIOPSIS SCHEMATA	10000000	COMPACT	1" GAL	142	-	LOW
LOROPETALUM CHINESE	10000000	LAZZ HANDS	5" GAL	270	-	MEDIUM
HELIOPSIS SCHEMATA	10000000	COMPACT	1" GAL	118	-	MEDIUM
PHOTINIA X FRASER	10000000	FRASER'S PHOTINIA	5" GAL	38	-	MEDIUM
PRUNUS LAUROCESTRUS	10000000	ENGLISH LAUREL	5" GAL	59	-	MEDIUM
QUERCUS X NOBLE	10000000	INGOL	5" GAL	90	-	LOW
ARCTOSTAPHYLOS HOWARD	10000000	MCMAHON	5" GAL	15	-	LOW
FLUAMIGIO AURICULATA	10000000	CAPE PLUMBAGO	5" GAL	15	-	LOW
ZALUSCHNERIA CALIFORNICA	10000000	CALIFORNIA FUCHSIA	1" GAL	30	-	LOW
HELIOPSIS SCHEMATA	10000000	COMPACT	1" GAL	30	-	LOW
CERIS OCCIDENTALIS	10000000	WESTERN PEAR	5" GAL	3	-	LOW
<b>TURF</b>						
DWARF TURF	10000000	FALL FESCUE	500	4,311 SF	-	HIGH
TRACHELOSPERMUM	10000000	STAR JASMINE	1" GAL	4,291 SF	PLANT @ 30" O.C.	MEDIUM
TEUCRIUM CHAMAEDRIS	10000000	PROSTRATE GERMANDER	1" GAL	374 SF	PLANT @ 30" O.C.	LOW
ARTEMISIA	10000000	SCORPION	1" GAL	15,022 SF	PLANT @ 30" O.C.	LOW
ARTOCARPUS	10000000	WOODS	1" GAL	16,022 SF	PLANT @ 30" O.C.	MEDIUM
<b>VEGETATION</b>						
FAIRBANKS	10000000	BOSTON IVY	1" GAL	17	TRAIN TO TRASH ENCLOSURE	MEDIUM
TRACHELOSPERMUM	10000000	STAR JASMINE	1" GAL	22	TRAIN/MVC SCREEN	MEDIUM



File Name: Z:\BFLA\2000-2099\2056 Channel Apartments\2056 CAD\2056 Master Plan\2056 Lot 12 Prelim 10-25-18.dwg

## PLAN LEGEND

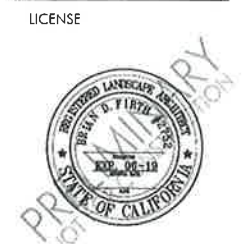
SYMBOL	DESCRIPTION
1	ENTRY GATE
2	SIX FOOT HIGH, BLACK, TUBULAR STEEL FENCING
3	SIX FOOT HIGH, BOARD ON BOARD FENCE WITH CAP
4	POOL FENCING
5	SHADE TRELLIS
6	QUEST BICYCLE PARKING, TYPICAL SYMBOL
7	PG & E ACCESS GATES (12 FOOT MINIMUM WIDTH)
8	TRANSFORMER LOCATION
9	TRASH ENCLOSURE (BY OTHERS)
10	CONCRETE WALKWAY
11	ASPHALT WALKWAY
12	DOGIE WASTE STATION
13	SITE FURNISHING, PER OWNER
14	EMERGENCY ACCESS GATE, BY OTHERS
15	CONCRETE SEATWALL WITH PLANTING CONTAINERS, FORM BOARD FINISH
16	HVAC/UTILITY SCREEN PANEL TYPICAL AT ALL HVAC'S/UTILITIES FACING PUBLIC VIEW

## LIGHTING SYMBOLS

SYMBOL	DESCRIPTION
☆	CARPORT LED LIGHT
★	LED BOLLARD LIGHT
⦿	LED AREA LIGHT 14' LUMINERE HEIGHT WITH GLARE CUT-OFFS AS REQUIRED TO PREVENT LIGHT FROM SHINING ONTO ADJACENT PROPERTIES

NOTE: ALL LANDSCAPED AREAS TO RECEIVE A MINIMUM 3" LAYER OF BROWN LAVA ROCK.

**BRIAN FIRTH LANDSCAPE ARCHITECT, INC.**  
 627 BROADWAY, SUITE 220  
 CHICO, CALIFORNIA 95926  
 PHONE (530) 899-1130  
 www.BFLAdesign.com  
 www.facebook.com/BFLAdesign



LICENSE  
CONSULTANT

CLIENT

**CHANNEL PROPERTIES**  
 1850 SOSCOL AVENUE, SUITE 207  
 NAPA, CA 94559

PROJECT  
**EATON RANCH APARTMENTS**  
 EATON AVENUE  
 CHICO CA 95928

SHEET TITLE  
**EATON RANCH II PRELIMINARY LANDSCAPE PLAN 20 SCALE**

DATES	NO	DESCRIPTION	DATE
1	REVIEW SUBMITTAL	SITE REVISIONS	9-19-18 10-30-18

Plot Date: October 30, 2018 - 11:52 am

PROJECT NUMBERS  
 BFLA PROJECT #: 2056  
 CONSULTANT PROJECT #:  
 APN: 016-200-117 AND 016-340-034

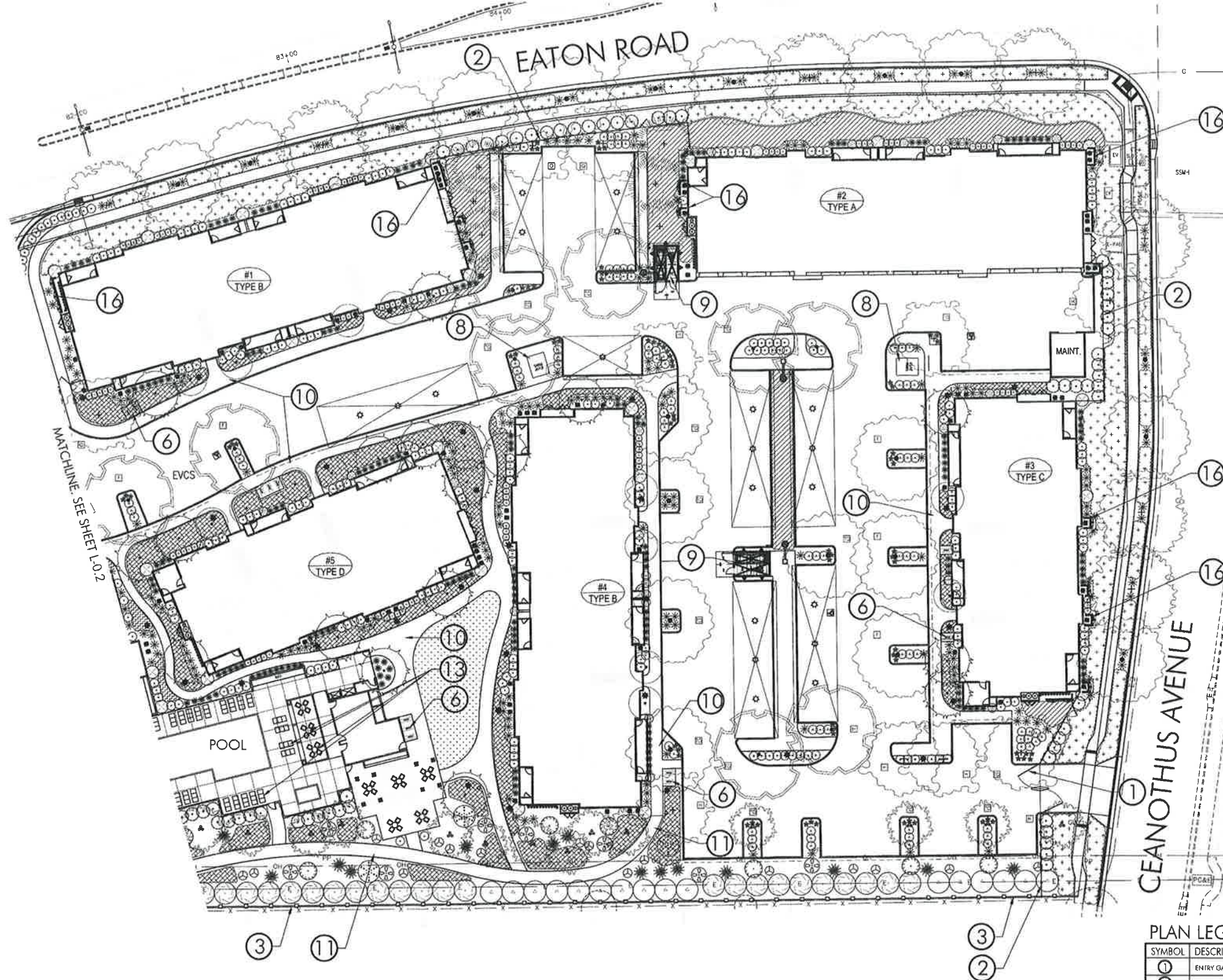
SHEET NUMBER



0 20 40  
SCALE: 1" = 20'-0"

**L-0.2**

File Name: Z:\BFLA\2000-2099\2056 Channel Lumber Apartments\2056 CAD\2056 Master Plan\2056.Lot 12 Prelim 10-25-18.dwg



**PLANT LIST**

SYMBOL	UNIFORM COMMON NAME	COUNT	QUANTITY	REMARKS	WATER USE
1	ACE FRUIT, W. BLOOMING JAPANESE MAPLE	24" BCR	27	STANDARD	MEDIUM
2	WAX CAJONEROS	12 GA.	20	STANDARD	MEDIUM
3	QUERCUS LAEVIS	12 GA.	10	STANDARD	MEDIUM
4	MAJAS CAJONEROS	12 GA.	8	STANDARD	LOW
5	QUERCUS LAEVIS	15 GA.	15	STANDARD	LOW
6	UNDERSTORY PLANTS	24" BCR	24	STANDARD	LOW
7	UNDERSTORY PLANTS	24" BCR	16	STANDARD	LOW
8	UNDERSTORY PLANTS	24" BCR	16	STANDARD	LOW
9	UNDERSTORY PLANTS	24" BCR	16	STANDARD	LOW
10	UNDERSTORY PLANTS	24" BCR	16	STANDARD	LOW
11	UNDERSTORY PLANTS	24" BCR	16	STANDARD	LOW
12	UNDERSTORY PLANTS	24" BCR	16	STANDARD	LOW
13	UNDERSTORY PLANTS	24" BCR	16	STANDARD	LOW
14	UNDERSTORY PLANTS	24" BCR	16	STANDARD	LOW
15	UNDERSTORY PLANTS	24" BCR	16	STANDARD	LOW
16	UNDERSTORY PLANTS	24" BCR	16	STANDARD	LOW

**PLAN LEGEND**

SYMBOL	DESCRIPTION
1	ENTRY GATE
2	6X6 FOOT HIGH, BLACK, TUBULAR STEEL FENCING
3	6X6 FOOT HIGH, BOARD ON BOARD FENCE WITH CAP
4	POOL FENCING
5	SHADE TRELLIS
6	GUEST BICYCLE PARKING, TYPICAL SYMBOL
7	PG & E ACCESS GATES (12 FOOT MINIMUM WIDTH)
8	TRANSFORMER LOCATION
9	TRASH ENCLOSURE (BY OTHERS)
10	CONCRETE WALKWAY
11	ASPHALT WALKWAY
12	DOGPILE WASTE STATION
13	SITE FURNISHING, PER OWNER
14	EMERGENCY ACCESS GATE BY OTHERS
15	CONCRETE SEATWALL WITH PLANTING CONTAINERS, FORM BOARD FINISH
16	HVAC/UTILITY SCREEN PANEL TYPICAL AT ALL HVAC'S/UTILITIES FACING PUBLIC VIEW

**LIGHTING SYMBOLS**

SYMBOL	DESCRIPTION
☆	CARPORT LED LIGHT
★	LED BOLLARD LIGHT
⦿	LED AREA LIGHT 14' LUMINERE HEIGHT WITH GLARE CUT-OFFS AS REQUIRED TO PREVENT LIGHT FROM SHINING ONTO ADJACENT PROPERTIES

**BRIAN FIRTH LANDSCAPE ARCHITECT, INC.**  
 627 BROADWAY, SUITE 220,  
 CHICO, CALIFORNIA 95928  
 PHONE: (530) 899-1130  
 www.BFLAdesign.com  
 www.facebook.com/BFLAdesign



**CONSULTANT**  
**CHANNEL PROPERTIES**  
 1850 SOSCOL AVENUE, SUITE 207  
 NAPA, CA 94559

**PROJECT**  
**EATON RANCH APARTMENTS**  
 EATON AVENUE  
 CHICO CA 95928

**SHEET TITLE**  
**EATON RANCH II PRELIMINARY LANDSCAPE PLAN 20 SCALE**

DATE	DESCRIPTION	DATE
1	REVIEW SUBMITTAL	9-19-18
2	SITE REVISIONS	10-30-18

Plot Date: October 30, 2018 - 11:52 am  
**PROJECT NUMBERS**  
 BFLA PROJECT # 2056  
 CONSULTANT PROJECT #:  
 APN: 016-200-117 AND 016-340-034



0 20 40  
 SCALE: 1" = 20'-0"

**L-0.3**

Attachment G

BRIAN FIRTH  
LANDSCAPE  
ARCHITECT, INC.  
627 BROADWAY, SUITE 220  
CHICO, CALIFORNIA 95928  
PHONE (530) 899-1130  
www.BFLAdesign.com  
www.facebook.com/BFLAdesign

LICENSE



CONSULTANT

CLIENT

CHANNEL  
PROPERTIES  
  
1850 SOSCOL  
AVENUE, SUITE 207  
NAPA, CA 94559

PROJECT

EATON RANCH  
APARTMENTS  
  
EATON AVENUE  
CHICO CA 95928

SHEET TITLE

EATON RANCH I  
PRELIMINARY  
LANDSCAPE PLAN  
REFERENCE SHEET

DATES

NO	DESCRIPTION	DATE
1	REVIEW SUBMITTAL	9-19-18
1	SITE REVISIONS	10-30-18

Plot Date: October 30, 2018 - 2:31 pm

PROJECT NUMBERS

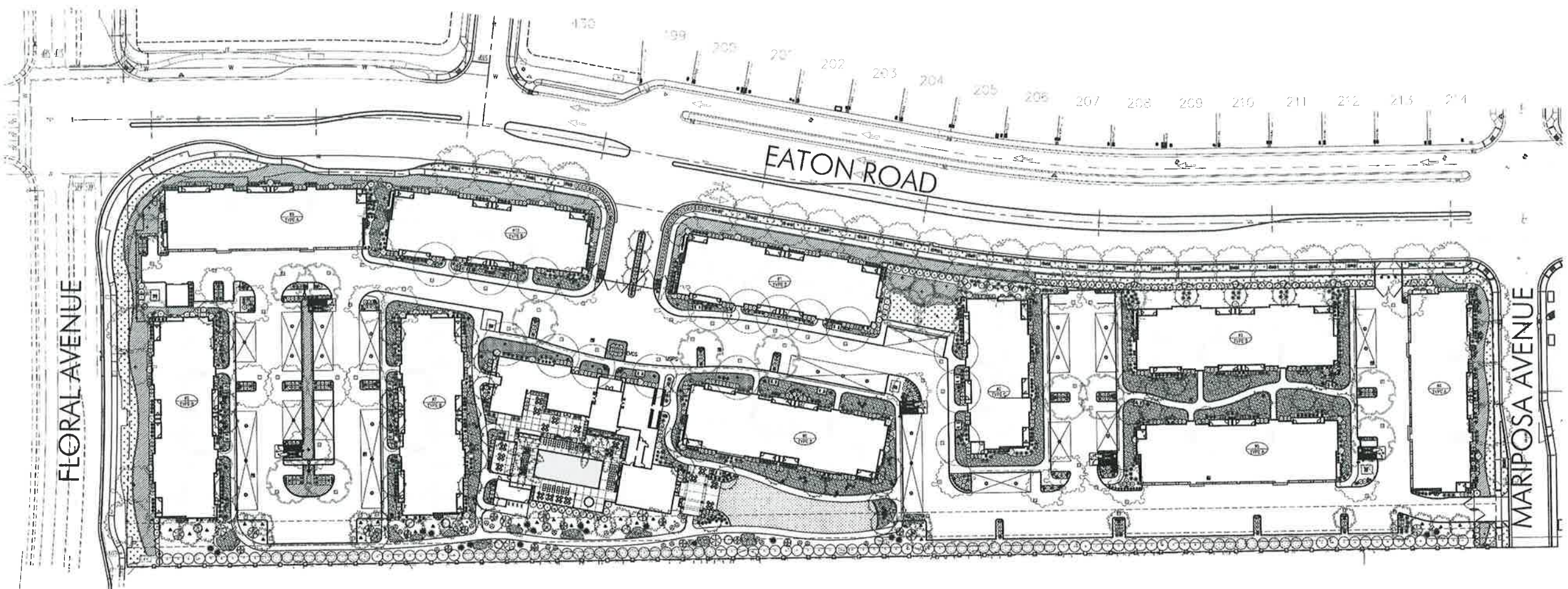
BFLA PROJECT # 2056  
CONSULTANT PROJECT #:  
APN: 016-200-117 AND 016-340-034

SHEET NUMBER

L-0.1



SCALE: NO SCALE Attachment G



## SHEET L-0.2

## SHEET L-0.3

## SHEET L-0.4

### PARKING LOT LANDSCAPE AREA

DESCRIPTION	AREA	PERCENT
TOTAL PARKING AND BACK-UP AREA	73,742 SF	
PARKING LOT LANDSCAPE AREA PROVIDED	8,052 SF	10%

### SHADE CALCULATIONS

DESCRIPTION	TOTAL
GROSS PARKING AND BACK-UP AREA	92,740 SF
MINUS CARPORT AREA	18,998 SF
TOTAL PARKING AND BACK-UP AREA FOR CALCULATIONS	73,742 SF

#### SHADE AREA PROVIDED

DESCRIPTION	SHADE AREA	QUANTITY	TOTAL	PERCENT
<b>20 FOOT DIAMETER TREES</b>				
F FULL	314 SF	0	0	0
TQ THREE QUARTER	235 SF	4	940 SF	1%
H HALF	157 SF	5	785 SF	1%
Q QUARTER	78 SF	4	312 SF	<1%
<b>40 FOOT DIAMETER TREES</b>				
F FULL	1,256 SF	11	13,816 SF	18%
TQ THREE QUARTER	942 SF	9	8,478 SF	11%
H HALF	628 SF	11	6,280 SF	8%
Q QUARTER	314 SF	20	6,280 SF	8%
TOTAL SHADE AREA PROVIDED			36,891 SF	50%

### WATER USE CALCULATIONS

Maximum Applied Water Allowance (MAWA) - Calculation			
MAWA = (Eto) (0.7) (LA) (0.62)			
<b>MAWA = 2,863,126 Gallons per Year</b>			
Hydrozone 5; Medium water use trees, shrubs and ground cover; drip. PR= 0.21			
PF = 0.5	HA = 110,120 (square feet)	2.528007 Acres	
IE = 0.9			
EWU = 2173401.733 (gallons per year)	6.869925 acre-feet/year	2905.617 ccf/year	
Hydrozone 15; Cool season turf; rotator, rotor PR= 0.68			
PF = 0.8	HA = 5,012 (square feet)	0.11506 Acres	
IE = 0.7			
EWU = 203492.928 (gallons per year)	0.624497 acre-feet/year	272.0494 ccf/year	
<b>Total Estimated Water Use for All Hydrozones (EWU) - Sum</b>			
EWU = 2,376,895 (gallons per year)	7.294422 Acre-Feet per Year		
	3,178 (100 cubic feet per year)	0.072949 Acres	

### SOILS STATEMENT

STANDARD SOIL AMENDMENTS WILL BE APPLIED IN ACCORDANCE WITH RECOMMENDATIONS BY AN ANALYTICAL SOILS TESTING LABORATORY.

### LANDSCAPE IRRIGATION

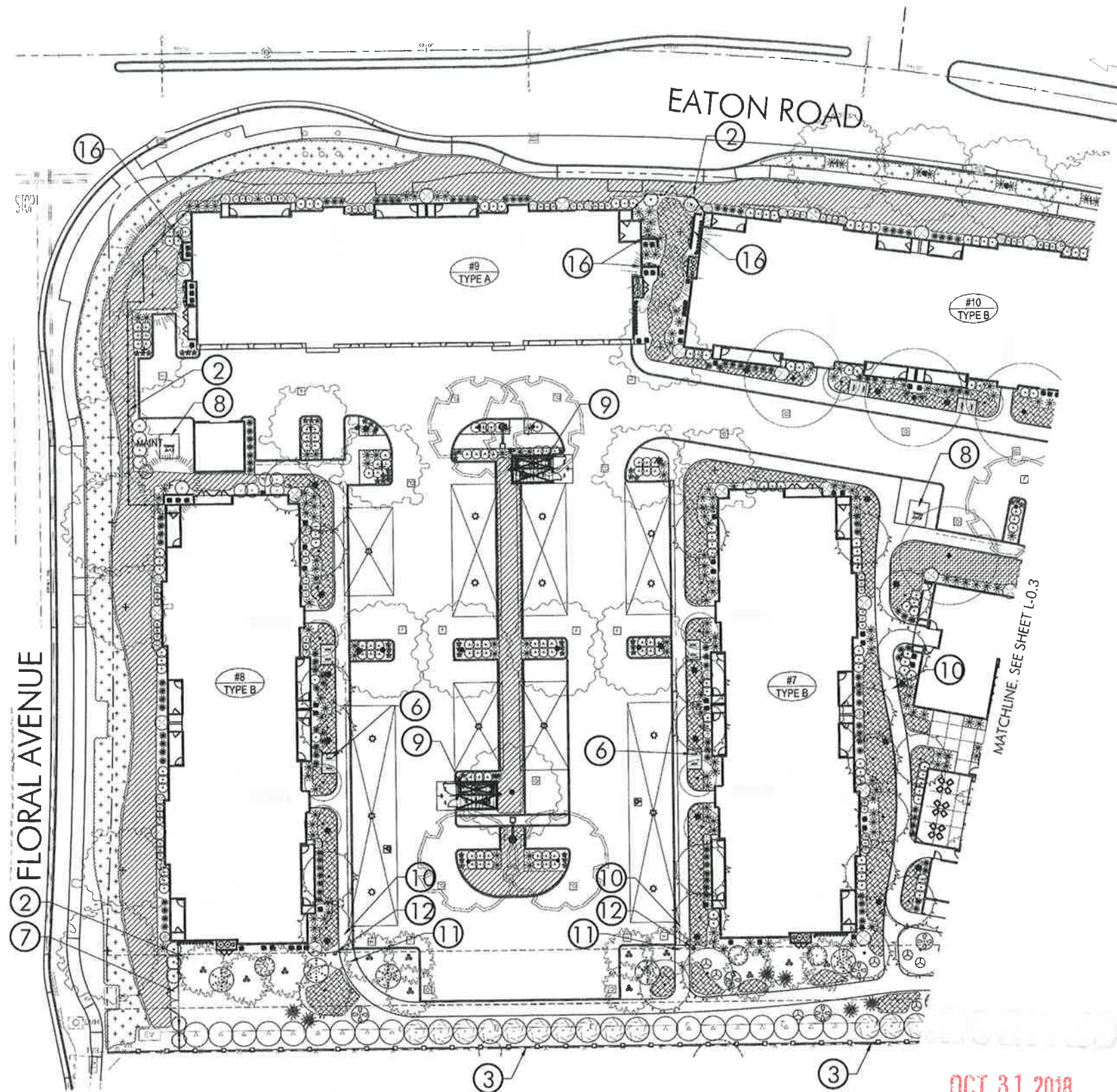
LANDSCAPE IS PRIMARILY MEDIUM WATER USE PLANTINGS IRRIGATED BY MEANS OF AN AUTOMATICALLY CONTROLLED LOW VOLUME DRIP IRRIGATION SYSTEM. A PORTION OF THE LANDSCAPE WILL BE A HIGH WATER USE TURF AREA IRRIGATED BY MEANS OF AN AUTOMATICALLY CONTROLLED POP-UP ROTATOR SYSTEM.

THE IRRIGATION SYSTEM WILL UTILIZE A FLOW SENSING/ MASTER VALVE ASSEMBLY THAT WILL SHUT THE SYSTEM DOWN IN THE EVENT OF A LINE BREAK SO AS TO PREVENT WASTING WATER AND DAMAGE TO LANDSCAPE. IT WILL ALSO FEATURE AN EVAPOTRANSPIRATION/ RAIN/ FREEZE SENSOR WHICH ADJUSTS THE IRRIGATION SCHEDULE BASED UPON REAL-TIME CONDITIONS IN ORDER TO PROVIDE THE MINIMUM AMOUNT OF IRRIGATION FOR OPTIMAL PLANT GROWTH.

File Name: C:\Users\jason\appdata\local\temp\AcPublish\_Br04\2056 Lot 11 Prelim 10-29-18.dwg



File Name: C:\Users\lason\appdata\local\temp\acPublish\_8404\2056 Lot 11 Prelim 10-29-18.dwg



# PLANT LIST

SYMBOL	LATIN NAME/ COMMON NAME	CONTAINER SIZE	QUANTITY	REMARKS	WATER USE
<b>TREES</b>					
●	ACER PALMATUM BIODOGWOOD	24" BOX	28	STANDARD	MEDIUM
●	JAPANESE MAPLE	15 GAL	22	STANDARD	MEDIUM
●	LEUCUS PARVIFOLIA EVERGREEN ELM	15 GAL	14	STANDARD	MEDIUM
●	QUERCUS SUBER COCK OAK	15 GAL	16	STANDARD	LOW
●	QUERCUS CANARIENSIS CANARY ISLAND PINE	15 GAL	21	STANDARD	LOW
●	QUERCUS LORATA VALLEY OAK	24" BOX	28	STANDARD	LOW
●	LAGERSTROEMIA INDICA FREDR'D RED FLOWERING CRAPE MYRTLE	24" BOX	34	STANDARD	LOW
●	LAGERSTROEMIA INDICA TUSCARORA TUSCARORA CRAPE MYRTLE	15 GAL	13	STANDARD	LOW
●	PISTACHIA CHINENSIS KEITH DAVEY KEITH DAVIES CHINESE PISTACHE	15 GAL	16	STANDARD	MEDIUM
●	QUERCUS COCCINEA ROBERT OAK	24" BOX	31	STANDARD	MEDIUM
●	OSMANTHUS FRAGRANS SWEET OLIVE	12 HEIGHT	4	STANDARD	MEDIUM
●	WASHINGTONIA ROBUSTA MEXICAN FAN PALM				
<b>SHRUBS</b>					
○	VIBURNUM TINUS 'SPRING BOUQUET' SPRING BOUQUET VIBURNUM	5 GAL	44		MEDIUM
○	CAMELLIA SASANGUUA 'CLEOPATRA' SASANGUUA CAMELLIA	5 GAL	53		MEDIUM
○	ROSA NOATRELLA GROUNDCOVER ROSE (RED)	1 GAL	82		MEDIUM
○	RHAPHIOLEPS INDICA SPRINGTIME INDICA HAWTHORN	5 GAL	156		MEDIUM
○	AGAPANTHUS AFRICANUS QUEEN ANNE LILY OF THE Nile	1 GAL	384		MEDIUM
○	DIETES BICOLOR FOUR-NIGHT LILY/MORNING GLORY	1 GAL	508		LOW
○	PODOCARPUS M. MAKI SHRUBBY YEW PINE	5 GAL	50		MEDIUM
○	NANDINA DOMESTICA 'COMPACTA' COMPACT HEAVENLY BAMBOO	1 GAL	196		LOW
○	LOROPETALUM CHINENSE JAZZ HANDS COMPACT LOROPETALUM	5 GAL	326		MEDIUM
○	HEPEROCALLIS HYBRID EVERGREEN DAVID LILY (FLOWER COLOR PER OWNER)	1 GAL	136		MEDIUM
○	PHOTINIA X FRASENI FRASENI PHOTINIA	5 GAL	65		MEDIUM
○	PRUNUS LAURO-CERASUS ENGLISH LAUREL	5 GAL	53		MEDIUM
○	GREVILLEA X 'HOELL' NOELL GREVILLEA	5 GAL	69		LOW
○	ARCTOSTAPHYLOS HOWARD MCMINN MANZANITA	5 GAL	8		LOW
○	PLUMBAGO AURICULATA CAPE PLUMBAGO	5 GAL	12		LOW
○	ZALUSCHNERIA CALIFORNICA CALIFORNIA FUCHSIA	1 GAL	22		LOW
○	MULLENBERGIA RIGENS DEER GRASS	1 GAL	18		LOW
○	CERCIS OCCIDENTALIS WESTERN REDBUD	5 GAL	12		LOW
○	TURF DWARF TURF TYPE TALL FESCUE	SOD	5,012 SF		HIGH
○	TRACHELOSPERMUM JASMINOIDES STAR JASMINE	1 GAL	17,887 SF	PLANT @ 36" O.C.	MEDIUM
○	TEUCRIUM CHAMÆDRIYS PROSTRATUM PROSTRATE GERMANDER	1 GAL	2,041 SF	PLANT @ 36" O.C.	LOW
○	JUNIFERUS CONFERTA SHRUB JUNIPER	1 GAL	13,130 SF	PLANT @ 36" O.C.	LOW
○	ARISTARHOSUS UVA URSI WOODS WOODS COMPACT GROUNDCOVER MANZANITA	1 GAL	20,034 SF	PLANT @ 36" O.C.	MEDIUM
△	PARTHENOCISSUS TRICSPIDATA BOSTON IVY	1 GAL	10	TRAIN TO TRASH ENCLOSURE	MEDIUM
△	TRACHELOSPERMUM JASMINOIDES STAR JASMINE (STAKED)	1 GAL	36	TRAIN HVAC SCREEN	MEDIUM

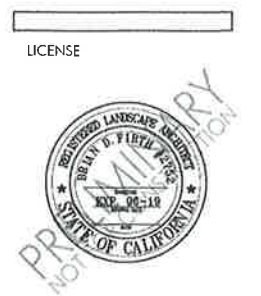
## PLAN LEGEND

SYMBOL	DESCRIPTION
①	ENTRY GATE
②	SIX FOOT HIGH, BLACK, TUBULAR STEEL FENCING
③	SIX FOOT HIGH, BOARD ON BOARD FENCE WITH CAP
④	POOL FENCING
⑤	SHADE TRELLIS
⑥	GUEST BICYCLE PARKING, TYPICAL SYMBOL
⑦	PG & E ACCESS GATES (12 FOOT MINIMUM WIDTH)
⑧	TRANSFORMER LOCATION
⑨	TRASH ENCLOSURE (BY OTHERS)
⑩	CONCRETE WALKWAY
⑪	ASPHALT WALKWAY
⑫	DOGIE WASTE STATION
⑬	SITE FURNISHING, PER OWNER
⑭	EMERGENCY ACCESS GATE, BY OTHERS
⑮	CONCRETE SEATWALL WITH PLANTING CONTAINERS, FORM BOARD FINISH
⑯	HVAC/UTILITY SCREEN PANEL, TYPICAL AT ALL HVAC'S/UTILITIES FACING PUBLIC VIEW

## LIGHTING SYMBOLS

SYMBOL	DESCRIPTION
☆	CARPORT LED LIGHT
*	LED BOLLARD LIGHT
⦿	LED AREA LIGHT 14' LUMINERE HEIGHT WITH GLARE CUT-OFFS AS REQUIRED TO PREVENT LIGHT FROM SHINING ONTO ADJACENT PROPERTIES

BRIAN FIRTH  
LANDSCAPE  
ARCHITECT, INC.  
627 BROADWAY, SUITE 220,  
CHICO, CALIFORNIA 95928  
PHONE (530) 899-1130  
www.BFLAdesign.com  
www.facebook.com/BFLAdesign



CONSULTANT

CLIENT

CHANNEL  
PROPERTIES

1850 SOSCOL  
AVENUE, SUITE 207  
NAPA, CA 94559

PROJECT

EATON RANCH  
APARTMENTS

EATON AVENUE  
CHICO CA 95928

SHEET TITLE

EATON RANCH I  
PRELIMINARY  
LANDSCAPE PLAN  
20 SCALE

DATES

NO.	DESCRIPTION	DATE
1	REVIEW SUBMITTAL	9-19-18
	SITE REVISIONS	10-30-18

Plot Date: October 30, 2018 - 2:31 pm

PROJECT NUMBERS

BFLA PROJECT #: 2056

CONSULTANT PROJECT #:

APN: 014-200-117 AND 014-340-034

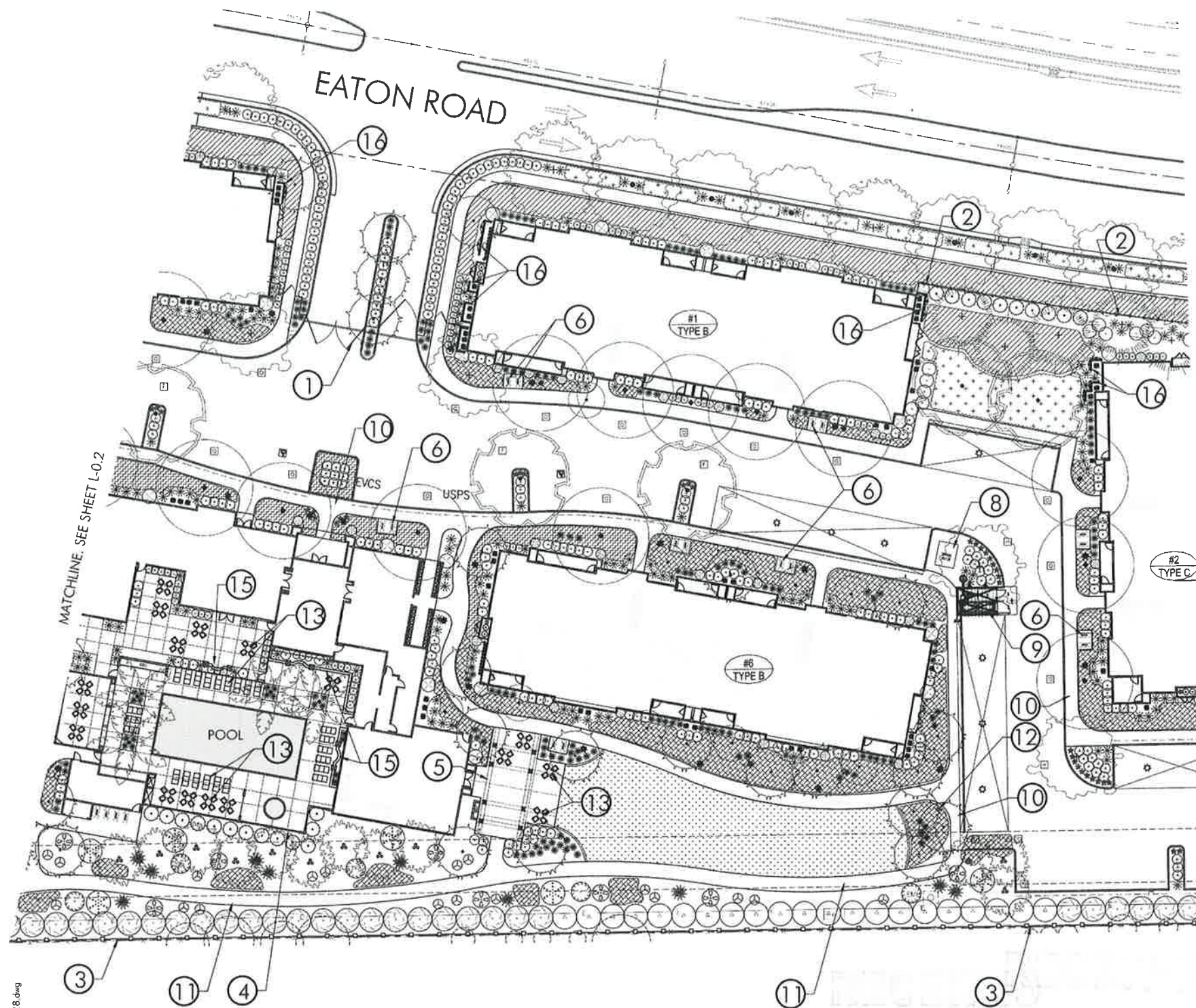
SHEET NUMBER



SCALE: 1" = 20' 0"

L-0.2  
Attachment G

File Name: C:\Users\lason\appdata\local\temp\AcPublish\_840A120556 Lot 11 Prelim 10-29-18.dwg



### PLANT LIST

SYMBOL	LATIN NAME / COMMON NAME	CONTAINER SIZE	QUANTITY	REMARKS	WATER USE
<b>TREES</b>					
●	ACER PALMATUM BLOODGOOD	24" BOX	28	STANDARD	MEDIUM
●	JAPANESE MAPLE	15 GAL	22	STANDARD	MEDIUM
●	LIRIODENDRON EVERGREEN ELM	15 GAL	14	STANDARD	MEDIUM
●	QUERCUS SUBER SCORCH OAK	15 GAL	16	STANDARD	LOW
●	PRUNUS CANARIENSIS CANARY ISLAND PINE	15 GAL	21	STANDARD	LOW
●	QUERCUS LOBATA VALLEY OAK	24" BOX	28	STANDARD	LOW
●	LAEGERSTROEMIA INDICA 'FIREBIRD' RED FLOWERING CRAPE MYRTLE	24" BOX	34	STANDARD	LOW
●	LAEGERSTROEMIA INDICA TUSCARORA TUSCARORA CRAPE MYRTLE	15 GAL	13	STANDARD	LOW
●	PSITACHIA CHINENSIS KEITH DAVEY KEITH DAVEY CHINESE PISTACHE	15 GAL	16	STANDARD	MEDIUM
●	QUERCUS COCCINEA CARLETT OAK	24" BOX	31	STANDARD	MEDIUM
●	OSMANTHUS FRAGRANS SWEET OLIVE	12" HEIGHT	4	STANDARD	MEDIUM
●	WASHINGTONIA ROBUSTA MEXICAN FAN PALM				
<b>SHRUBS</b>					
○	VIBURNUM TINUS SPRING BOUQUET SPRING BOUQUET VIBURNUM	5 GAL	44		MEDIUM
○	CAMELLIA SASANGUELA CIECAPATRA SASANGUELA CAMELLIA	1 GAL	62		MEDIUM
○	ROSA NOATRUM GROUND COVER ROSE (RED)	5 GAL	156		MEDIUM
○	RHAPHIOLEPS INDICA 'SPRINGTIME' SPRINGTIME INDIA HAWTHORN	1 GAL	384		MEDIUM
○	AGAPANTHUS AFRICANUS 'QUEEN ANNE' LILY OF THE Nile	1 GAL	508		LOW
○	DIETES BICOLOR FORTNIGHT LILY/MORREA LILY	5 GAL	50		MEDIUM
○	PODOCARPUS M. AMATI SHREVEY YEW PINE	1 GAL	196		LOW
○	HANDSIA DOMESTICA 'COMPACTA' COMPACT HEAVENLY BAMBUSO	5 GAL	326		MEDIUM
○	LOROPETALUM CHINENSIS 'JAZZ HANDS' COMPACT LOROPETALUM	1 GAL	136		MEDIUM
○	HEMEROCALLIS HYBRID EVERGREEN DAYLILY (FLOWER COLOR PER OWNER)	5 GAL	65		MEDIUM
○	PHOTINIA X FRASERI FRASERS PHOTOINIA	5 GAL	33		MEDIUM
○	PRUNUS LAURO-CERASUS ENGLISH LAUREL	5 GAL	69		LOW
○	GRILLEA X 'NOELI' NOELI GREVILLEA	5 GAL	8		LOW
○	ARCTOSTAPHYLOS HOWARD MCMINN MCMINN MANZANITA	5 GAL	12		LOW
○	PLUMBAGO AURICULATA CAPE PLUMBAGO	1 GAL	22		LOW
○	ZAUSCHNERIA CALIFORNICA CALIFORNIA FUCHSIA	1 GAL	18		LOW
○	MULLENBERGIA RIGENS DEER GRASS	5 GAL	12		LOW
○	CERCIS OCCIDENTALIS WESTERN REDBUD	SOD	5,012 SF		HIGH
○	TURF DWARF TURF TYPE TALL FESCUE	1 GAL	17,887 SF	PLANT @ 36" O.C.	MEDIUM
○	TRACHELOSPERMUM JASMINOIDES STAR JASMINE	1 GAL	2,041 SF	PLANT @ 36" O.C.	LOW
○	TEUCRIUM CHAMAEDRYS 'PROSTRATUM' PROSTRATE GERMANDER	1 GAL	15,136 SF	PLANT @ 36" O.C.	LOW
○	JUNPERUS CONFERTA SHORE JUNPER	1 GAL	20,034 SF	PLANT @ 36" O.C.	MEDIUM
○	ARTISTOPHYLLIS LIVA URSI WOODS COMPACT WOODS COMPACT GROUND COVER MANZANITA				
<b>VINES</b>					
▲	PARTHENOCISSUS TRICSPATA BOSTON IVY	1 GAL	10	TRAIN TO TRASH ENCLOSURE TRANSFER SCREEN	MEDIUM
▲	TRACHELOSPERMUM JASMINOIDES STAR JASMINE (STAKED)	1 GAL	36		MEDIUM

### PLAN LEGEND

SYMBOL	DESCRIPTION
①	ENTRY GATE
②	SIX FOOT HIGH, BLACK, TUBULAR STEEL FENCING
③	SIX FOOT HIGH, BOARD ON BOARD FENCE WITH CAP
④	POOL FENCING
⑤	SHADE TRELLIS
⑥	GUEST BICYCLE PARKING TYPICAL SYMBOL
⑦	PG & E ACCESS GATES (12 FOOT MINIMUM WIDTH)
⑧	TRANSFORMER LOCATION
⑨	TRASH ENCLOSURE (BY OTHERS)
⑩	CONCRETE WALKWAY
⑪	ASPHALT WALKWAY
⑫	DOGIE WASTE STATION
⑬	SITE FURNISHING PER OWNER
⑭	EMERGENCY ACCESS GATE BY OTHERS
⑮	CONCRETE SEATWALL WITH PLANTING CONTAINERS FORM BOARD FINISH
⑯	HVAC/ UTILITY SCREEN PANEL TYPICAL AT ALL HVAC/ UTILITIES FACING PUBLIC VIEW

NOTE: ALL LANDSCAPED AREAS TO RECEIVE A MINIMUM 3" LAYER OF BROWN LAVA ROCK.

### LIGHTING SYMBOLS

SYMBOL	DESCRIPTION
⊛	CARPORT LED LIGHT
⊛	LED BOLLARD LIGHT
⊛	LED AREA LIGHT 14" LUMINERE HEIGHT WITH GLARE CUT-OFFS AS REQUIRED TO PREVENT LIGHT FROM SHINING ONTO ADJACENT PROPERTIES

BRIAN FIRTH  
LANDSCAPE  
ARCHITECT, INC.  
627 BROADWAY, SUITE 220,  
CHICO, CALIFORNIA 95928  
PHONE (530) 899-1130  
www.BFLAdesign.com  
www.facebook.com/BFLAdesign

LICENSE



CONSULTANT

CLIENT

CHANNEL  
PROPERTIES

1850 SOSCOL  
AVENUE, SUITE 207  
NAPA, CA 94559

PROJECT

EATON RANCH  
APARTMENTS

EATON AVENUE  
CHICO CA 95928

SHEET TITLE  
EATON RANCH I  
PRELIMINARY  
LANDSCAPE PLAN  
20 SCALE

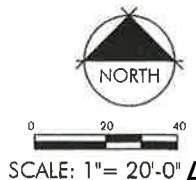
DATES	NO	DESCRIPTION	DATE
1	REVIEW SUBMITTAL	SITE REVISIONS	9-19-18 10-30-18

Plot Date: October 30, 2018 - 2:32 pm

PROJECT NUMBERS  
BFLA PROJECT #: 2056  
CONSULTANT PROJECT #:  
APN: 016-200-117 AND 016-340-034

SHEET NUMBER

L-0.3



SCALE: 1" = 20'-0"

Attachment G

# PLANT LIST

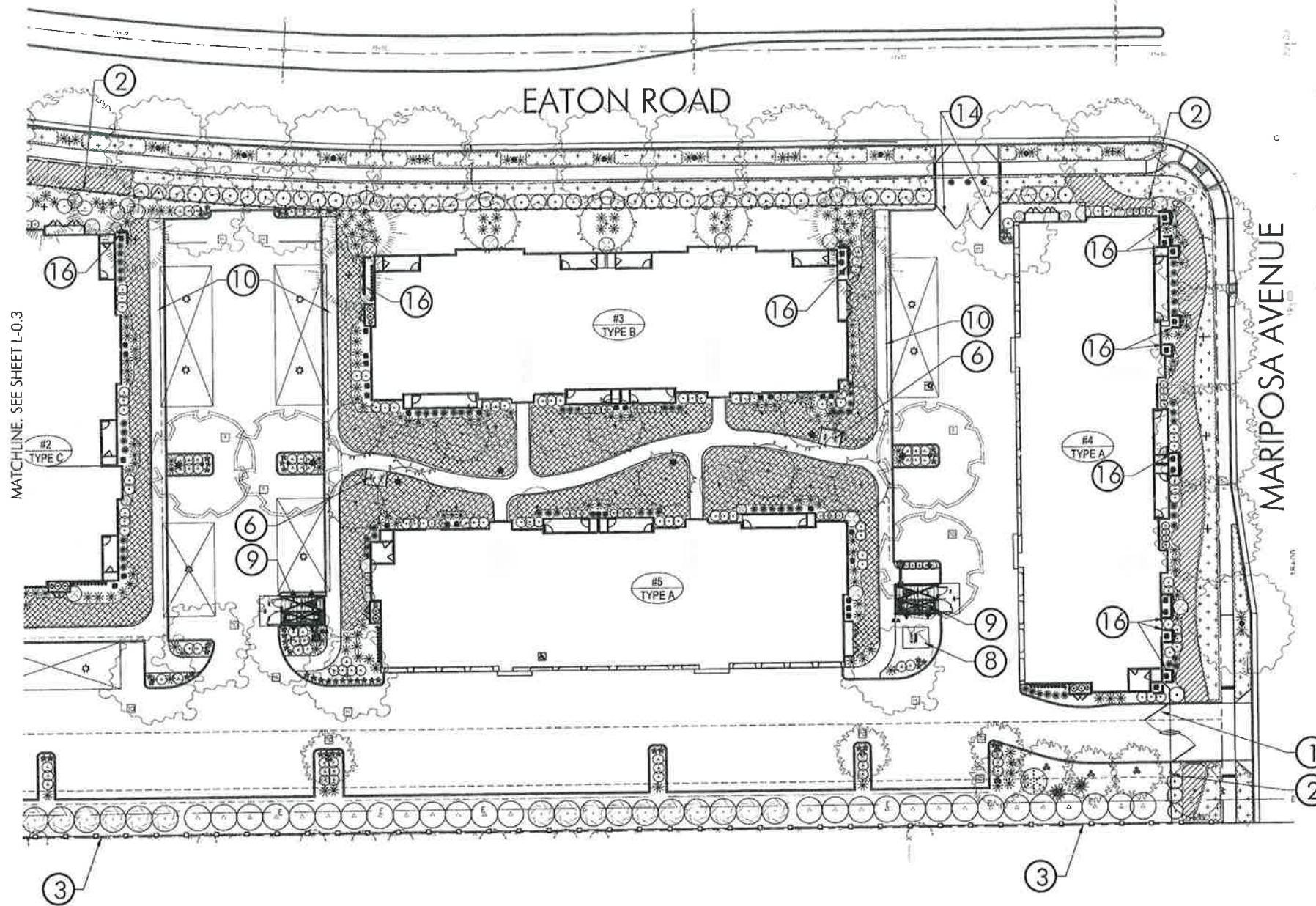
SYMBOL	LATIN NAME / COMMON NAME	CONTAINER SIZE	QUANTITY	REMARKS	WATER USE
<b>TREES</b>					
●	ACER PALMATUM BLOODGOOD JAPANESE MAPLE	24" BOX	28	STANDARD	MEDIUM
●	ULMUS PARVIFOLIA EVERGREEN ELM	15 GAL	22	STANDARD	MEDIUM
●	QUERCUS SUBER CORK OAK	15 GAL	14	STANDARD	MEDIUM
●	PINUS CANARIENSIS CANARY ISLAND PINE	15 GAL	16	STANDARD	LOW
●	QUERCUS LOBATA VALLEY OAK	15 GAL	21	STANDARD	LOW
●	LAGERSTROEMIA INDICA FIREBIRD RED FLOWERING CRAPE MYRTLE	24" BOX	28	STANDARD	LOW
●	LAGERSTROEMIA INDICA TUSCARORA CRAPE MYRTLE	24" BOX	34	STANDARD	LOW
●	PISTACHIA CHINENSIS KEITH DAVEY KEITH DAVEY CHINESE PISTACHE	15 GAL	13	STANDARD	LOW
●	QUERCUS COCCINEA SCARLET OAK	15 GAL	16	STANDARD	MEDIUM
●	OSMANTHUS FRAGRANS SWEET OLIVE	24" BOX	31	STANDARD	MEDIUM
●	WASHINGTONIA ROBUSTA AMERICAN FAN PALM	12 TIRIGHT	4	STANDARD	MEDIUM
<b>SHRUBS</b>					
○	VIBURNUM TINUS SPRING BOUQUET SPRING BOUQUET VIBURNUM	5 GAL	44		MEDIUM
○	CAMELLIA SASANKIJA 'CLEOPATRA' SASANKIJA CAMELLIA	5 GAL	53		MEDIUM
○	ROSA NOATRUM GROUND COVER ROSE (RED)	1 GAL	82		MEDIUM
○	RAPHANOPHYS INDICA SPRINGTIME SPRINGTIME INDIA HANTHORN	5 GAL	156		MEDIUM
○	ACAPANTHUS AFRICANUS 'QUEEN ANNE' LILY OF THE Nile	1 GAL	384		MEDIUM
○	DIETES BICOLOR FORTNIGHT LILY/MORREA LILY	1 GAL	508		LOW
○	PODOCARPUS M. MAKI SHRUBBY YEW PINE	5 GAL	30		MEDIUM
○	HANDERIA DOMESTICA 'COMPACTA' COMPACT HEAVENLY BAMBOO	1 GAL	196		LOW
○	LOROPETALUM CHINENSE 'JAZZ HANDS' COMPACT LOROPETALUM	5 GAL	326		MEDIUM
○	HEMEROCALLIS HYBRID EVERGREEN DAYLILY (FLOWER COLOR PER OWNER)	1 GAL	136		MEDIUM
○	PHOTINIA X FRASEI FRASER'S PHOTINIA	5 GAL	65		MEDIUM
○	PRUNUS LAUROCERASUS ENGLISH LAUREL	5 GAL	53		MEDIUM
○	GREVILLEA X 'NOELL' NOELL GREVILLEA	5 GAL	69		LOW
○	ARCTOSTAPHYLOS HOWARD MCMINN MCMINN MANZANITA	5 GAL	8		LOW
○	PLUMBAGO ALBICULATA CAPE PLUMBAGO	5 GAL	12		LOW
○	ZALUSCHNERIA CALIFORNICA CALIFORNIA FLUCHSIA	1 GAL	22		LOW
○	MULLENBERGIA REGENS DEER GRASS	1 GAL	18		LOW
○	CERCIS OCCIDENTALIS WESTERN REDBUD	5 GAL	12		LOW
○	TURF DWARF TURF TYPE TALL FESCUE	50D	5,012 SF		HIGH
○	TRACHELOSPERMUM JASMINOIDES STAR JASMINE	1 GAL	17,887 SF	PLANT @ 36" O.C.	MEDIUM
○	TEUCRIUM CHAMAEDRYS PROSTRATUM PROSTRATE GERANANDER	1 GAL	2,041 SF	PLANT @ 36" O.C.	LOW
○	JUNIPERUS CONFERTA SHORE JUNIPER	1 GAL	13,130 SF	PLANT @ 36" O.C.	LOW
○	ARCTOSTAPHYLOS LVA LRSI WOODS COMPACT WOODS COMPACT GROUND COVER MANZANITA	1 GAL	20,034 SF	PLANT @ 36" O.C.	MEDIUM
<b>VINES</b>					
▲	PARTHENOCCISSUS TRICSPDATA BOSTON IVY	1 GAL	10	TRAIN TO TRASH ENCLOSURE TRAIN BACK SCREEN	MEDIUM
▲	TRACHELOSPERMUM JASMINOIDES STAR JASMINE (STAKED)	1 GAL	36		MEDIUM

## PLAN LEGEND

SYMBOL	DESCRIPTION
①	ENTRY GATE
②	SIX FOOT HIGH, BLACK, TUBULAR STEEL FENCING
③	SIX FOOT HIGH, BOARD ON BOARD FENCE WITH CAP
④	POOL FENCING
⑤	SHADE TRELLIS
⑥	GUEST BICYCLE PARKING, TYPICAL SYMBOL
⑦	PG & E ACCESS GATES (12 FOOT MINIMUM WIDTH)
⑧	TRANSFORMER LOCATION
⑨	TRASH ENCLOSURE (BY OTHERS)
⑩	CONCRETE WALKWAY
⑪	ASPHALT WALKWAY
⑫	DOGIE WASTE STATION
⑬	SITE FURNISHING, PER OWNER
⑭	EMERGENCY ACCESS GATE, BY OTHERS
⑮	CONCRETE SEATWALL WITH PLANTING CONTAINERS, FORM BOARD FINISH
⑯	HVAC/ UTILITY SCREEN PANEL TYPICAL AT ALL HVAC/ UTILITIES FACING PUBLIC VIEW

## LIGHTING SYMBOLS

SYMBOL	DESCRIPTION
☆	CARPORT LED LIGHT
★	LED BOLLARD LIGHT
⦿	LED AREA LIGHT 14' LUMINERE HEIGHT WITH GLARE CUT-OFFS AS REQUIRED TO PREVENT LIGHT FROM SHINING ONTO ADJACENT PROPERTIES



BRIAN FIRTH  
LANDSCAPE  
ARCHITECT, INC.  
627 BROADWAY, SUITE 220,  
CHICO, CALIFORNIA 95928  
PHONE (530) 899-1130  
www.BFLAdesign.com  
www.facebook.com/BFLAdesign



CONSULTANT  
  
CLIENT  
  
CHANNEL  
PROPERTIES

1850 SOSCOL  
AVENUE, SUITE 207  
NAPA, CA 94559  
  
PROJECT  
EATON RANCH  
APARTMENTS  
  
EATON AVENUE  
CHICO CA 95928

SHEET TITLE  
EATON RANCH I  
PRELIMINARY  
LANDSCAPE PLAN  
20 SCALE

DATE	NO	DESCRIPTION	DATE
1	REVIEW	SUBMITTAL	9-19-18
		SITE REVISIONS	10-30-18

Plot Date: October 30, 2018 - 2:32 pm  
  
PROJECT NUMBERS  
BFLA PROJECT # 2056  
CONSULTANT PROJECT #:  
APN: 016-200-117 AND 016-340-034  
  
SHEET NUMBER



0 20 40

SCALE: 1" = 20'-0" Attachment G



GAS GRILL



HVAC/ UTILITY SCREEN PANEL (WITH EVERGREEN VINE TRAINED TO PANEL)



TUBULAR STEEL FENCING



BICYCLE RACK



DOGGY WASTE STATION



TABLES AND CHAIRS STATION

BRIAN FIRTH  
LANDSCAPE  
ARCHITECT, INC.  
627 BROADWAY, SUITE 220,  
CHICO, CALIFORNIA 95928  
PHONE: (530) 899 1130  
www.BFLAdesign.com  
www.facebook.com/BFLAdesign

LICENSE



CONSULTANT

PHILIPS GARDCO LED

Site & Area

Item	Description	Quantity	Unit	Notes
1	Philips Gardco LED	1	Each	
2	Philips Gardco LED	1	Each	
3	Philips Gardco LED	1	Each	
4	Philips Gardco LED	1	Each	
5	Philips Gardco LED	1	Each	

CARPORT

SVPG SoftView LED

Parking garage illuminator

Item	Description	Quantity	Unit	Notes
1	SVPG SoftView LED	1	Each	
2	SVPG SoftView LED	1	Each	
3	SVPG SoftView LED	1	Each	
4	SVPG SoftView LED	1	Each	
5	SVPG SoftView LED	1	Each	

PHILIPS GARDCO LED

Site & Area

Item	Description	Quantity	Unit	Notes
1	Philips Gardco LED	1	Each	
2	Philips Gardco LED	1	Each	
3	Philips Gardco LED	1	Each	
4	Philips Gardco LED	1	Each	
5	Philips Gardco LED	1	Each	

BOLLARD LIGHT

PBL PureForm LED bollard

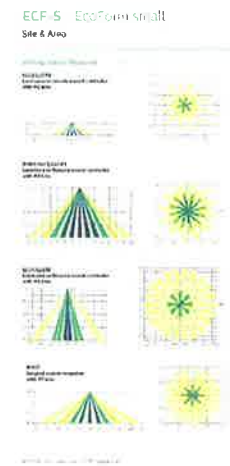
Item	Description	Quantity	Unit	Notes
1	PBL PureForm LED bollard	1	Each	
2	PBL PureForm LED bollard	1	Each	
3	PBL PureForm LED bollard	1	Each	
4	PBL PureForm LED bollard	1	Each	
5	PBL PureForm LED bollard	1	Each	

OCT 31 2018 AREA LIGHT (14 FOOT LUMINERE HEIGHT)

PHILIPS GARDCO LED

Site & Area

Item	Description	Quantity	Unit	Notes
1	Philips Gardco LED	1	Each	
2	Philips Gardco LED	1	Each	
3	Philips Gardco LED	1	Each	
4	Philips Gardco LED	1	Each	
5	Philips Gardco LED	1	Each	



CLIENT

CHANNEL  
PROPERTIES  
1850 SOSCOL  
AVENUE, SUITE 207  
NAPA, CA 94559

PROJECT  
EATON RANCH  
APARTMENTS

EATON AVENUE  
CHICO CA 95928

SHEET TITLE  
EATON RANCH I  
PRELIMINARY DESIGN  
DEVELOPMENT

DATES

NO	DESCRIPTION	DATE
1	REVIEW SUBMITTAL	9-19-18
	SITE REVISIONS	10-30-18

Plot Date: October 30, 2018 - 2:32 pm

PROJECT NUMBERS  
BFLA PROJECT #: 2056  
CONSULTANT PROJECT #:  
APN: 016-200-117 AND 016-340-034

SHEET NUMBER

L-0.5

Attachment G



POOL



BOARD ON BOARD FENCE



POOL FENCING

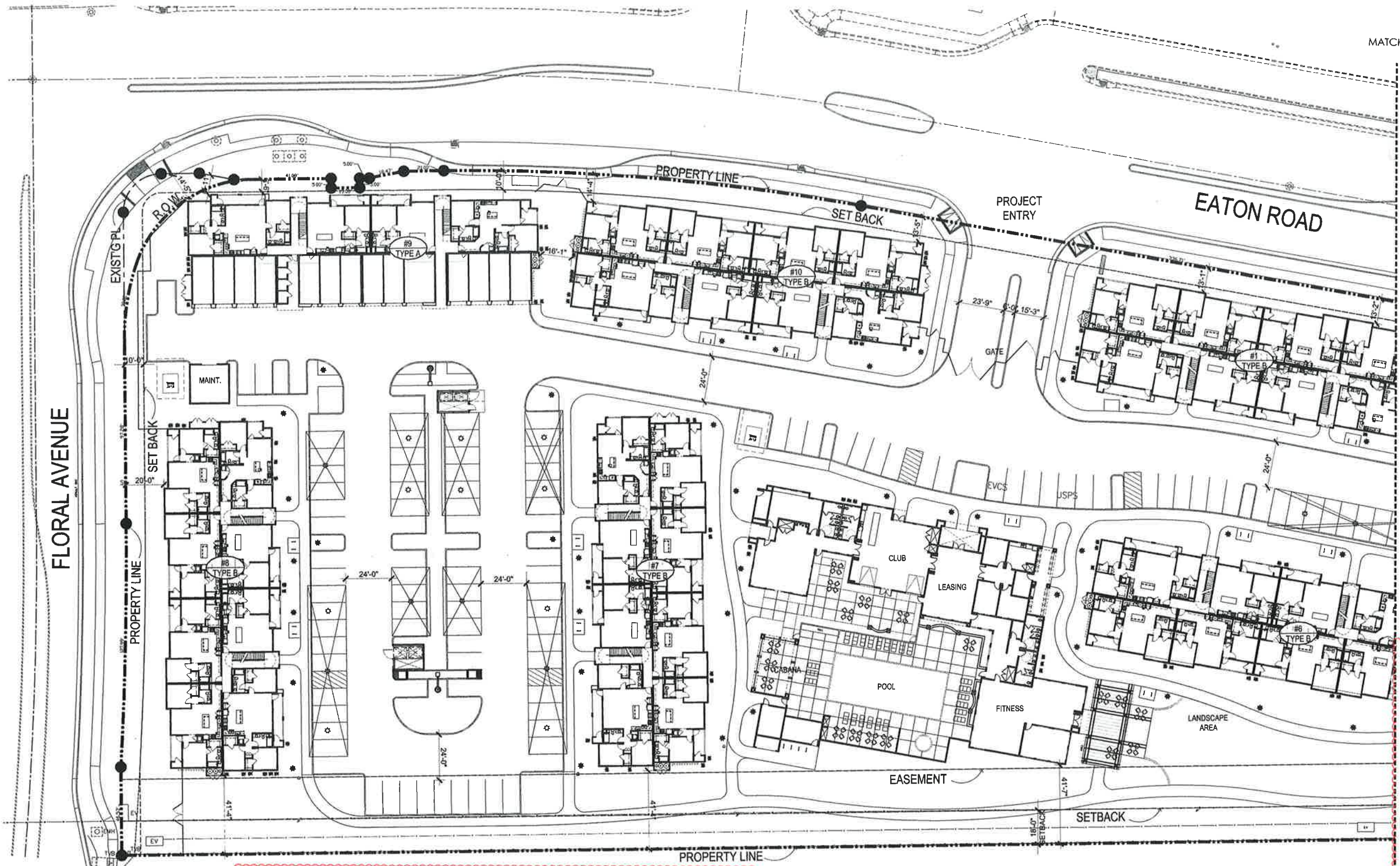


ENTRY SIGNAGE

File Name: C:\Users\lucan\AppData\Local\Temp\AcP\publish\_8404\2056 Lot 11 Prelim 10-29-18.dwg

MATCHLINE

OCT 31 2018



**KEYNOTE LEGEND**

- LIGHTING
- CONDENSER
- TRANSFORMER
- TRASH ENCLOSURE
- GAS METER
- WATER HEATER

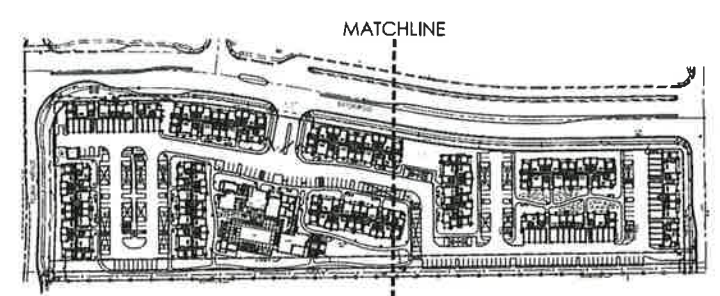
**PARKING REQUIRED**

DU	SPACE/DU	EATON RANCH I
1 BR	1.25	49
2 BR	1.75	147
3 BR	2.0	40
<b>SUBTOTAL</b>		<b>236</b>
GUEST	0.2	29
<b>TOTAL</b>		<b>264</b>
REQ. ACCESSIBLE STALLS (INCL. IN TOTAL)		7

MIN. 1 COVERED STALL PER UNIT

**PARKING PROVIDED**

PARKING TYPE	EATON RANCH I
GARAGES	41
2% ACCESSIBLE GARAGE	1
CARPOR	106
2% ACCESSIBLE CARPORT	3
OPEN	111
2% ACCESSIBLE OPEN	3
<b>TOTAL</b>	<b>265</b>



KEY MAP (N.T.S.)



1"=20'-0" 0 10' 20' 40' 60'

FLORAL AVENUE

EATON ROAD

**EATON RANCH**  
**CHANNEL PROPERTIES**  
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559  
 707-252-5460

CHICO, CA

EATON RANCH I SITE PLAN

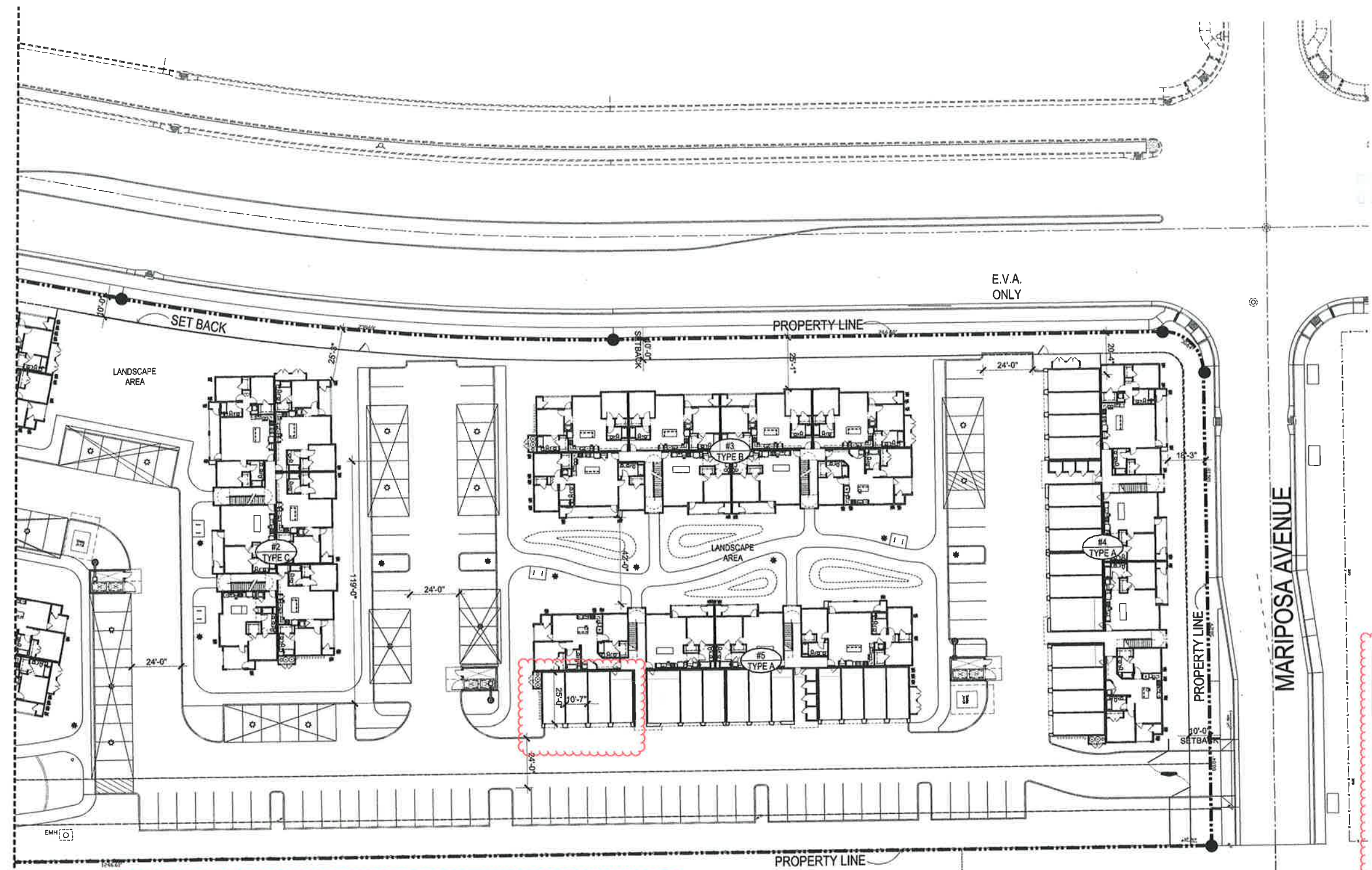
A1.3

DATE: 09-26-18  
 JOB NO.: 2018-369  
**ARCHITECTS ORANGE**  
 144 NORTH ORANGE ST., ORANGE, CA 92866  
 (714) 639-9860



Attachment H

MATCHLINE



OCT 31 2018

PLANNING SERVICES

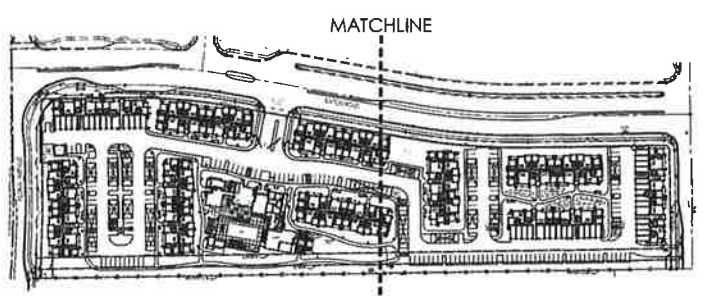
**KEYNOTE LEGEND**

- LIGHTING
- CONDENSER
- TRANSFORMER
- TRASH ENCLOSURE
- GAS METER
- WATER HEATER

PARKING REQUIRED		
DU	SPACE/DU	EATON RANCH I
1 BR	1.25	49
2 BR	1.75	147
3 BR	2.0	40
SUBTOTAL		236
GUEST	0.2	29
<b>TOTAL</b>		<b>264</b>
REQ. ACCESSIBLE STALLS (INCL. IN TOTAL)		7
MIN. 1 COVERED STALL PER UNIT		

PARKING PROVIDED	
PARKING TYPE	EATON RANCH I
GARAGES	41
2% ACCESSIBLE GARAGE	1
CARPORT	106
2% ACCESSIBLE CARPORT	3
OPEN	111
2% ACCESSIBLE OPEN	3
<b>TOTAL</b>	<b>265</b>



1"=20'-0" 0 10' 20' 40' 60'

EATON RANCH I SITE PLAN

A1.4

**EATON RANCH**  
**CHANNEL PROPERTIES**  
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559  
 707-252-5460

CHICO, CA

DATE: 09-26-18  
 JOB NO.: 2018-369  
**ARCHITECTS ORANGE**  
 144 NORTH ORANGE ST., ORANGE, CA 92866  
 (714) 639-9860









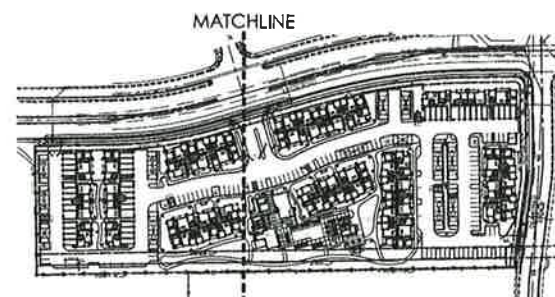
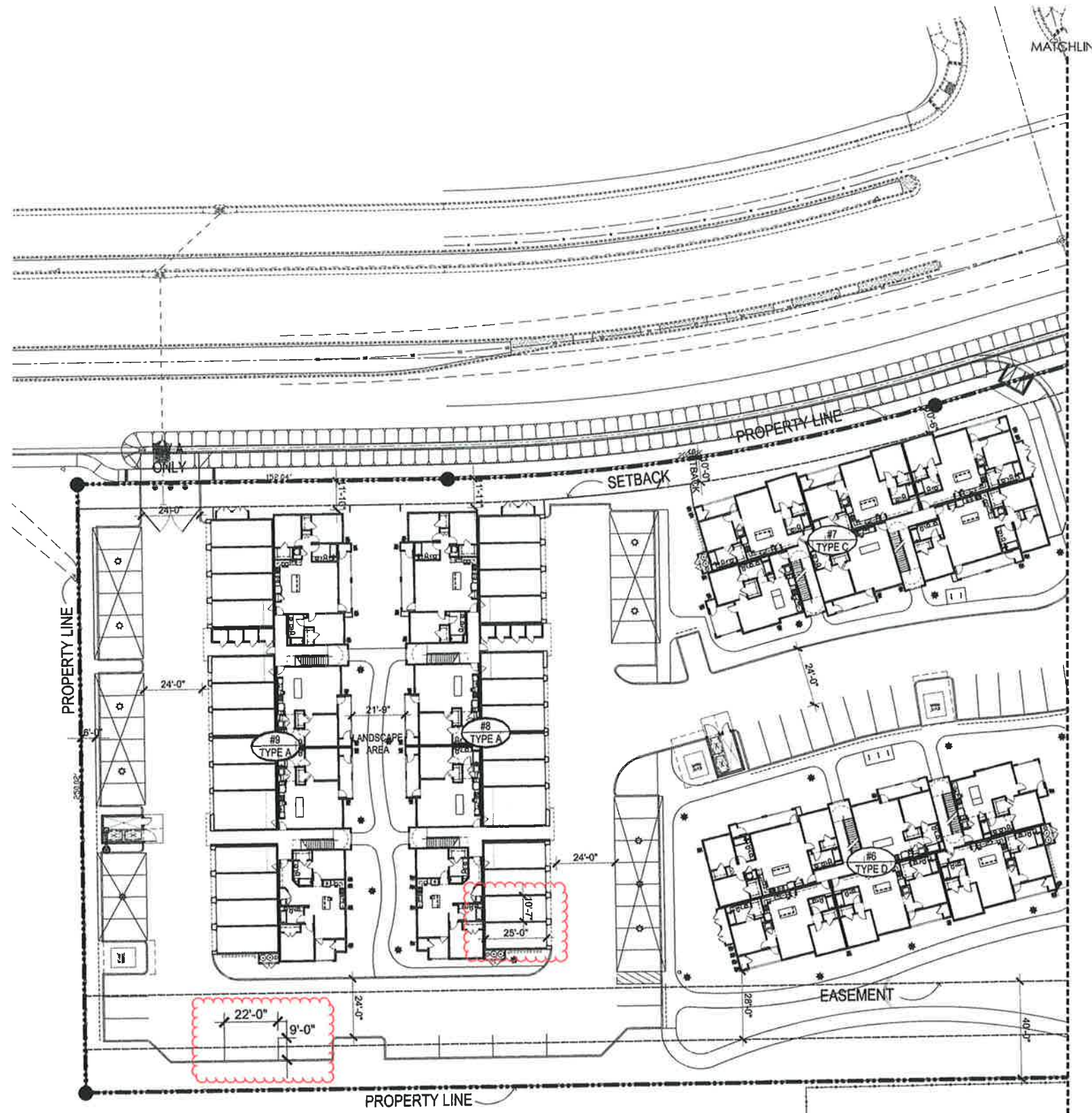
Attachment H

PARKING REQUIRED		
DU	SPACE/DU	EATON RANCH II
1 BR	1.25	43
2 BR	1.75	109
3 BR	2.0	36
SUBTOTAL		187
GUEST	0.2	23
TOTAL		210
REQ. ACCESSIBLE STALLS		5
(INCL. IN TOTAL)		
MIN. 1 COVERED STALL PER UNIT		

PARKING PROVIDED	
PARKING TYPE	EATON RANCH II
GARAGES	41
2% ACCESSIBLE GARAGE	1
CARPORT	63
2% ACCESSIBLE CARPORT	2
OPEN	87
2% ACCESSIBLE OPEN	3
TOTAL	217

**KEYNOTE LEGEND**

-  LIGHTING
-  CONDENSER
-  TRANSFORMER
-  TRASH ENCLOSURE
-  GAS METER
-  WATER HEATER



OCT 31 2018

CITY OF ORANGE  
PLANNING SERVICES



1"=20'-0"  
0 10' 20' 40' 60'

EATON RANCH II SITE PLAN

A1.5

**EATON RANCH**  
CHANNEL PROPERTIES  
1850 SOCOL AVE, SUITE 207 NAPA, CA 94559  
707-252-5460

CHICO, CA

DATE: 09-26-18  
JOB NO.: 2018-369  
**ARCHITECTS ORANGE**  
144 NORTH ORANGE ST., ORANGE, CA 92866  
(714) 639-9860









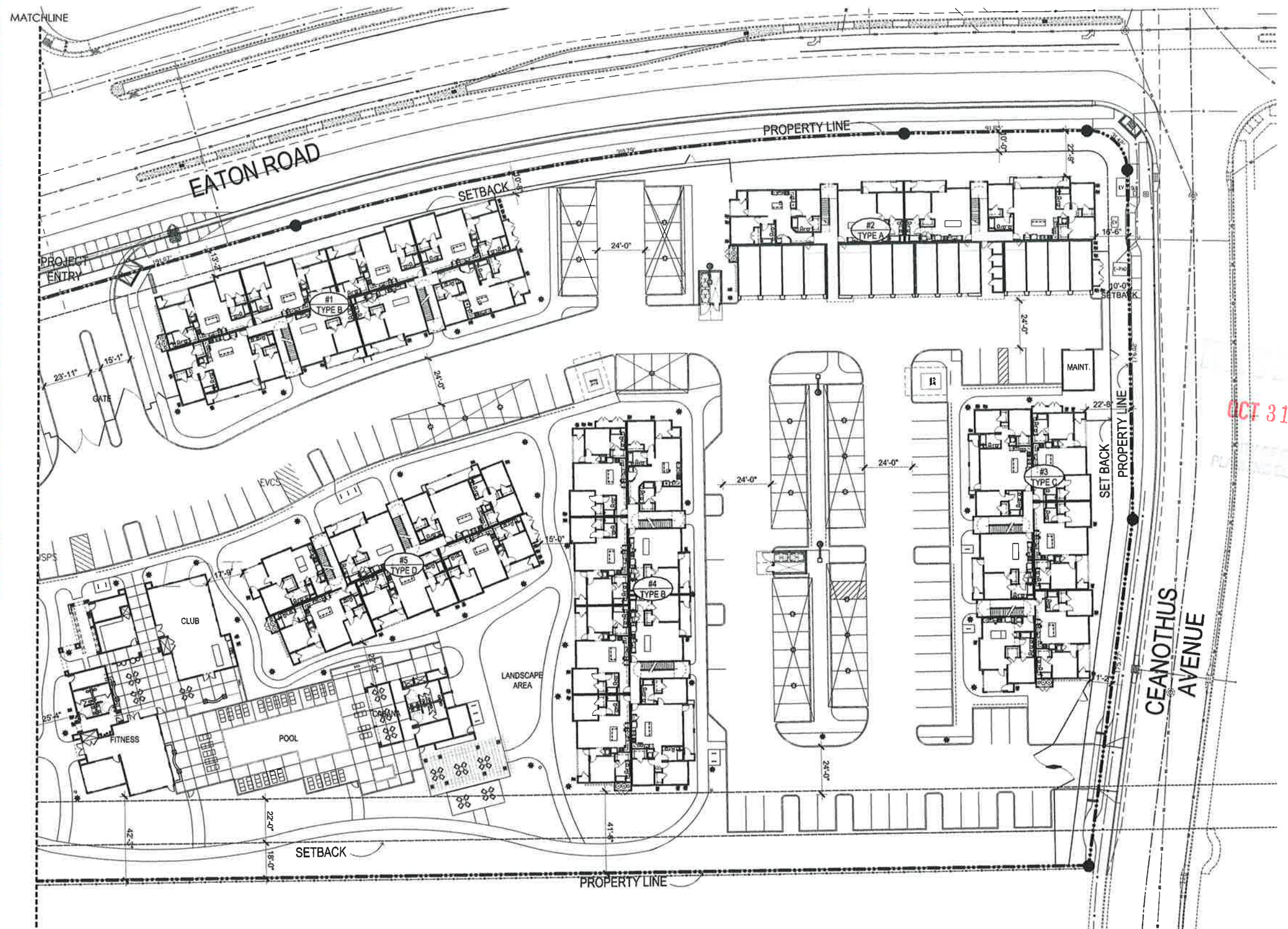
Attachment I

PARKING REQUIRED		
DU	SPACE/DU	EATON RANCH II
1 BR	1.25	43
2 BR	1.75	109
3 BR	2.0	36
SUBTOTAL		187
GUEST	0.2	23
TOTAL		210
REQ. ACCESSIBLE STALLS		5
(INCL. IN TOTAL)		
MIN. 1 COVERED STALL PER UNIT		

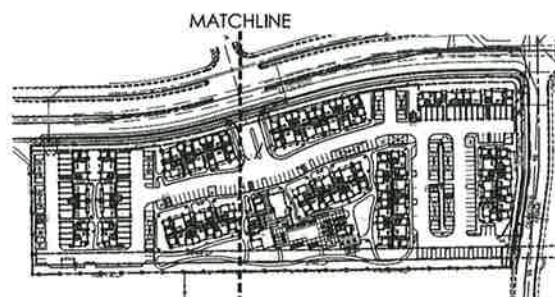
PARKING PROVIDED	
PARKING TYPE	EATON RANCH II
GARAGES	41
2% ACCESSIBLE GARAGE	1
CARPORT	83
2% ACCESSIBLE CARPORT	2
OPEN	87
2% ACCESSIBLE OPEN	3
TOTAL	217

**KEYNOTE LEGEND**

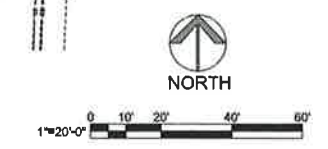
-  LIGHTING
-  CONDENSER
-  TRANSFORMER
-  TRASH ENCLOSURE
-  GAS METER
-  WATER HEATER



OCT 31 2013



KEY MAP (N.T.S.)





**TO:**

Architectural Review and Historic Preservation Board (ARHPB), City of Chico Planning Commission, Chico City Council

**FROM:**

Residents living on Ceanothus Ave, Lucy Ave, Sale Ave, Hannah Rose Court, Brenni Way, Wanderer Lane, and other residents affected by the planned Eaton Ranch Project.

**TOPIC:**

Planned Development Permit 18-01 (Channel Easton Road) APN 016-200-017 and APN 016-340-034

**IDENTIFIED ISSUES:**

1. Compatibility of a 257 apartment complex in a parcel approved 12 years ago as zoned Medium High Density Residential amongst the current residential homes located near the project.
2. Significant traffic impact on a two lane road way (Ceanothus) Ave with no room for widening for a planned 257 unit development.
3. Entry/ Exit for the Eaton Ranch Part II Site Plan is directly onto Ceanothus Ave. This will cause a traffic impaction due to traffic exiting and moving north onto Ceanothus Ave, while traffic is moving south from Eaton Road. Also, allowing traffic to turn West bound into the complex from Ceanothus Ave with no dedicated turn lane will back traffic up.

**POTENTIAL SOLUTIONS:**

1. **REZONING:** Rezone the specific parcel between Mariposa Ave and Ceanothus Ave (APN 016-340-034) to a Medium Density Residential zone similar to the lands zoned directly to the east of the parcel (APN 016-200-201 and APN 016-200-102). This would allow for more single family homes to be built amongst other single family homes. Especially, since the Camp Fire has impacted residents of Paradise, families are looking for long term housing opportunities as obviously seen by the Chico Real Estate market being reduced from over 250 listings to around 40-50 for single family residences.
  - a. If Rezoning is not agreeable as a possibility, a reduction of the number of units to the minimum of 14 units per acre to be compatible with the lower end of Medium High Density Residential Zoning to reduce the number of residents at the single location and thus reduce traffic on Ceanothus would be suggested.
2. **FULL TRAFFIC SAFETY SURVEY:** Prior to approval of the planned development, a full traffic study should be conducted on Ceanothus Ave between Eaton Road and East Ave. The traffic study should be conducted while the students of PV High and Marigold Elementary are in session and not scheduled breaks such as winter break, spring break, or summer vacation. This will show how the traffic has increased significantly since the approval of this assigned project as a Medium High Density. This will also show the increased traffic due to the Eaton Road expansion from Floral Avenue to Ceanothus Ave. Traffic safety is a high priority concern due to the straight roadway from Eaton Road to East Ave. Traffic is consistently in excess of the posted speed limit and crossing the roadway from the east side of

Ceanothus Ave to the west side is becoming increasingly unsafe for everyone especially a family with children, or the elderly.

3. **PLAN REDESIGN TO INCLUDE A TRAFFIC ENTRY/EXIT CUL-DE-SAC:** Similar to the Harvest Park Apartments located on the West East Ave roadway or the Eaton Village Apartments located on Penzance Ave located directly off of Eaton Road, the Eaton Ranch Site Plan II complex should have a cul-de-sac area located on the west side of the complex allowing for traffic from the planned development to enter the cul-de-sac and have a controlled intersection allowing easier traffic flow east and west onto Eaton Road (as Eaton Road is considered and Express Way)

If there are any questions related to these concerns, please feel free to contact me directly.

Respectfully Submitted,



Will and Amanda Clark  
1474 Sale Ave  
530-343-2844  
will@downrangechico.com

Respectfully submitted by the following residents:

PLEASE SEE ATTACHED SIGNATURE PAGES

## **Eaton Ranch I & II Neighborhood Meeting Minutes**

Meeting commenced on time at 5:30 PM on Monday, October 22, 2018. Meeting took place on-site near the corner of Floral Avenue and Eaton Road. In attendance were Jim Mann, Rural Consulting Associates – Project Consultant, Mark R. Funseth, Applicant/Owner’s Representative, Wes Gilbert, W. Gilbert Engineering – Project Civil Engineer, Brian Firth, Brian Firth Landscape Architects, Inc. – Project Landscape Architect, Shannon Costa, City of Chico Assistant Planner – Project Planner, and approximately 27 neighboring Residents. Residents who attended filled out their information on the attached Sign-In Sheet. Two people refused to sign-in or provide any contact information.

Jim Mann opened the meeting with an introduction of the Project Team in attendance followed by a brief overview/description of the Project covering the following:

- Owner is Channel Lumber/Channel Properties. Project will be managed by FPI Management. Same team developed, owns, and operates Eaton Village Apartments which is located on Eaton Road west of Esplanade
- Current zoning/density allows for 14-22 units per acre. Project density as proposed is approximately 16 1/2 units per acre
- Architecture – two-story garden style apartments
- Site – Main and secondary entry locations at Eaton Road and Mariposa for Eaton Ranch I and Eaton Road and Ceanothus for Eaton Ranch II respectively
- Security – Gated community with gates locked after normal business hours
- 24” x 36” site plans, colored architectural renderings, and landscape plans are here on display for Residents to review.

Shannon Costa then gave a brief overview covering the following:

- Purpose of Neighborhood Meeting
- Project Status – Application for ARB and Planning under a PD was received by City and Completeness Review is in process
- Neighboring residents will be notified at least 10 days in advance of future ARB and Planning Commission public hearings
- Zoning – Land is zoned R-3 which allows for multi-family residential use with a density of 14 to 22 units per acre

Meeting was then opened up to questions from Residents. The following items were discussed during this part of the meeting:

- Zoning – Resident who resides in the neighborhood to the South claimed that they were told when they bought their house that this land would always be Open Space. Shannon Costa replied saying that she did not recall what the zoning was before the

- current zoning which has been in place since approximately 2007 when the Mountain Vista and Sycamore Glen Planned Development Permits were approved. She also stated that she doubted that the site was ever zoned as Open Space. Other residents remarked that they did not know what zoning was designated for this site. However, one Resident indicated that when they bought their homes, the Project's current zoning was disclosed to them in writing by Seller/Developer, Epick Homes.
- Off-site Improvements – Resident asked if there were any signal lights or roundabouts being proposed. Project Team responded saying that Eaton Road would be expanded to two lanes in each direction with a center median and cuts as shown on the site plan. No signal lights are being proposed but the City has future plans to install roundabouts at Eaton/Floral and Eaton/Ceanothus.
- Fencing and Screening – Several neighbors inquired about fencing and screening at the along the southern property line. Project Team responded saying that a 6' board on board fence would be installed just inside the existing wood fence. All buildings are setback at least 40' from the southern property line and are orientated in such a way to minimize second story units "looking into the backyards of neighboring residents". Brian Firth then elaborated on landscaping proposed in this 40' setback area to help screen the Project. He also reminded Residents that certain restrictions imposed by PG&E limit the height and type of trees that can be planted in this area.
- Lighting - Several Residents inquired about Project lighting. Specifically, at the southern portion of the Project. Project Team responded saying LED walkway bollard lights, carport lights and 14' tall area lights are proposed in conformance with City Code. A couple of Residents indicated there is a transient/homeless problem and wanted more lighting, not less to deter this.
- Height of Buildings - Several Residents asked about the height of the buildings. Project Team responded saying that most buildings are two stories at a height of approximately 34'. Maximum allowable building height of 45' was noted.

The Meeting then broke up into smaller groups with the following questions being addressed by various Project Team members accordingly:

*Will the PG&E easement be fenced or gated?*

*Regarding the ends of the buildings facing existing homes, will the new apartment residents be able to see out to the existing homes? Are the entrances on the ends of the buildings?*

*Will the project include new trees?*

*What size will the trees be in the PG&E easement?*

*What type of trees will be in the PG&E easement?*

Page 3 of 3

*How wide is the PG&E easement?*

*What height will the fence be?*

*Is Mariposa going to connect to Eaton Road?*

*Is Eaton Road going to connect to the East?*

*Are the apartment units low income?*

*What is the zoning of the land to the East of Eaton Ranch II?*

*What about our gates in the existing fence that we use to exit our yards?*

With only a few Residents still left in attendance, the meeting ended at approximately 6:15 PM.

Contributors to the Neighborhood Meeting Minutes:

Mark Funseth

Brian Firth

Wes Gilbert

Jim Mann