



DATE: January 25, 2017
TO: PLANNING COMMISSION
FROM: Mark Corcoran, Senior Planner (879-6800, zoning@chicoca.gov)
RE: Sierra Central Credit Union Planned Development Permit and Use Permit
1380 East Avenue, APN 016-060-046

File:	AR 16-18
	MLD 16-05
	PDP 16-03
	UP 16-06

SUMMARY

The applicant proposes to construct a new 4,000 square foot credit union (bank) building with an attached covered drive-through within an existing parking lot of the Safeway East Avenue Marketplace. The site is designated Commercial Mixed Use on the City of Chico General Plan Land Use Diagram, and located in the CC-AOC-PD (Community Commercial- Zone C Airport Operations- Planned Development) overlay zoning district.

The Architectural Review and Historic Preservation Board (ARHPB) reviewed the site design and architecture and recommends approval. Planning Commission approval of the project is required pursuant to the PD (Planned Development) zoning overlay (Municipal Code Section 19.28.050). Planning Commission approval of a Use Permit is required for the proposed drive-through lane pursuant to Municipal Code Sections 19.44.020 and 19.24.030. Staff recommends Commission approval of the project, subject to conditions. No major issues have been identified.

Recommendation:

Planning staff recommends adoption of Resolution No. 17-03 (**Attachment A**), approving the project, subject to the conditions contained therein.

Proposed Motion:

I move that the Planning Commission adopt Resolution No. 17-03, approving the Sierra Central Credit Union Planned Development Permit (PDP 16-03) and Use Permit (UP 16-06), subject to the conditions of approval contained therein.

BACKGROUND

Site Design

The site is configured similar to a corner lot with East Avenue forming its southern border and an existing access drive to the shopping center forming its eastern border (see **Attachment B**, Location Map). The proposed site design positions the 4,000 square foot credit union building towards the East Avenue frontage and close to parking lot the access drive. Pedestrian and bicycle improvements include existing sidewalks along both frontages and across the front of the building and a bike rack close to the front entry. The proposed site design will also include six vehicle parking stalls, a drive-through ATM, and a trash enclosure near the southwest corner of the drive-through lane. (see **Attachment C**, Project Description and

Attachment C, Site Plan). Exterior lighting includes five LED parking lot lights on 18-foot tall anodized poles and heads, located within the parking lot and along the drive-through lane (see **Attachment D**, Site Plan). The building entry will face north toward the new parking stalls and shopping center, while the drive-through lane will wrap around the south side of the building to allow for stacking of at least six cars. Two structural techniques of screening the drive-through are proposed, both located within a deep landscape planter between the drive-through and East Avenue. Both techniques work in conjunction with the landscape design to screen views of stacking vehicles and related headlight glare from East Avenue. The first technique features two 30-inch tall curving Concrete Masonry Unit (CMU) block walls with brick veneer and caps. The second technique employs two 60-inch tall curvilinear wire mesh trellis “walls” that will create a “green screen” as new landscaping matures.

Landscape Design

A landscape buffer between the public sidewalk along East Avenue and the drive-through lane ranges from over 22 to 35 feet in depth. Various shrub arrangements including manzanita, coffee berry, Oregon grape, juniper, and California fuchsia will be planted within the buffer. The shrubs work in conjunction with various ground cover species and ornamental trees (western redbud), existing street trees, and creeping vines (lavender trumpet and creeping fig) planted along the “green screen” trellis-wall to create a lush, dense screen of the drive-through lane. Shade trees proposed in the new parking area are estimated to achieve over 70 percent shading in 15 years (see **Attachment D**, Landscape Plans). The proposed design would not include the removal of any existing trees.

Architecture

Architectural style is post-modern with alpine features such as steep roof pitches, steel open trusses at the building entry (resembling timbers), tall windows and earth tones (khaki, sage, Spanish clay, Sierra slate, and brown). A dominant element is a centralized clerestory gable opening at its north end over the building entry, running over the lobby and across the entire building, and terminating at the south elevation and drive-through lane. Defining the building entry are four tall brick pillars that support the clerestory structure’s north end, with two similar brick pillars supporting the south end. Lower hipped roofs define the corners and medium height parapet walls that will be used for signage (see **Attachment F**, Elevations and **Attachment G**, Perspectives). Metal roof material, resembling Spanish tile (to match the existing shopping center), is utilized throughout various roof configurations and heights. Exterior wall assemblies are composed of horizontal siding and plaster walls, red brick surfaces across the CMU trash enclosure and tall support columns (described above), trim and tube steel accents (see **Attachment H**, Colors, Materials, and Signage).

Prior Review

On December 7, 2016, the Architectural Review and Historic Preservation Board (ARHPB) reviewed the proposal and voted unanimously to recommend conditional approval with the following recommendations:

1. All approved building plans and permits shall note on the cover sheet that the project shall comply with AR 16-18 (Sierra Central Credit Union). No building permits related to this approval shall be granted final approval without authorization of Planning Department staff.

2. All wall-mounted utilities, roof or wall penetrations, including vent stacks, utility boxes, exhaust vents, gas meters and similar equipment, shall be screened by appropriate materials and colors. Adequate screening shall be verified by Planning Division staff upon final inspection and prior to issuance of a certificate of occupancy.
3. The finished height of parking lot lights shall not exceed 16 feet above grade.
4. Prior to issuance of a building permit staff shall review the impacts of the parking lot lights in foot candle measurements to ensure consistency with Chico Municipal Code (CMC) Section 19.060.050.
5. The brick veneer on the drive-through screening walls and the trash enclosure shall be matching and installed completely around each structure.
6. Caps shall be installed on the wall lighting scones to prevent light from being broadcast directly into the night sky.
7. Ensure that the recessed lighting within the drive-through Port Cochere is adequate and that light does not broadcast from the project site as required by CMC Section 19.060.050

DISCUSSION

Planned Development Permit

The proposed project is within the PD (Planned Development) zoning overlay which requires the Planning Commission to review development applications and approve, deny, and/or modify the planned development permit at a public hearing. Review of the planned development permit should seek to ensure that, if applicable, the following purposes of planned development standards for site development and property are met:

- affordable housing through clustering, innovative housing alternatives, and other measures is created,
- the public health, safety, and general welfare of the community is protected;
- consistency with the General Plan, any specific plan, and the Design Guidelines;
- environmental values and natural resources are protected;
- open areas are included as part of the overall project design; and
- development that is demonstrated to be of great quality or which would benefit the community is promoted.

To facilitate review of the planned development permit, the Commission must first make the findings listed in the Required Findings for Approval section of this report.

Use Permit

The proposed project is within the Community Commercial zoning district and it includes a drive-through ATM. Drive-in and drive-through sales are permitted within the Community Commercial zoning district pending the issuance of a use permit. In addition, drive-in and drive-through sales uses are subject to the standards of Section 19.76.070 of the Chico Municipal Code.

The Planning Commission is required to hold a public hearing on a use permit application. At the public hearing the Commission should determine what effect the proposed activity or use will have on location and whether the proposed activity or use is compatible with existing and designated uses in the general vicinity.

To facilitate review of the use permit the Commission must first make the findings listed in the Required Findings for Approval section of this report.

Architectural Review

Unless exempted, each project that requires the issuance of building permit requires site plan and architectural review. In addition, the site plan and design of a project that also requires a discretionary permit must first be reviewed by the Architectural Review and Historic Preservation Board (ARHPB) prior to any consideration by the Planning Commission or City Council of the discretionary permits. The site plan and design of the proposed project was reviewed by the ARHPB on December 7, 2016. The ARHPB voted 3-0-1 (with one member absent) to recommend conditional approval of the proposed project to the Planning Commission based on their review of the site plan and design. The conditions proposed by the ARHPB are located in the Prior Review section of this report and the findings ARHPB made to reach their decision are listed in the Required Findings for Approval section of this report.

ENVIRONMENTAL REVIEW

The project has been determined to be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15332 (In-Fill Development Projects). Consistent with this exemption, the project is: consistent with the applicable general plan designation, zoning regulations, and general plan policies; is less than five acres in size, substantially surrounded by urban uses; has no habitat value for special status species; will not result in any significant impacts regarding traffic, noise, air quality, or water quality; and can be adequately served by all required utilities and public services.

REQUIRED FINDINGS FOR APPROVAL

Planned Development Permit Findings (CMC Section 19.28.060)

Following a public hearing, the Planning Commission may approve or conditionally approve a planned development permit only after making all of the following findings:

1. *The proposed development is allowed within the zoning district and generally complies with all of the applicable provisions of City of Chico Title 19 regulations with modifications as specifically approved, and applicable project design guidelines.*

The proposal is consistent with several General Plan policies, including those that encourage providing safe, secure public safety facilities with an emphasis on crime prevention through design (CD-3.4, CD-3.4.1, S-5, and S 5.5.1). The project design includes massing and architectural characteristics that relate to nearby proposed projects and the natural environment, establishing a sense of place, while also addressing the street frontages in a pedestrian-friendly manner, consistent with Design Guidelines (DGs) 1.2.21, 1.2.31 and 1.4.11.

- 2. The proposed development would be harmonious and compatible with existing and future developments within the zoning district and general area, as well as with the land uses presently on the subject property.*

The proposed project will be harmonious and compatible with the existing commercial development within the zoning district and general area. The proposed project site has been designed to integrate into the existing shopping center with site design allowing for safe pedestrian and vehicle access and building design and landscaping improvements allowing for aesthetic blending into the existing shopping center.

- 3. The proposed entitlement is consistent with the General Plan.*

The proposal includes a use that is consistent with the Commercial Mixed Use Land Use Designation. The proposed project will ultimately increase the use of a previously developed site due to its location within an existing parking lot which is consistent with the Goals and Policies that promote infill and redevelopment.

- 4. The site is physically suitable for the type and density and/or intensity of use being proposed.*

The proposed project will be constructed within an existing commercial center that has adequate area to support the operation of the proposed use.

- 5. There are adequate provisions for public and emergency vehicle access, sanitation, water, and public utilities and services to ensure that the proposed development would not be detrimental to public health and safety.*

The existing streets provide adequate public and emergency vehicle access, sanitation, water, and public utilities and services to ensure that the project would not be detrimental to public health and safety, in that the City's sanitary sewer system has adequate capacity to serve the project; domestic water will be provided by California Water Service Company; and storm water facilities will be constructed in accordance with adopted City standards.

- 6. The design, location, size and operating characteristics of the proposed development would not be detrimental to the public interest, health, safety, convenience, or welfare of the City.*

The design, location, size, and operating characteristics of the project will comply with all City zoning, building, and public improvement standards, with specific modifications considered and approved herein and, therefore, the project would not be detrimental to the public interest, health, safety, convenience, or welfare of the City.

- 7. The proposed development is consistent with the purpose of [CMC 19.28.010].*

The project is consistent with the purpose of Chico Municipal Code Chapter 19.28 (*Planned Development*) in that it:

- allows for the construction of new project within a previously developed area,
- is consistent with the General Plan and design guidelines as outlined above,

- would not require the removal of any trees, and
- provides an additional service to the community.

Planned Development Permit Findings (CMC Section 19.24.040)

Following a public hearing, the Planning Commission may approve or conditionally approve a use permit only after making all of the following findings:

1. *The proposed use is allowed within the subject zoning district and complies with all of the applicable provisions of Chapter 19.24 (Use Permits).*

Drive-in and drive-through sales area are permitted within the Community Commercial zoning district pending the issuance of Use Permit and subject to the standards listed in Section 19.76.070 of the City Municipal Code. The proposed project meets each of the standards listed in Section 19.76.070 as follows:

- the crosswalk for pedestrians through the drive-through drive aisle will be clearly visible to vehicles exiting the drive-through and the walkway will be clearly marked as a pedestrian crossing;
 - the proposed drive-through will be 12 feet 6 inches wide and the entrance to the drive through will be located within the existing shopping center parking lot and more than 100 feet from the closest intersection of the public-rights of way, and the drive-through direction and location will be clearly marked and raised curbs will run along its edges;
 - the drive-through design will allow for the stacking of six vehicles with 20 feet allotted for each vehicle in advance of the ATM;
 - there was no allowance given to the proposed project for a reduction in parking;
 - all service areas have been screened from ground-level views from adjacent properties and the public right-of-way;
 - the proposed project will not include menu boards and there are no residentially zoned properties within 50 feet of the proposed project;
 - the proposed project includes landscape and hardscape features that will be installed to minimize the visual impact of the drive-through (see Landscape Plans, **Attachment E**); and
 - the proposed project is not adjacent to any residentially zoned parcel.
2. *The proposed use would not be detrimental to the health, safety, and general welfare of persons residing or working in the neighborhood of the proposed use.*

The proposed drive through does not include any design features or potential uses that would be detrimental to the health, safety, or general welfare of persons residing or working in the area.

3. *The proposed use would not be detrimental and/or injurious to property and improvements in the neighborhood of the proposed use, as well as, the general welfare of the City.*

The proposed drive through would not be detrimental or injurious to property or improvements in the neighborhood or the City.

4. *The proposed entitlement is consistent with the General Plan, any applicable specific plan, and with any applicable neighborhood or area plan.*

The construction and operation of a drive-through is consistent with the Commercial Mixed Use General Plan Land Use Designation.

5. *The design, location, size, and operating characteristics of the proposed use are compatible with the existing and future land uses in the vicinity.*

The proposed drive-through is consistent with the existing and potential commercial land uses in the vicinity.

Architectural Review (CMC Section 19.18.060)

Per Chico Municipal Code Section 19.18.060, on December 7, 2016 the Architectural Review and Historic Preservation Board recommend that the Planning Commission approve Architectural Review 16-18 following their consideration of the following findings:

1. *The proposed development is consistent with the General Plan, any applicable specific plan, and any applicable neighborhood or area plans.*

The proposal includes a use that consistent with the Commercial Mixed Use Land Use Designation. The proposed project will ultimately increase the use of a previously developed site due to its location within an existing parking lot.

2. *The proposed development, including the character, scale, and quality of design are consistent with the purpose/intent of this chapter and any adopted design guidelines.*

The proposed project is designed to be a positive contribution to the existing streetscape and neighborhood identity due to its positioning along East Avenue and roof profile allowing for consistency with the City's Design Guidelines Manual, including DG 2.1.1, DG2.1.11, and DG 2.2.13. In addition, the proposed project was designed to encourage safe pedestrian and bicycle access as outlined by DG 2.1.21, DG 2.1.22, D.2.1.24, 2.1.31, and D.2.1.34. The proposed architecture utilizes sturdy materials that reinforce a sense of permanence and place, and clearly announces building entryways, consistent with DGs 1.2.32, 1.5.11, 5.2.21, and 5.1.11. Conditions to limit light spillage beyond the project site are consistent with DGs 1.5.12, 1.5.14, 1.5.16, and 5.2.22.

3. *The architectural design of structures, including all elevations, materials and colors are visually compatible with surrounding development. Design elements, including screening of equipment, exterior lighting, signs, and awnings, have been incorporated into the project to further ensure its compatibility with the character and uses of adjacent development.*

The design, materials and colors of the proposed new building are visually compatible with the existing shopping center, and are not anticipated to be incompatible with future commercial development in the area. Exterior equipment will be properly screened from view by perimeter fencing and landscaping.

4. *The location and configuration of structures are compatible with their sites and with*

surrounding sites and structures, and do not unnecessarily block views from other structures or dominate their surroundings.

The proposed structure is compatible with the existing shopping center as well as the surrounding existing development. The height, massing, and placement of the proposed project would not block any existing views or dominate the existing surroundings.

5. *The general landscape design, including the color, location, size, texture, type, and coverage of plant materials, and provisions for irrigation and maintenance, and protection of landscape elements, have been considered to ensure visual relief, to complement structures, and to provide an attractive environment.*

The proposed landscaping will provide visual relief around the proposed building and adequate shading of the parking area. The proposed landscape buffer between the drive-through lane, East Avenue, and the driveway of the shopping center will provide an attractive environment.

PUBLIC CONTACT

A 10-day public hearing notice was mailed to all landowners and residents within 500 feet of the site. A legal notice was also placed in the *Chico Enterprise Record*. As of the date of this report, no correspondence has been received in response to the public notice.

DISTRIBUTION:

Internal (2)

Mark Corcoran, Senior Planner

Files: AR 16-05, UP 16-06, PDP 16-03

External (5)

Sierra Central Credit Union – Steve Henderson, 1351 Harter Parkway, Yuba City CA 95993

Harris Commercial Real Estate – Brandon Harris, 647 Flume Street, Chico CA 95928

Herb Votaw – Rolls, Anderson & Rolls, 115 Yellowstone Drive, Chico CA 95973

Wallis Design Studio, 149 Crown Point Court, Ste. C, Grass Valley, CA 95945,

Brian Firth Landscape Architect, Inc., 627 Broadway, Suite 220, Chico, CA 95928

ATTACHMENTS:

- A. Planning Commission Resolution No.17-03
Exhibit I Conditions of Approval
- B. Location Map
- C. Applicant's Project Description and Design Guidelines Statement
- D. Site Plan & Site Plan details
- E. Landscape Plans
- F. Building Elevations
- G. Building Perspectives
- H. Colors, Materials, and Signage

1 RESOLUTION NO. 17-3

2 RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CHICO
3 CONDITIONALLY APPROVING THE SIERRA CENTRAL CREDIT UNION
4 PLANNED DEVELOPMENT PERMIT 16-03, USE PERMIT 16-06 AND SITE
5 DESIGN AND ARCHITECTURAL REVIEW 16-18
(Sierra Central Credit Union)

6 WHEREAS, the Planning Commission has considered a request for approval of Planned
7 Development Permit 16-03 to permit the construction of a 4,000 square foot credit union (bank)
8 building with an attached drive-through, Use Permit 16-06 to authorize a new drive-through sales,
9 and Site Design and Architectural Review 16-18 on a 0.46 acre site identified as Assessor's Parcel
10 Number 016-060-046 ("Project"); and

11 WHEREAS, the Planning Commission considered the Project, staff report,
12 recommendation from the Architectural Review and Historic Preservation Board, and comments
13 submitted at a noticed public hearing held on February 2, 2017; and

14 WHEREAS, the Project is categorically exempt pursuant to the California Environmental
15 Quality Act (CEQA) Guidelines 15332 In-Fill Development because the Project is consistent with
16 the applicable general plan designation and all applicable general plan policies as well as with
17 applicable zoning designation and regulations, the proposed development occurs within city limits
18 on a project site of no more than five acres, substantially surrounded by urban uses, the project
19 site has no value as habitat for endangered, rare, or threatened species, approval of the project
20 would not result in any significant effects related to traffic, noise, air quality, or water quality, and
21 the site can be adequately served by all required utilities and public services.

22 NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF
23 THE CITY OF CHICO AS FOLLOWS:

- 24 I. With regard to the Planned Development Permit the Planning Commission finds that:
- 25 A. The proposed use of the Project is consistent with the Commercial Mixed use Land
26 Use Designation of the General Plan.
- 27 B. The proposed use is allowed within the subject CC (Community Commercial)
28 zoning district and generally complies with applicable design guidelines and

1 applicable provisions of Title 19 Land Use Regulations. Regarding design
2 guideline compliance, the Project design, materials and color palette are visually
3 compatible with the surrounding commercial development, while incorporating
4 elements that encourage a pedestrian-orientated environment and a sense of place
5 (DG 1.2.21, 1.2.31, and 1.4.11). The Project is also consistent with design
6 guidelines that call for architecture that utilizes sturdy materials that reinforce a
7 sense of permanence and place and which clearly announces building entryways
8 (DG 1.2.32, 1.5.11, 5.2.21, and 5.1.11).

9 C. The Project will result in compatible infill development within a previously
10 developed site consistent with General Plan goals (LU-4 and CD-5) and polices
11 (LU-1.3 and LU-4.2).

12 D. The existing streets provide adequate public and emergency vehicle access,
13 sanitation, water, and public utilities and services to ensure that the Project would
14 not be detrimental to public health and safety, in that the City's storm water and
15 sanitary sewer systems have adequate capacity to serve the Project; domestic water
16 will be provided by California Water Service Company.

17 E. The design, location, size, and operating characteristics of the Project will comply
18 with all City zoning, building, and public improvement standards, with specific
19 modifications considered and approved herein and, therefore, the Project would not
20 be detrimental to the public interest, health, safety, convenience, or welfare of the
21 City. The Project will not unnecessarily block views or dominate their
22 surroundings as the overall building height would be less than 45 foot maximum
23 allowed in the CC zoning district.

24 F. The Project is consistent with the purpose of Chico Municipal Code Chapter 19.28
25 (Planned Development) in that it allows for the infill development of a previously
26 developed area, is consistent with the General Plan and design guidelines, would
27 not require the removal of any trees, and it provides an additional service to the
28 community.

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28

II. With regard to Use Permit 16-06 the Planning Commission finds that:

- A. The proposed use is allowed within the subject zoning district and complies with all of the applicable provisions of Chapter 19.24 (Use Permits) in that, pursuant to Chico Municipal Code (CMC) Sections 19.44, a drive in or drive-through sales may be allowed in the CC (Community Commercial) zoning district, subject to use permit approval. This use permit has been processed in accordance with CMC 19.24 (Use Permits). Based on all of the above, the Planning Commission hereby approves the Project, subject to the conditions set forth in Exhibit I, attached hereto.
- B. The proposed use would not be detrimental to the health, safety, and general welfare of persons residing or working in the neighborhood of the proposed use and no health, safety, or welfare impacts have been identified.
- C. The proposed use will not be detrimental and/or injurious to property improvements in the neighborhood of the proposed use, or the general welfare of the city in that the proposed use will occur on a previously developed site.
- D. The proposed use will be consistent with the policies, standards, and land use designations established by the General Plan in that the proposal is consistent with General Plan Goal CD-5 which supports infill and redevelopment of existing properties.

III. Based on all of the above, the Planning Commission approves the project subject to the conditions set forth in Exhibit I attached hereto.

IV. The Planning Commission hereby specifies that the materials and documents which constitute the record of proceedings upon which its decision is based are located at and under the custody of the City of Chico Community Development Department.

//
//
//
//
//

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28

THE FOREGOING RESOLUTION WAS ADOPTED at a meeting of the Planning Commission of the City of Chico held on February 2, 2017, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

DISQUALIFIED:

ATTEST:

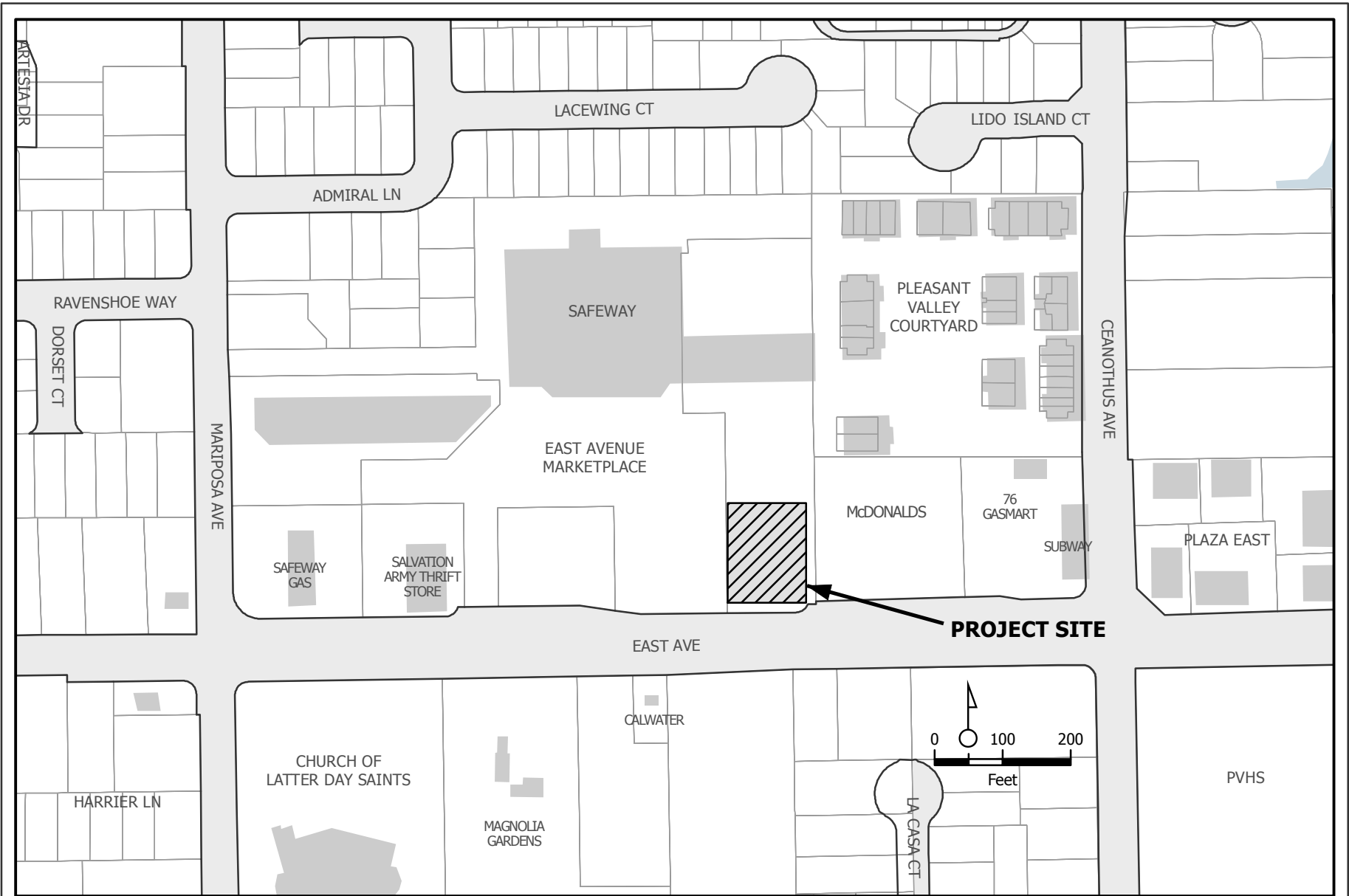
APPROVED AS TO FORM:

MARK WOLFE
Planning Commission Secretary

Andrew Jones
Assistant City Attorney

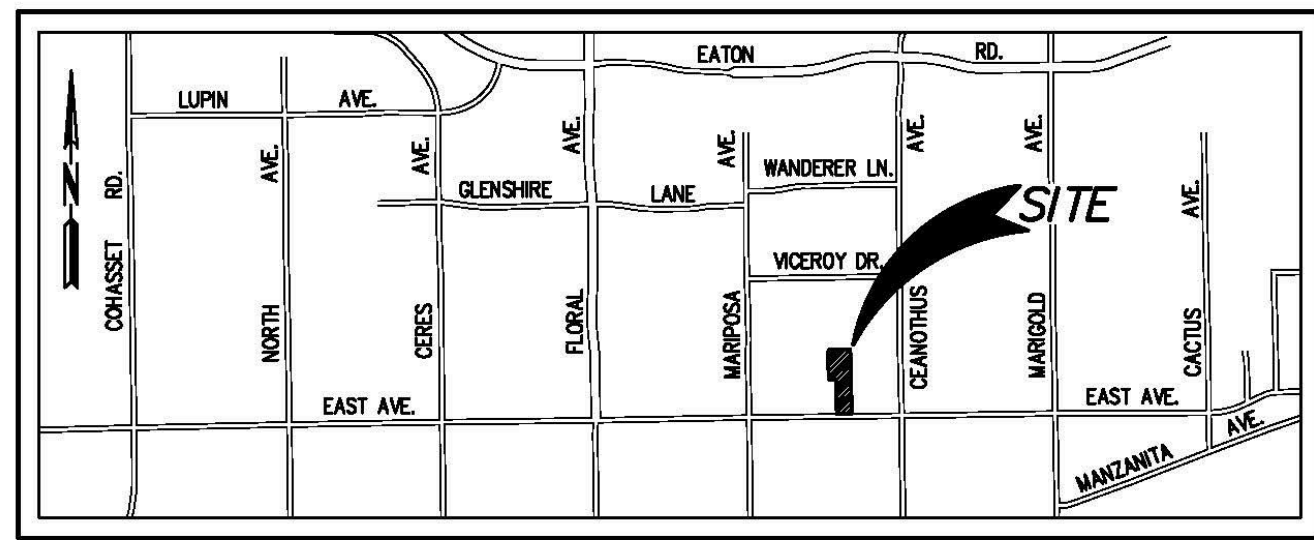
EXHIBIT I
CONDITIONS OF APPROVAL
Architectural Review 16-18, Planned Development Permit 16-03, Use Permit 16-06
(Sierra Central Credit Union)

1. All approved building plans and permits shall note on the cover sheet that the project shall comply with AR 16-18 (Sierra Central Credit Union). No building permits related to this approval shall be granted final approval without authorization of Planning Department staff.
2. All wall-mounted utilities, roof or wall penetrations, including vent stacks, utility boxes, exhaust vents, gas meters and similar equipment, shall be screened by appropriate materials and colors. Adequate screening shall be verified by Planning Division staff upon final inspection and prior to issuance of a certificate of occupancy.
3. The finished height of parking lot lights shall not exceed 16 feet above grade.
4. Prior to issuance of a building permit staff shall review the impacts of the parking lot lights in foot candle measurements to ensure consistency with Chico Municipal Code (CMC) Section 19.060.050.
5. The brick veneer on the drive-through screening walls and the trash enclosure shall be matching and installed completely around each structure.
6. Caps shall be installed on the wall lighting scones to prevent light from being broadcast directly into the night sky.
7. Ensure that the recessed lighting within the drive-through Port Cochere is adequate and that light does not broadcast from the project site as required by CMC Section 19.060.050



PDP 16-03/UP 16-06 (Sierra Central Credit Union)
 APN 016-060-046-000





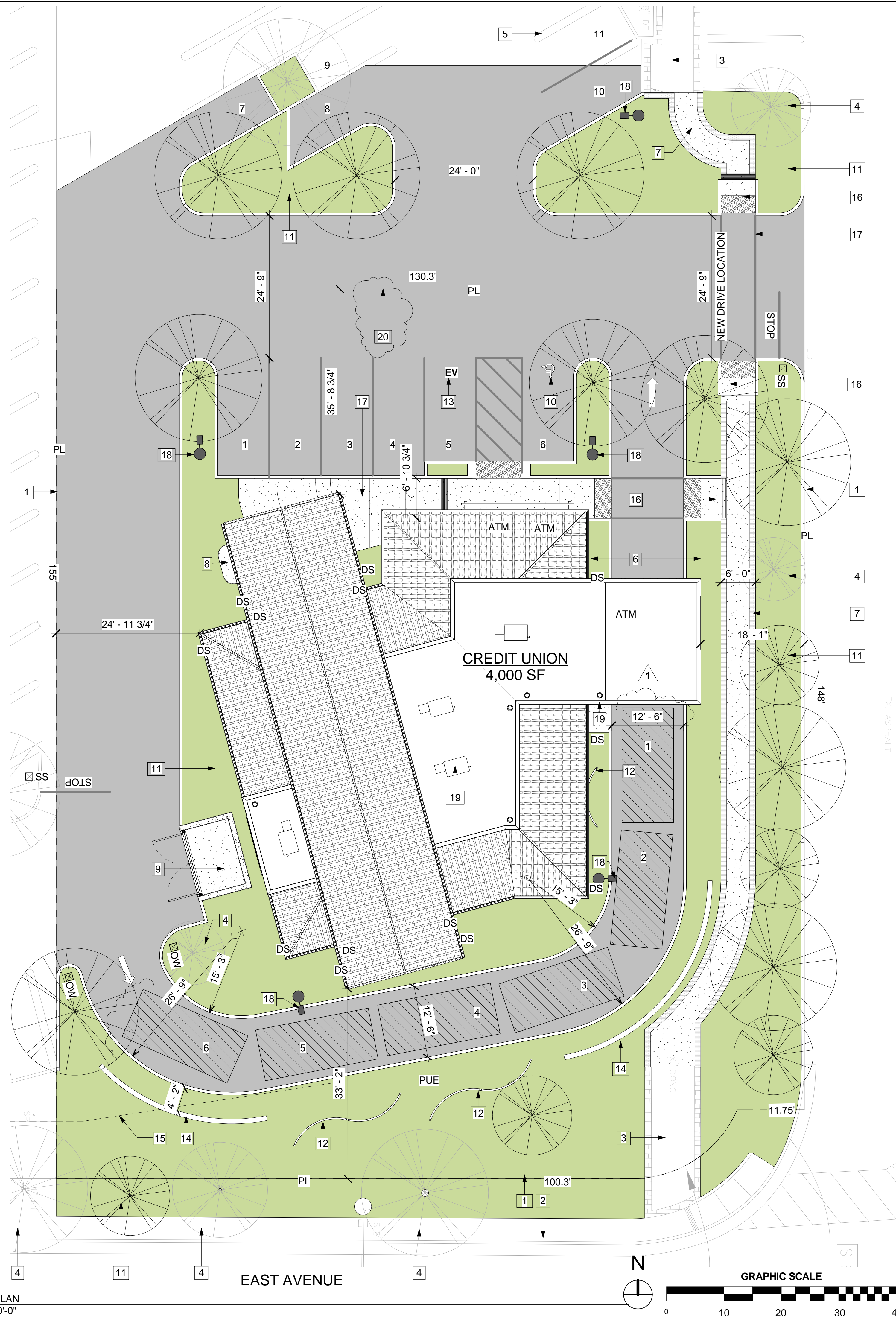
LOCATION MAP



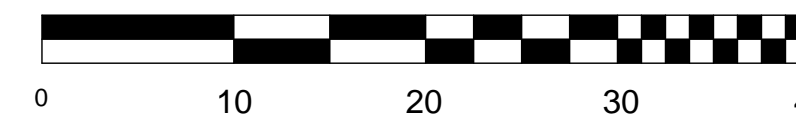
GRAPHIC SCALE



2 SITE PLAN - OVERALL
1" = 40'-0"



GRAPHIC SCALE



1 SITE PLAN
1" = 10'-0"

LEGEND

- CONCRETE FLATWORK
- CONCRETE FLATWORK: COLORED STAMP BRICK PATTERN.
- LANDSCAPED AREA
- ASPHALT PAVING AREA
- TRUNCATED DOMES
- 20' VEHICLE SPACE
- (N) PARKING LOT LIGHT
- (N) STOP SIGN
- (N) ONEWAY SIGN
- (N) DOWNSPOUT LOCATION

GENERAL NOTES

- A. DRIVE THROUGH SHALL COMPLY WITH CHICO MUNICIPAL CODE SECTION 19.76.070.
- B. SHARED PARKING SHALL BE PROVIDED BY A CROSS ACCESS PARKING AGREEMENT.
- C. REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- D. REFER TO LIGHTING PLAN FOR ADDITIONAL INFORMATION.
- E. REFER TO PARKING ANALYSIS FOR ADDITIONAL INFORMATION.

SHEET NOTES

1. (E) PROPERTY LINE LOCATION
2. (E) PUBLIC SIDEWALK
3. (E) SIDEWALK WITH BRICK PATTERN ACCENT
4. (E) TREE LOCATION
5. (E) PARKING STALLS
6. (E) PARKING LOT LIGHT LOCATION
7. (N) SIDEWALK WITH BRICK PATTERN ACCENT
8. (N) BIKE RACK LOCATION
9. (N) TRASH ENCLOSURE
10. (N) ACCESSIBLE PARKING STALL
11. (N) LANDSCAPE PLANTER LOCATION, REF. TO LANDSCAPE PLAN.
12. (N) 60" HIGH GREEN SCREEN LOCATION
13. (N) ELECTRIC VEHICLE PARKING
14. (N) 30" HIGH SCREEN WALL. (THIN BRICK FINISH WITH FULL BRICK CAP)
15. "PUE" PUBLIC UTILITY EASEMENT
16. (N) CURB RAMP LOCATION
17. (N) CROSS WALK LOCATION
18. (N) PARKING LOT LIGHTS
19. (N) UTILITY ROOM LOCATION
20. (N) PROPERTY LINE LOCATION

SUMMARY CALCULATIONS

PROJECT INFORMATION

A.P.N. #: 016-060-046
 ZONING: CC
 OCCUPANCY GROUP: B
 CONSTRUCTION TYPE: VN

TOTAL LOT AREA: 20,000 SF

GROSS FLOOR AREA: 4,000 SF

LOT COVERAGE CALCULATION

FAR (LOT COVERAGE/LOT AREA): $4,000/20,000 = .2$ (20%)

PARKING CALCULATION

STALL CALC: $4,000 \text{ SF} \times 375 = 10.67$ (11 REQUIRED STALLS)

AREA ONSITE PERCENTAGE: $7,704 / 20,000 = .39$ (39%)

LANDSCAPED AREA

ONSITE: 6,012 SF
 SHARED: 1,177 SF

RIGHT OF WAY: 816 SF
 TOTAL LANDSCAPED AREA ONSITE: 8,005 SF

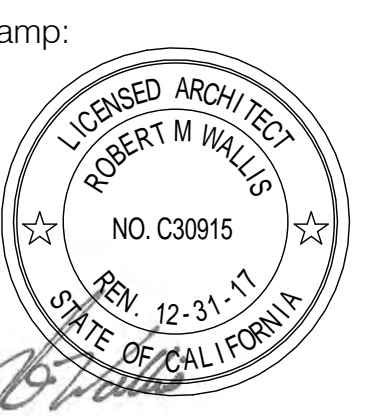
AREA ONSITE PERCENTAGE: $6,012 \text{ SF} / (6,012/20,000) = .3$ (30%)

ENTITLEMENT REQUEST

- A. USE PERMIT FOR 4,000 SF CREDIT UNION.
- B. PLANNED DEVELOPMENT PERMIT MODIFICATION TO THE UP 05-32 AND PDP 05-02 TO STRIKE OUT REFERENCE TO USE PERMIT 2194.
- C. SITE DESIGN AND ARCHITECTURAL REVIEW.



These drawings are the sole property of Wallis Design Studio. Any reproduction or reuse in whole or in part without written approval is strictly forbidden.



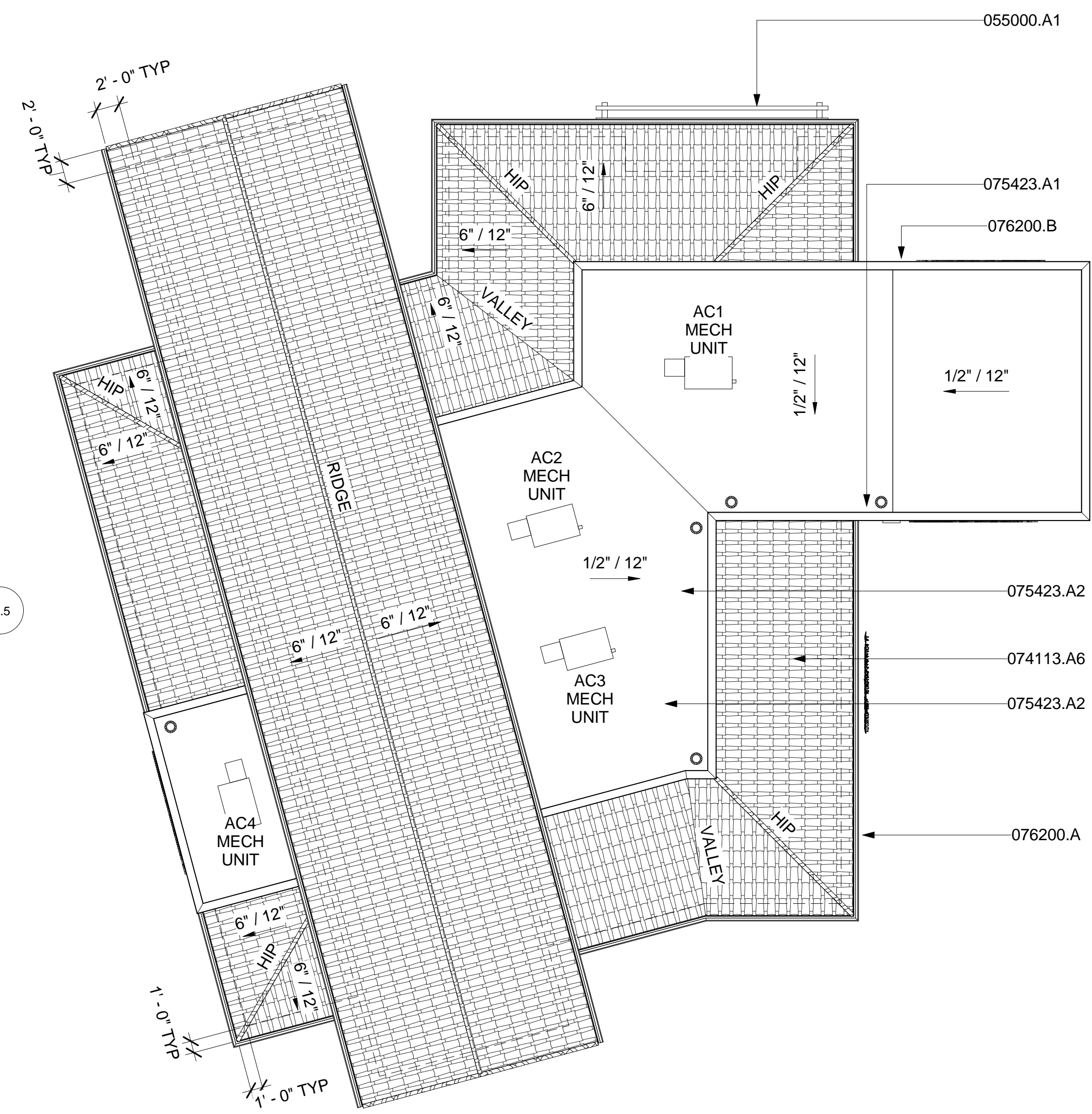
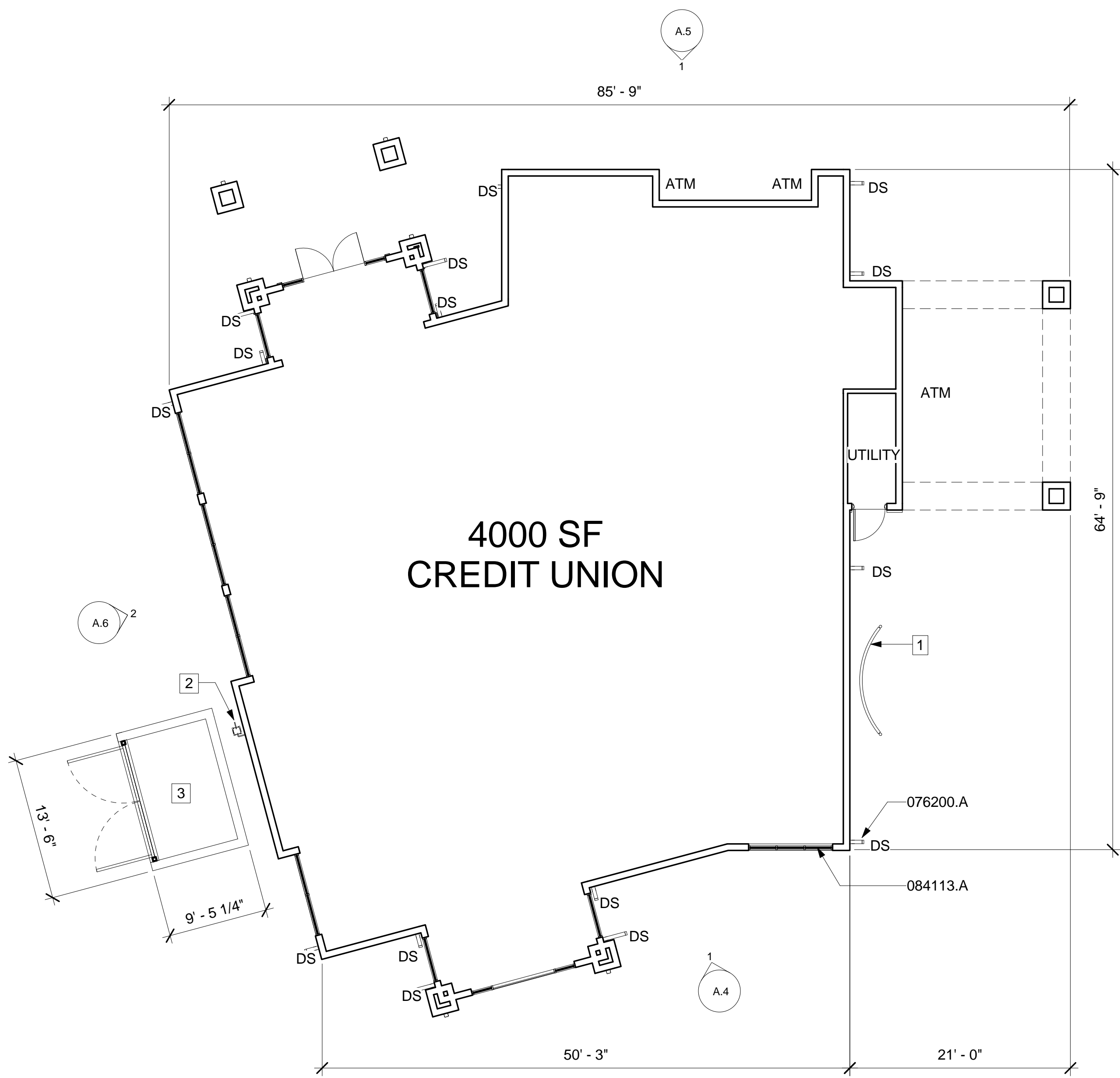
SCHEMATIC DESIGN

East Ave Shopping Center
 Branch Building
 Sierra Central Credit Union
 1380 East Avenue, Chico, CA

Date	Description
9/20/2016	PLANNING LETTER DATED SEPTEMBER 2, 2016

Proj. No.: 2016003
 Date: 11/28/2016
 Scale: As indicated
 Drawn By: RMW

A.1
 SITE PLAN



LEGEND

- NEW WALL LOCATION
- DS DOWNSPOUT LOCATION

SHEET NOTES

1. GREENSCREEN: CURVED, 5' HEIGHT X 10' PANEL WIDTH, TYPICAL
2. GAS METER LOCATION

KEYNOTES

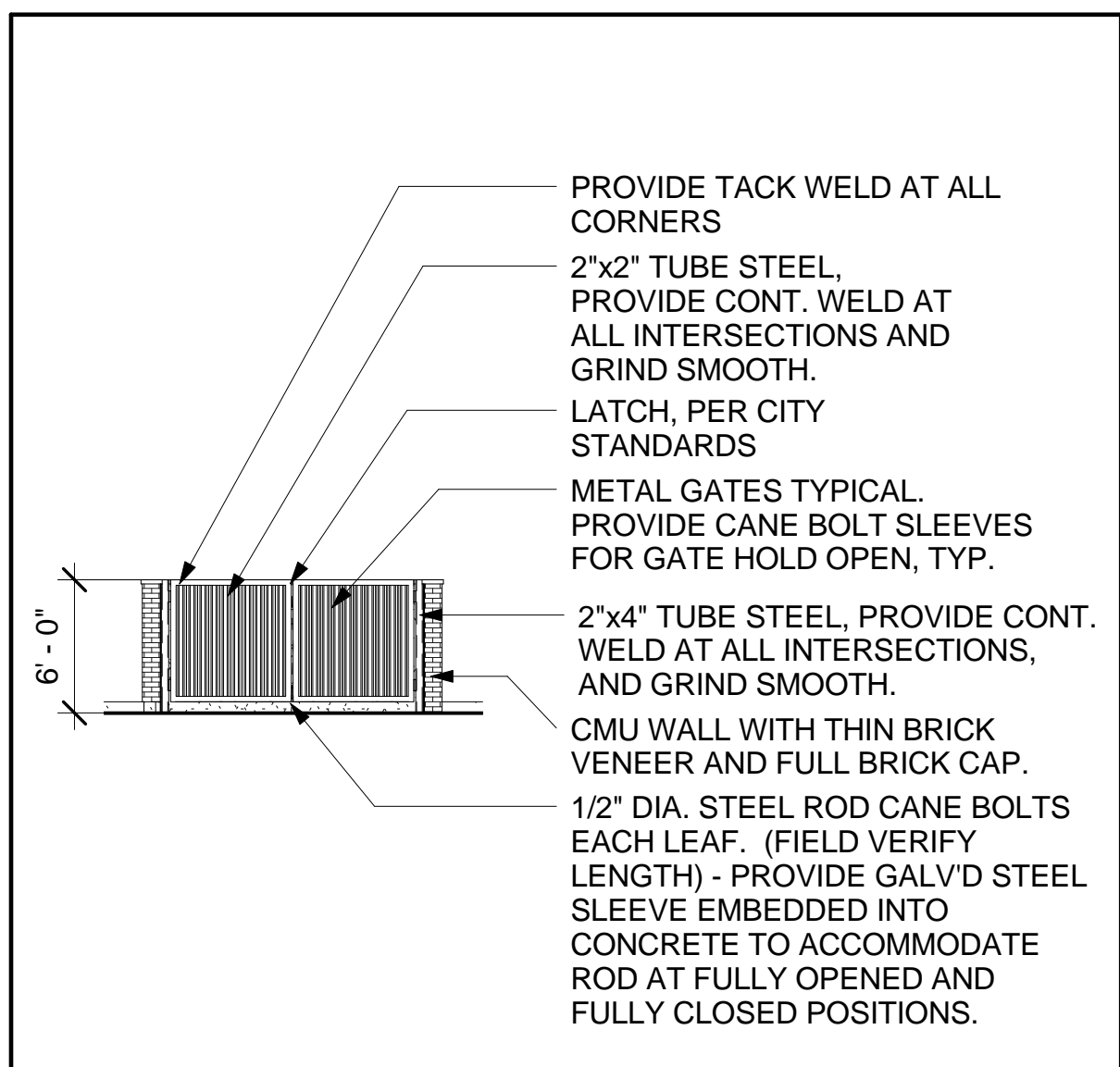
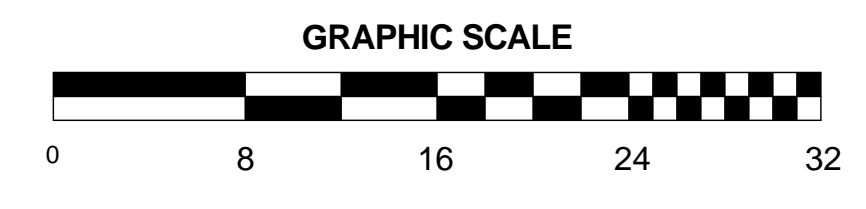
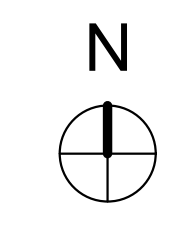
- 055000.A1 STEEL TRELLIS ASSEMBLY, PAINTED
- 074113.A6 METAL ROOF PANEL ASSEMBLY: STILE PANEL
- 075423.A1 FULLY-ADHERED TPO SHEET MEMBRANE ROOFING ASSEMBLY
- 075423.A2 MECHANICALLY FASTENED TPO SHEET MEMBRANE ROOFING ASSEMBLY
- 076200.A GUTTER AND DOWNSPOUT ASSEMBLY
- 076200.B FORMED METAL COPING ASSEMBLY
- 084113.A ALUMINUM-FRAMED ENTRANCE AND STOREFRONT ASSEMBLY

KEYNOTES

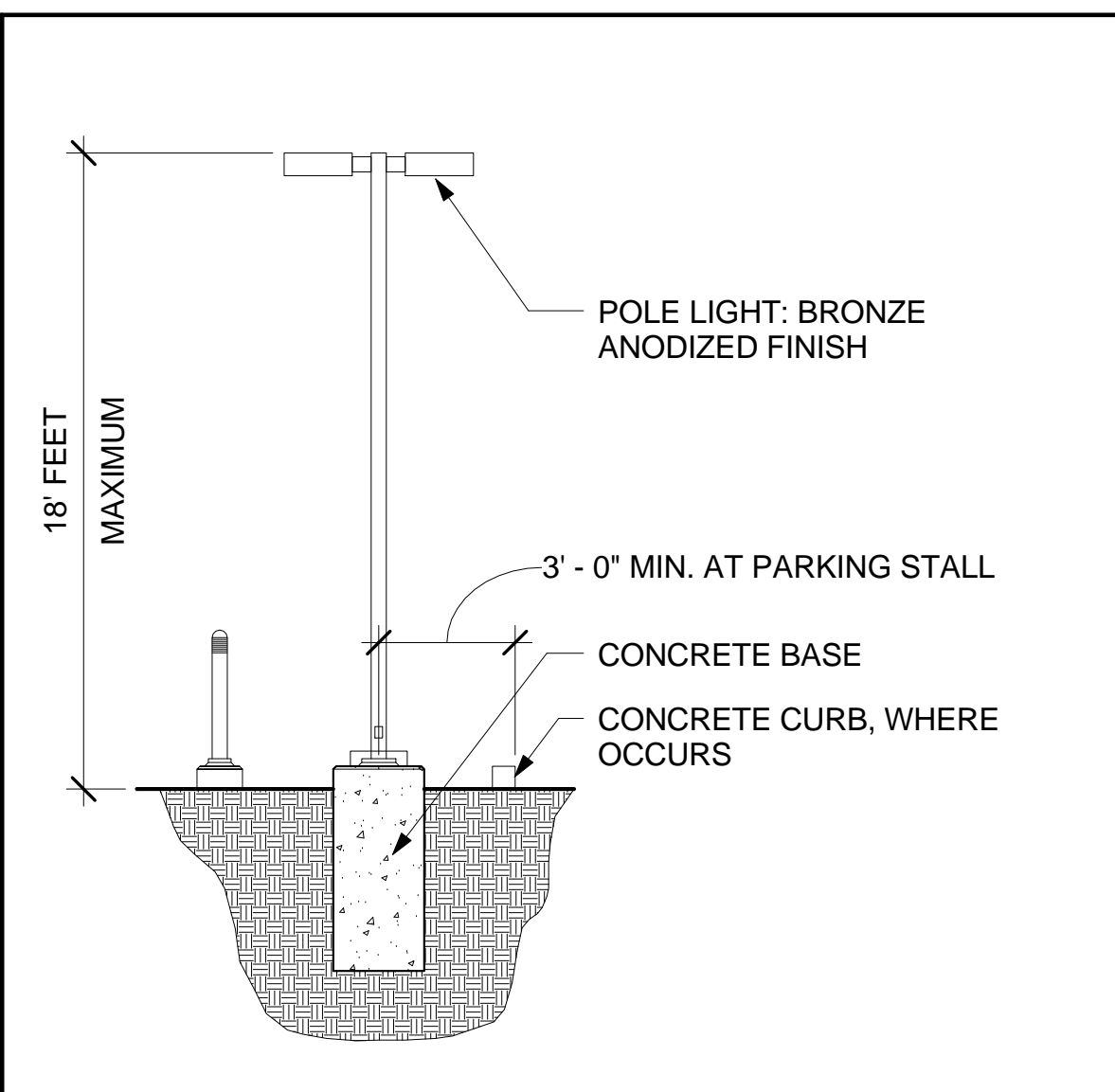
- 055000.A1 STEEL TRELLIS ASSEMBLY, PAINTED
- 074113.A6 METAL ROOF PANEL ASSEMBLY: STILE PANEL
- 075423.A1 FULLY-ADHERED TPO SHEET MEMBRANE ROOFING ASSEMBLY
- 075423.A2 MECHANICALLY FASTENED TPO SHEET MEMBRANE ROOFING ASSEMBLY
- 076200.A GUTTER AND DOWNSPOUT ASSEMBLY
- 076200.B FORMED METAL COPING ASSEMBLY
- 084113.A ALUMINUM-FRAMED ENTRANCE AND STOREFRONT ASSEMBLY

1 FLOOR PLAN
1/8" = 1'-0"

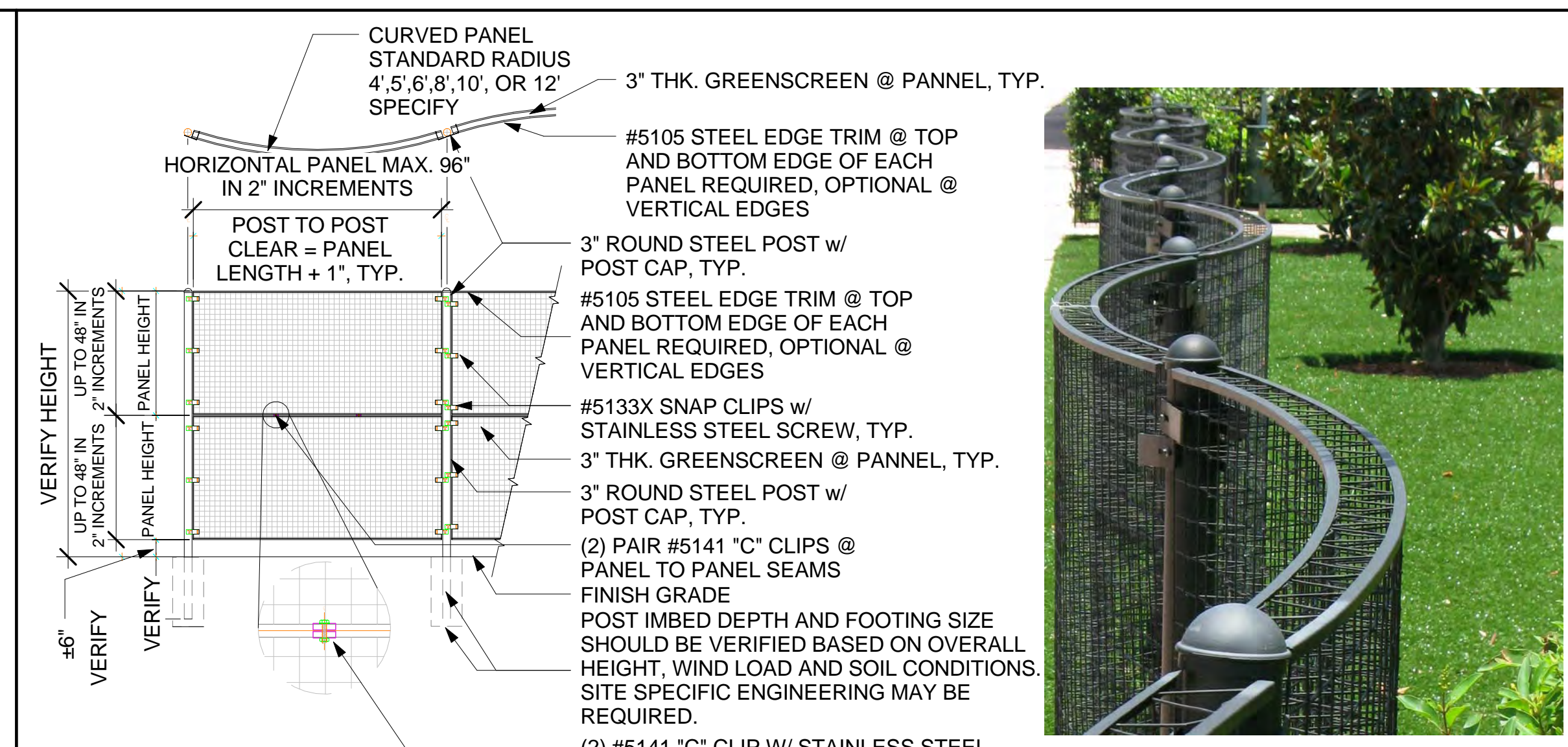
2 ROOF PLAN
1/8" = 1'-0"



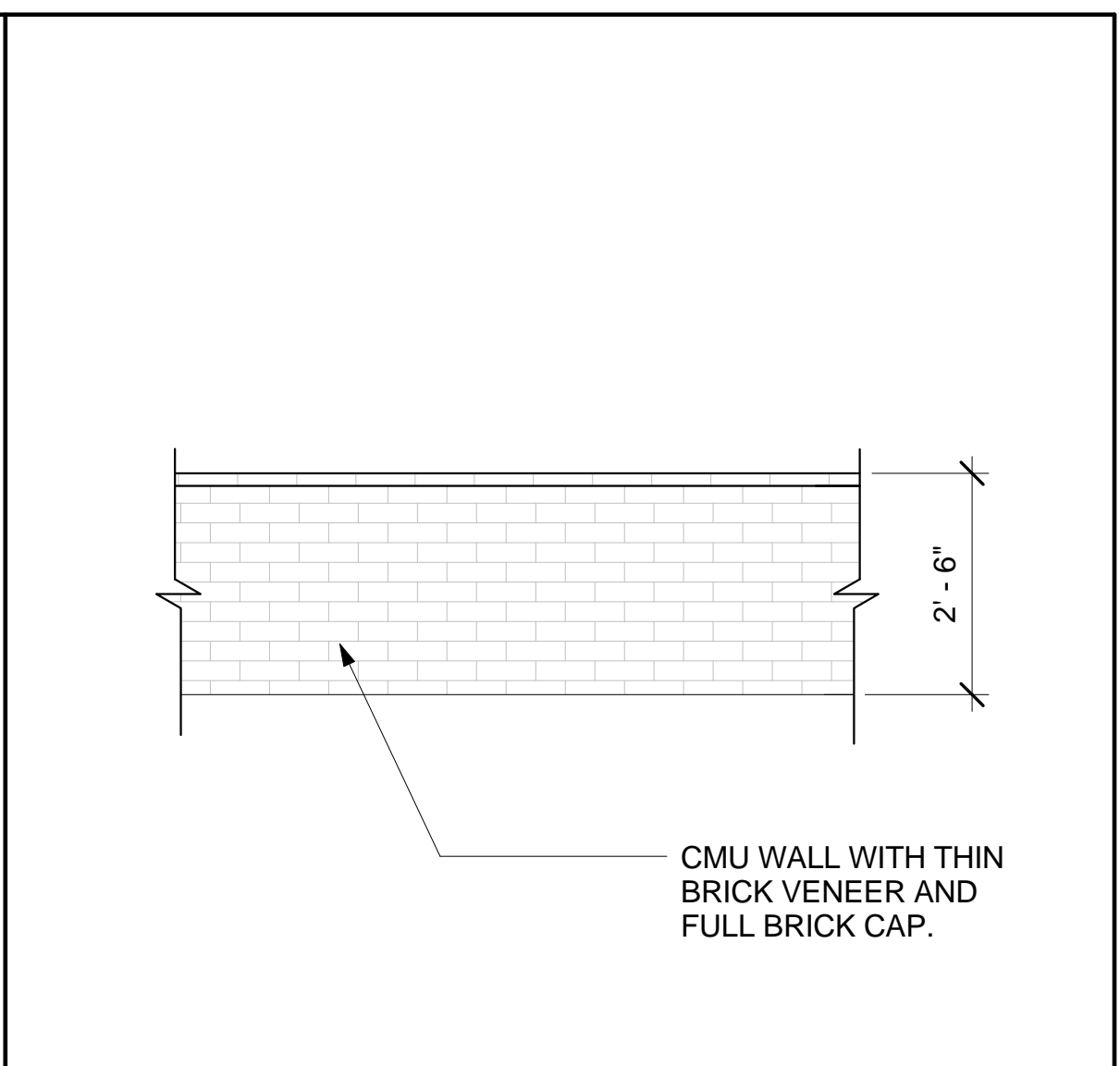
3 TRASH ENCLOSURE GATE ELEVATION
1/8" = 1'-0"



4 PARKING LOT - LIGHT POLE
1/4" = 1'-0"



5 GREEN SCREEN
1/4" = 1'-0"



6 LANDSCAPE SCREEN WALL
1/2" = 1'-0"

WALLIS DESIGN STUDIO
ARCHITECTURE

149 Crown Point Ct. Suite C
Grass Valley, CA 95945
(530) 264-7010
WallisDesignStudio.com

These drawings are the sole property of Wallis Design Studio. Any reproduction or reuse in whole or in part without written approval is strictly forbidden.

Stamp:

SIERRA CENTRAL
CREDIT UNION

SCHEMATIC DESIGN

East Ave Shopping Center
Branch Building
Sierra Central Credit Union
1380 East Avenue, Chico, CA

No.	Description	Date

Proj. No.: 2016003
Date: 11/28/2016
Scale: As indicated
Drawn By: RMW

A.2
PLANS AND DETAILS



**WALLIS DESIGN STUDIO
ARCHITECTURE**

Listening. From design to completion.

PROJECT LOCATION: 1289 East Avenue, APN 015-430-005
Sierra Central Credit Union (UP 16-06 / PDP 16-03 / MLD 16-05)

ARCHITECTURAL CONCEPT:

The proposed Sierra Central Credit Union East Avenue project consist of a 4,000 SF stand along branch building designed to offer neighborhood banking services. It is located along the East Avenue frontage within the East Avenue Shopping Center. It's site amenities include a pedestrian and bicycle path, a screened drive thru ATM with stacking for 6 cars, bicycle storage adjacent to main entrance, and parking with both an electric vehicle charging station and a van accessible parking stall. The project site will be fully landscaped.

DESIGN APPROACH:

When starting the design process, we identified several key goals that we wanted to accomplish with this project. We wanted the building's design to respond to and enhanced the East Avenue frontage, be complementary with the existing shopping center and to have a memorable architecture appeal to the neighborhood.

The site plan was organized with the building located along East Avenue allowing our parking to be moved internal to our site as well as the building massing to respond better to it East Avenue frontage. To create the stacking needed for the drive thru we have moved the existing entrance into the parking lot north of its current location and ran the drive thru around the building while maintaining plenty of room for the necessary screening. For screening we have utilized both 30" brick wall screen wall and 60" high green screens to shield the cars in the drive thru isle along East Avenue.

The building design is comprised of three types of forms: a centralized clerestory gable running over the lobby and building entrance, lower hipped roofs defining the building corners and medium height parapet walls utilized for signage locations.

When selecting finishes we wanted colors and materials that created a rich pallet that could be used to accent our buildings form and provide variation along the facades. The project pallet includes metal roof, storefront, horizontal siding and cement walls with brick, trim and tube steel accents. We wanted the metal roof product to complement the existing centers tile roof in color and style. We have utilized horizontal siding with a thick butt profile to create texture and shadow lines on the main entry building form. We wanted to use brick for our columns as we felt this fit better with Chico built environment.

APPLICABLE DESIGN GUIDELINES:

- DG 2.1.1 Our Building placement was developed to create a positive contribution to both the east avenue streetscape and with the East Avenue Shopping Center itself. We utilized varied roof forms and heights to create interest as well as maintain a neighborhood scaled feel.

- DG 2.1.11 In an effort to strengthen the neighborhood identity our project incorporated hip roof's with a barrel tile metal roof finish complimenting the existing centers roof approach. We have also incorporated exposed trellis elements at the entry.



**WALLIS DESIGN STUDIO
ARCHITECTURE**

Listening. From design to completion.

- DG 2.1.12 Our building's primary entrance has been enhanced with a dominant roof gable that pulls towards the parking lot creating a pedestrian scaled space.
- DG 2.1.21 In an effort to provide safe convenient movement for pedestrians and bicycles our project site has been designed to include a pedestrian/bicycle path from our building to the city sidewalk.
- DG 2.1.22 Our projects minimum proposed walk width is 6 feet.
- DG2.1.23 The site design has relocates/maintained the existing complex path from East Avenue to existing complex. Where this path crosses the drive isle we have added curb cuts, a striped crosswalk and proposed a stop sign as you exit.
- DG 2.1.24 Project design has proposed a bicycling storage rack adjacent to our main entry.
- DG 2.1.25 Proposed building location screens parking from street view.
- DG 2.1.26 Building has been located along the street frontage with parking to the rear.
- DG 2.1.27 Landscaping is proposed along East Avenue and along the shared entrance drive lane.
- DG 2.1.28 Shade trees are being provided per City standards.
- DG 2.1.31 Bicycle parking has been integrated under our entry roof.
- DG 2.1.32 Bicycle parking is located adjacent to our main entrance.
- DG 2.1.33 Brick pattern accent has been incorporated into bicycle/pedestrian walk surface coming in from east avenue and shopping center. This path is also lined with shade trees and landscaping.
- DG2.1.34 Bicycle/pedestrian route has been separated from motorist route.
- DG 2.1.36 Landscaping screening is being provided at trash enclosure to soften the visual impact of enclosure.
- DG 2.1.38 Project is proposed with a utility room to house electrical equipment. Gas meter location is screened by trash enclosure.
- DG 2.2.11 The building massing, scale and form has been developed to create a pedestrian experience. Low hip roofs have been utilized to minimize facade height along pedestrian paths, a shade trellis has been added to distinguish the ATM location, a variety of roof forms have been uses to articulate overall mass, wall material changes have also been added to accent form articulation.
- DG 2.2.13 We developed our building's form to have a unique feel and to be responsive to its site. We looked at how the building presented itself from the East Avenue approach as well as

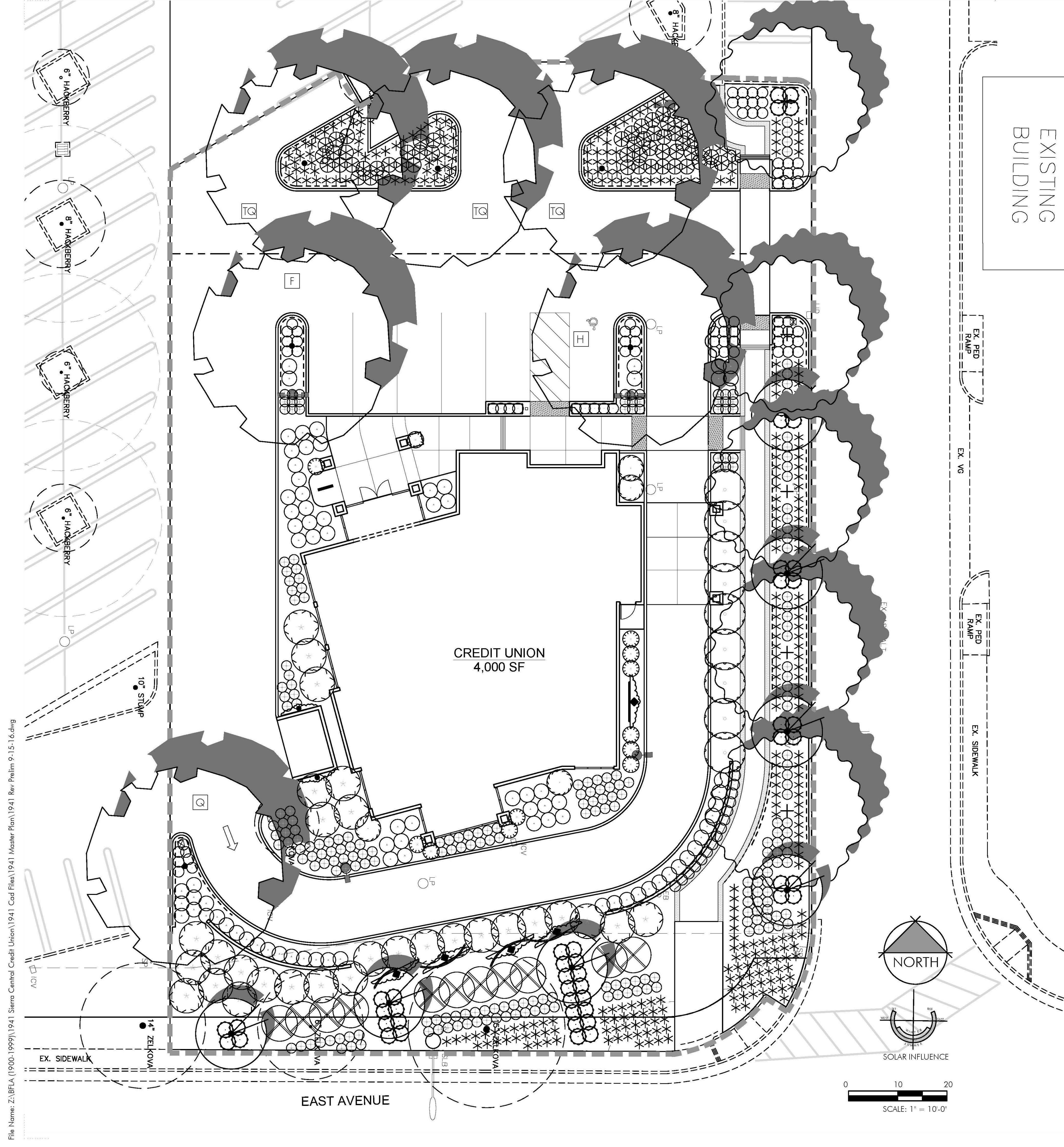


**WALLIS DESIGN STUDIO
ARCHITECTURE**

Listening. From design to completion.

how it presented itself to the center. In an effort to complement the existing center we utilized hip roofs, decorative truss element and a similar roof color.

- DG 2.2.22 Building facades have been articulated by varying building depths and overhangs and the utilization of a variety of materials (plaster, horizontal siding, trim and brick).
- DG 2.2.23 The building entrance is defined by a large gable roof projected out over a pedestrian space. This area has exposed truss work and brick columns to aid in create a sense of place.
- DG 2.2.24 The building roofs design is an integral part of this buildings form, we have utilized three distinct methods (hip, flat and gable) each placed to complement one another. The hip roofs are the component that ties the gable and flat roofs together and helps create unity on all sides.
- DG 2.2.25 Project's roof approach breaks up all facades.
- DG 2.2.26 Project's roof forms are integral to overall design.
- DG 2.2.27 Roof equipment has been screened by building's form via roof well and parapet's.
- DG 2.2.28 Electrical panels will be located within utility room, gas meter is screened from view by trash enclosure, downspouts have located to complementary locations and painted to match the trim, trellis and truss color.
- DG 2.2.31 To create visual interest along walls this project utilizes cement plaster with 'W' reveal screeds, thick-butt horizontal siding with 2x depth trim, and center set storefront. Each of these aid creating variation in the wall materials and depths.
- DG 2.2.32 Project color and material selections offer a rich pallet with two primary wall colors, a complementary metal roof finish, brick, trim and tube steel accents.
- DG.2.2.33 Building form, material, colors and detailing have been carried throughout each elevation.



TREE LIST (LOW WATER USE)

SYMBOL	LATIN NAME/ COMMON NAME	SPREAD	CONTAINER SIZE
	ULMUS PARVIFOLIA EVERGREEN ELM	35'	15 GAL, STANDARD
	OLEA EUROPAEA 'SWAN HILL' SWAN HILL FRUITLESS OLIVE	30'	15 GAL, STANDARD
	CERCIS OCCIDENTALIS WESTERN REDBUD	15'	15 GAL, MULTI- TRUNK

SHRUB LIST (LOW WATER USE)

SYMBOL SHRUBS	LATIN NAME/ COMMON NAME	SPREAD	CONTAINER SIZE	REMARKS
	ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN' 'HOWARD MCMINN' MANZANITA	8'	5 GAL	
	RHAMNUS CALIFORNICA 'EVE CASE' 'EVE CASE' COFFEEBERRY	7'	5 GAL	
	CISTUS X CYPRIUS VAR. ELLIPTICUS F. BICOLOR BICOLOR ROCK ROSE	7'	1 GAL	
	MAHONIA AQUIFOLIUM OREGON GRAPE	5'	5 GAL	
	JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET JUNIPER	3'	5 GAL	
	ZAUSCHNERIA CALIFORNICA CALIFORNIA FUCHSIA	4'	5 GAL	
	CAREX BUCHANANII FOX RED CURLY	3'	1 GAL	
	FESTUCA CALIFORNICA CALIFORNIA FESCUE	2'	1 GAL	
	ACHILLEA X 'MOONSHINE' MOONSHINE YARROW	2'	1 GAL	
	HEATWAVE™ BLAZE SAGE SALVIA (MICROPHYLLA X GREGGII) 'EGGBEN005' P.P.#24,151	3'	1 GAL	
	TULBAGHIA VIOLACEA SOCIETY GARLIC	2'	1 GAL	
	VINES CLYSTOSTOMA CALLISTEGIOIDES LAVENDER TRUMPET VINE		1 GAL.	TRAIN TO VINE SUPPORT TRELLISES
	FICUS PUMILA MINIMA DWARF CREEPING FIG		1 GAL.	TRAIN TO TRASH ENCLOSURE WALLS

SEE SHEET L-0.2 AND L-0.3
FOR ADDITIONAL
INFORMATION

ATTACHMENT E

BRIAN FIRTH
LANDSCAPE
ARCHITECT, INC.
627 BROADWAY, SUITE 220,
CHICO, CALIFORNIA 95928
PHONE: (530) 899-1130/
FAX: (530) 899-1920
www.BFLAdesign.com
www.facebook.com/BFLAdesign

LICENSE

CONSULTANT

CLIENT
SIERRA CENTRAL
CREDIT UNION

CHICO,
CALIFORNIA

PROJECT
SIERRA CENTRAL
CREDIT UNION,
EAST AVENUE
CHICO,
CALIFORNIA

SHEET TITLE
PRELIMINARY
LANDSCAPE
PLAN

DATES	DESCRIPTION	DATE
PRELIMINARY	LANDSCAPE PLAN	7-28-16

Plot Date: September 16, 2016 - 8:37 am

PROJECT NUMBERS

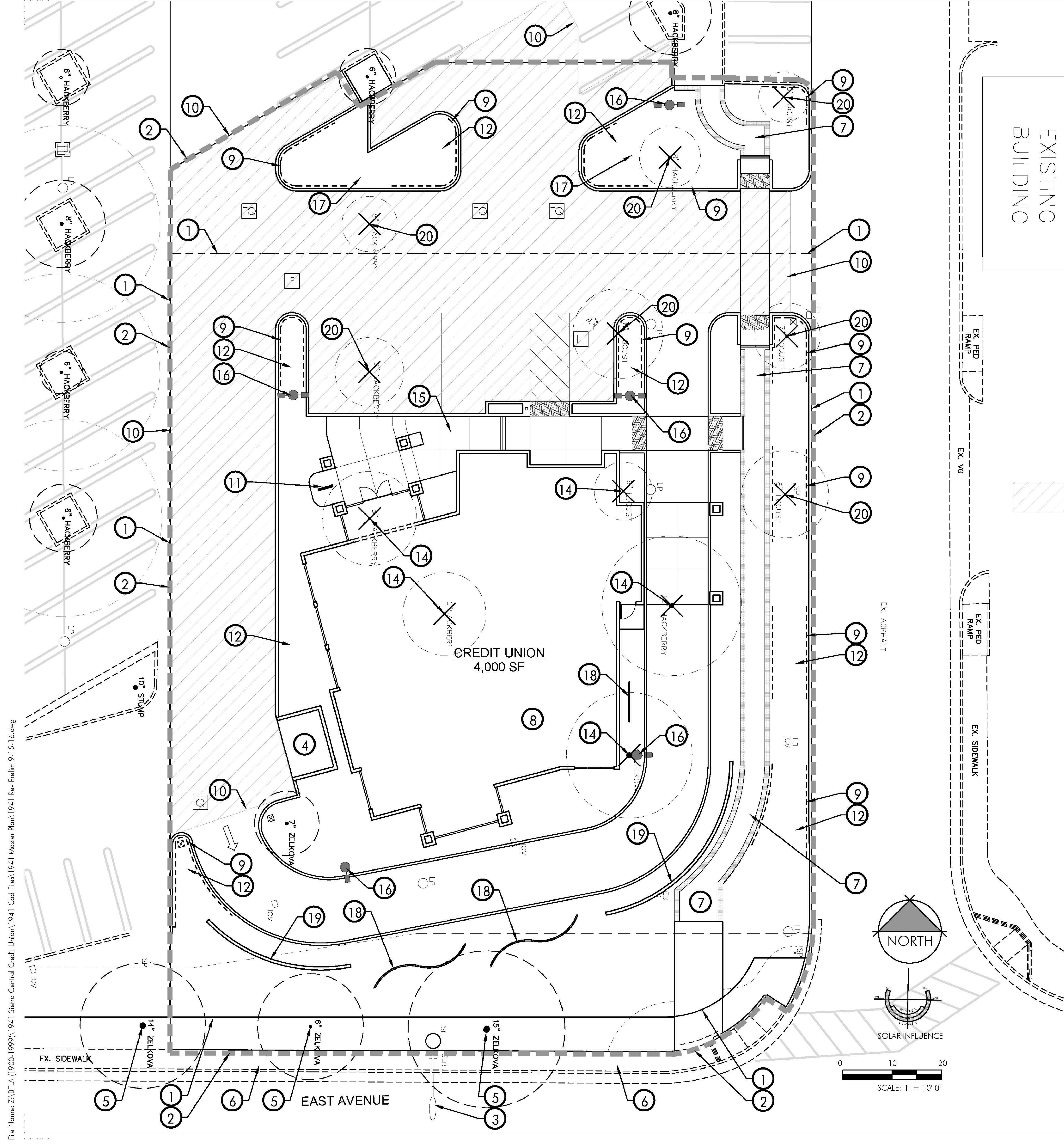
BFLA PROJECT #: 1941
CONSULTANT PROJECT #:

SHEET NUMBER

L-0.1
SHEET 1 OF 3

Attachment D

File Name: Z:\BFLA (1900-1999)\1941 Sierra Central Credit Union\1941 Cad Files\1941 Master Plan\1941 Rev Prelim 9-15-16.dwg



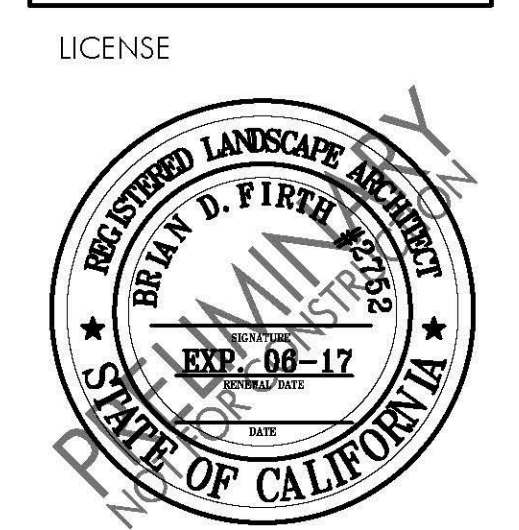
PLAN LEGEND

SYMBOL	DESCRIPTION
1	PROPERTY LINE
2	LIMIT OF WORK
3	EXISTING STREET LIGHT. TO REMAIN.
4	TRASH ENCLOSURE- TO MATCH BUILDING ARCHITECTURE. SHOWN FOR REFERENCE ONLY, SEE ARCHITECT'S PLANS. TO BE SCREENED USING EVERGREEN VINES.
5	EXISTING CITY STREET TREE. TO REMAIN.
6	EXISTING CITY OF CHICO SIDEWALK . TO REMAIN.
7	PATH OF TRAVEL. SEE ARCHITECT'S PLANS
8	HEATING/ AIR CONDITIONING TO BE ROOF MOUNTED AND SCREENED FROM VIEW. SEE PLANS BY OTHERS.
9	ROOT BARRIER (TYPICAL AT ALL TREES WITHIN 4 FEET OF HARDSCAPE). DEEPROOT MODEL: UB-18 (UNLESS OTHERWISE INDICATED))
10	PARKING AND BACK-UP AREA FOR SHADE CALCULATIONS
11	BICYCLE PARKING. INVERTED "U" STYLE. COLOR: BLACK. 2 BIKE CAPACITY.
12	LANDSCAPE SOIL PREPARATION-TYPICAL AT ALL LANDSCAPE AREAS. SEE SOIL PREPARATION NOTE, SHEET L-0.3.
13	EXISTING TREE. TO REMAIN.
14	EXISTING QUALIFYING TREES TO BE REMOVED. SEE TREE MITIGATION NOTE, SHEET L-03.
15	CONCRETE SIDEWALKS. SEE ARCHITECT'S PLANS.
16	AREA LIGHTS. 18 FOOT LUMINERE HEIGHT WITH GLARE CUT-OFF SHROUDS TO PREVENT LIGHT FROM SHINING ONTO ADJACENT PROPERTIES. TYPICAL. MATCH EXISTING EXCEPT FOR HEIGHT.
17	LOW IMPACT DEVELOPMENT (L.I.D.) MEASURES. PLANTED WITH LOW TO MEDIUM WATER USE RIPARIAN PLANTS. SEE CIVIL ENGINEER'S PLANS FOR ADDITIONAL INFORMATION.
18	VINE SUPPORT TRELLIS. SEE ARCHITECT'S PLANS.
19	SCREENWALL. SEE ARCHITECT'S PLANS.
20	EXISTING PARKING LOT TREES TO BE REMOVED AND REPLACED WITH NEW TREES INSTALLED WITH AMENDED, DECOMPACTED SOIL.

SEE SHEET L-0.1 AND L-0.3 FOR ADDITIONAL INFORMATION

ATTACHMENT E

BRIAN FIRTH
LANDSCAPE
ARCHITECT, INC.
627 BROADWAY, SUITE 220,
CHICO, CALIFORNIA 95928
PHONE: (530) 899-1130/
FAX: (530) 899-1920
www.BFLAdesign.com
www.facebook.com/BFLAdesign



CONSULTANT

CLIENT
SIERRA CENTRAL
CREDIT UNION

CHICO,
CALIFORNIA

PROJECT
SIERRA CENTRAL
CREDIT UNION,
EAST AVENUE
CHICO,
CALIFORNIA

SHEET TITLE
PRELIMINARY
LANDSCAPE
PLAN

DATES	DESCRIPTION	DATE
NO.		
	PRELIMINARY	7-28-16
	LANDSCAPE PLAN	

Plot Date: September 16, 2016 - 8:37 am

PROJECT NUMBERS

BFLA PROJECT #: 1941
CONSULTANT PROJECT #:

SHEET NUMBER

L-0.2

SHEET 1 OF 3

Attachment D

File Name: Z:\BFLA (1900-1999)\1941 Sierra Central Credit Union\1941 Cad Files\1941 Master Plan\1941 Rev Prelim 9-15-16.dwg

SOILS STATEMENT

THE SOILS IN THIS AREA ARE KNOWN TO BE OF POOR QUALITY AND LIKELY CONTAINS ROCKS AND DEBRIS UNSUITABLE FOR PLANT GROWTH. AS SUCH, SOIL WILL BE EXCAVATED TO A MINIMUM DEPTH OF 24", AND ROCKS AND DEBRIS REMOVED, AND AMENDED PER THE RECOMMENDATIONS OF AN ANALYTICAL LABORATORY

LANDSCAPE MULCH

A UNIFORM 4" MINIMUM LAYER OF 1"- 1-1/2" WALK ON FIR BARK MULCH SHALL BE APPLIED TO ALL LANDSCAPE AREAS UNLESS OTHERWISE NOTED.

TREE REMOVAL TABLE

TREE SPECIES	DIAMETER	MITIGATION REQUIREMENT
QUALIFYING TREES		
7" LOCUST	7"	NO
6" LOCUST	6"	NO
5" LOCUST	5"	NO
8" LOCUST	8"	NO
8" HACKBERRY	8"	NO
12" HACKBERRY	12"	NO
6" HACKBERRY	6"	NO
6" HACKBERRY	6"	NO
6" HACKBERRY	6"	NO
6" HACKBERRY	6"	NO
14" ZELKOVA	14"	NO

ALL OF THE TREES THAT WILL BE REMOVED AS A PART OF THIS PROJECT ARE UNDER 18" DIAMETER. AS SUCH, PER THE DEFINITION SET FORTH IN 16.66.050 OF THE CHICO MUNICIPAL CODE, ITEM "K", NUMBER 1, NONE OF THE REMOVED TREES REQUIRE MITIGATION.

AB 1881 COMPLIANCE

ALL LANDSCAPED AREA (7,941SF) IS HYDROZONED AS LOW WATER USE AND SHALL BE IRRIGATED BY MEANS OF AN AUTOMATICALLY CONTROLLED, LOW VOLUME DRIP IRRIGATION SYSTEM. USING THE WATER BUDGET CALCULATIONS PER AB 1881 REQUIREMENTS, IT HAS BEEN DETERMINED THAT THE ESTIMATED WATER USE (EWU) OF THE PROPOSED LANDSCAPE IS 62,692 GALLONS PER YEAR AND DOES NOT EXCEED THE MAXIMUM APPLIED WATER ALLOWANCE (MAWA), WHICH IS 197,478 GALLONS PER YEAR.

PARKING LOT LANDSCAPE

DESCRIPTION	AREA	PERCENT
PARKING LOT PAVING	8,029 SF	
PARKING LOT LANDSCAPE	1,158 SF	14%

SHADE CALCULATIONS

DESCRIPTION	SHADE AREA	QUANTITY	TOTAL	PERCENT
TOTAL PARKING AND BACK-UP AREA			8,029 SF	
SHADE AREA PROVIDED				
EVERGREEN ELM				
<input type="checkbox"/> F FULL	1,256 SF	1	1,256 SF	15%
<input type="checkbox"/> TQ THREE QUARTER	942 SF	3	2,826 SF	35%
<input type="checkbox"/> H HALF	628 SF	1	628 SF	7%
<input type="checkbox"/> Q QUARTER	314 SF	1	314 SF	3%
TOTAL SHADE AREA PROVIDED			5,024 SF	62%

VICINITY MAP



ATTACHMENT E



CONSULTANT
CLIENT
SIERRA CENTRAL CREDIT UNION
CHICO, CALIFORNIA

PROJECT
SIERRA CENTRAL CREDIT UNION, EAST AVENUE
CHICO, CALIFORNIA

SHEET TITLE
PRELIMINARY LANDSCAPE PLAN

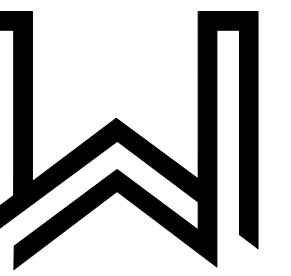
DATES	DESCRIPTION	DATE
NO.		
PRELIMINARY	LANDSCAPE PLAN	7-26-16

Plot Date: September 16, 2016 - 8:33 am

PROJECT NUMBERS
BFLA PROJECT #: 1941
CONSULTANT PROJECT #:

SHEET NUMBER
L-0.3
SHEET 3 OF 3

File Name: Z:\BFLA\19000\1999\1941 Sierra Central Credit Union\1941 Cad Files\1941 Master Plan\9-15-16.dwg

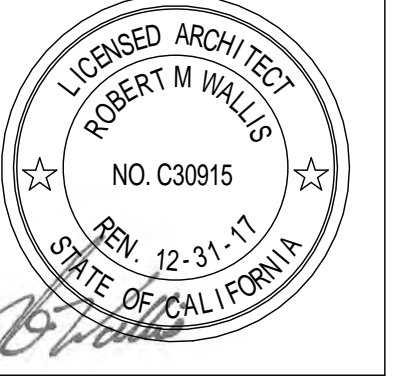


WALLIS DESIGN STUDIO
ARCHITECTURE

149 Crown Point Ct. Suite C
Grass Valley, CA 95945
(530) 264-7010
WallisDesignStudio.com

These drawings are the sole property of Wallis Design Studio. Any reproduction or reuse in whole or in part without written approval is strictly forbidden.

Stamp:



SCHEMATIC DESIGN

East Ave Shopping Center
Branch Building
Sierra Central Credit Union
1380 East Avenue, Chico, CA

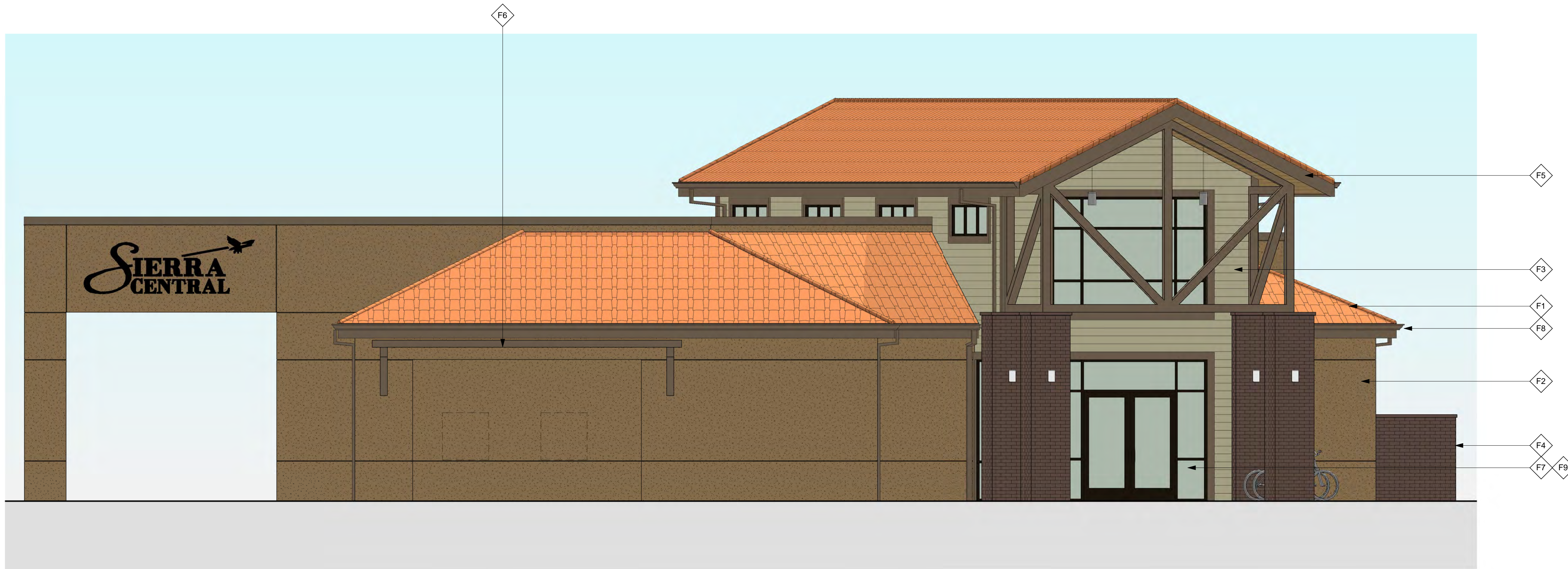
No.	Description	Date

Proj. No.: 2016003
 Date: 11/28/2016
 Scale: As indicated
 Drawn By: SV

A.3
 NORTH & EAST
 COLORED ELEVATIONS
 11/28/2016 11:21:34 AM

LEGEND

- F1** ROOF FINISH
MANUFACTURE: METAL SALES
PRODUCT: STILE
COLOR: SPANISH CLAY
- F2** EXTERIOR WALL FINISH
MANUFACTURE: OMEGA
PRODUCT: CEMENT PLASTER - ACRYLIC
COLOR: KHAKI
- F3** EXTERIOR WALL FINISH
MANUFACTURE: JAMES HARDIE
PRODUCT: ARTICAN COLLECTION - LAP
COLOR: BENJAMIN MOORE - DRY SAGE 2142-40
- F4** EXTERIOR WALL FINISH
MANUFACTURE: H.C. MUDDOX
PRODUCT: THIN BRICK - MINI MOD
COLOR: SIERRA SLATE
- F5** EXTERIOR TRIM FINISH
MANUFACTURE: BORAL
PRODUCT: TRU-EXTERIOR TRIM
COLOR: BENJAMIN MOORE - DIXON BROWN CW-160
- F6** TUBE STEEL TRUSS & SUN SHADE FINISH
MANUFACTURE: BENJAMIN MOORE
PRODUCT: TBD
COLOR: DIXON BROWN CW-160
- F7** STOREFRONT FINISH
MANUFACTURE: OLDCASTLE
PRODUCT: ANODIZED
COLOR: DARK BRONZE ANODIZED
- F8** GUTTER AND DOWNSPOUT
MANUFACTURE: FABRICATED
PRODUCT: SMACNA STYLE F
COLOR: DIXON BROWN CW-160
- F9** EXTERIOR GLAZING
MANUFACTURE: PPG
PRODUCT: SOLARBAN 70 INSULATED UNIT
- F10** METAL DOOR FINISH
MANUFACTURE: BENJAMIN MOORE
PRODUCT: TBD
COLOR: TO MATCH CEMENT PLASTER



1 NORTH ELEVATION - COLORED
1/4" = 1'-0"



2 EAST ELEVATION - COLORED
1/4" = 1'-0"



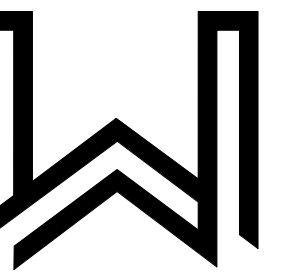
1 SOUTH ELEVATION - COLORED
1/4" = 1'-0"



2 WEST ELEVATION - COLORED
1/4" = 1'-0"

LEGEND

- F1** ROOF FINISH
MANUFACTURE: METAL SALES
PRODUCT: STILE
COLOR: SPANISH CLAY
- F2** EXTERIOR WALL FINISH
MANUFACTURE: OMEGA
PRODUCT: CEMENT PLASTER - ACRYLIC
COLOR: KHAKI
- F3** EXTERIOR WALL FINISH
MANUFACTURE: JAMES HARDIE
PRODUCT: ARTICAN COLLECTION - LAP
COLOR: BENJAMIN MOORE - DRY SAGE 2142-40
- F4** EXTERIOR WALL FINISH
MANUFACTURE: H.C. MUDDOX
PRODUCT: THIN BRICK - MINI MOD
COLOR: SIERRA SLATE
- F5** EXTERIOR TRIM FINISH
MANUFACTURE: BORAL
PRODUCT: TRU-EXTERIOR TRIM
COLOR: BENJAMIN MOORE - DIXON BROWN CW-16
- F6** TUBE STEEL TRUSS & SUN SHADE FINISH
MANUFACTURE: BENJAMIN MOORE
PRODUCT: TBD
COLOR: DIXON BROWN CW-160
- F7** STOREFRONT FINISH
MANUFACTURE: OLDCASTLE
PRODUCT: ANODIZED
COLOR: DARK BRONZE ANODIZED
- F8** GUTTER AND DOWNSPOUT
MANUFACTURE: FABRICATED
PRODUCT: SMACNA STYLE F
COLOR: DIXON BROWN CW-160
- F9** EXTERIOR GLAZING
MANUFACTURE: PPG
PRODUCT: SOLARBAN 70 INSULATED UNIT
- F10** METAL DOOR FINISH
MANUFACTURE: BENJAMIN MOORE
PRODUCT: TBD
COLOR: TO MATCH CEMENT PLASTER

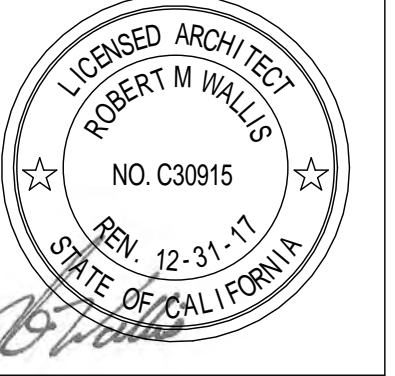


WALLIS DESIGN STUDIO
ARCHITECTURE

149 Crown Point Ct., Suite C
Grass Valley, CA 95945
(530) 264-7010
WallisDesignStudio.com

These drawings are the sole property of Wallis Design Studio. Any reproduction or reuse in whole or in part without written approval is strictly forbidden.

Stamp:



SCHEMATIC
DESIGN

East Ave Shopping Center
Branch Building
Sierra Central Credit Union
1380 East Avenue, Chico, CA

No.	Description	Date

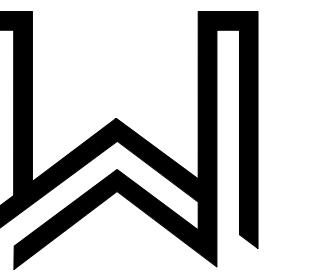
Proj. No.: 2016003
Date: 11/28/2016
Scale: As indicated
Drawn By: SV

A.4

SOUTH & WEST
COLORED ELEVATIONS

ATTACHMENT F

11/28/2016 11:20:34 AM

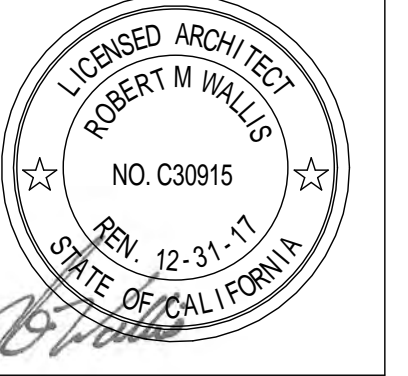


WALLIS DESIGN STUDIO
ARCHITECTURE

149 Crown Point Ct., Suite C
Grass Valley, CA 95945
(530) 264-7010
WallisDesignStudio.com

These drawings are the sole property of Wallis Design Studio. Any reproduction or reuse in whole or in part without written approval is strictly forbidden.

Stamp:



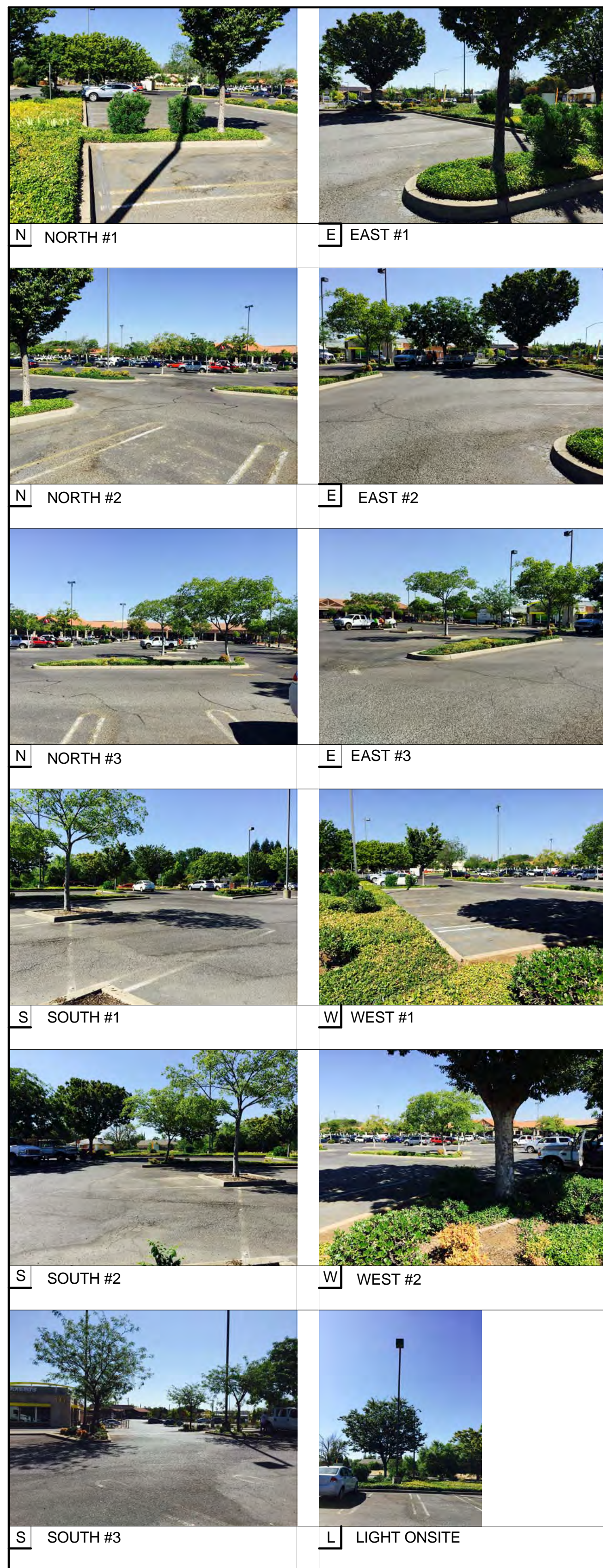
SCHEMATIC
DESIGN

**East Ave Shopping Center
Branch Building**
Sierra Central Credit Union
1380 East Avenue, Chico, CA

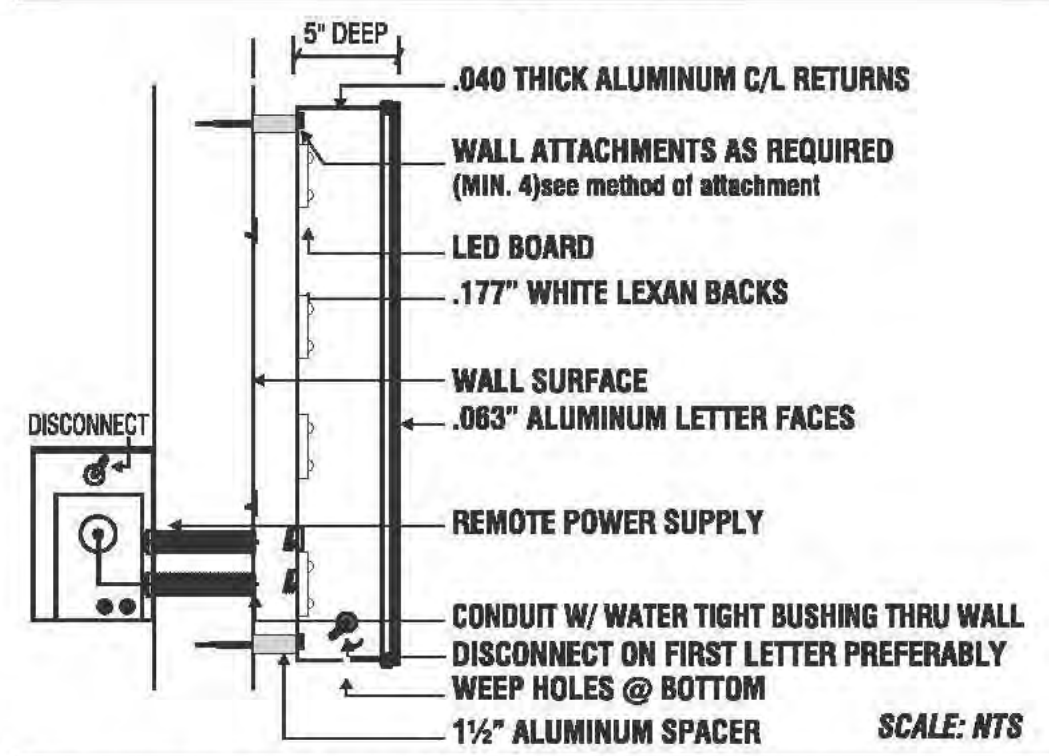
No.	Description	Date

Proj. No.: 2016003
Date: 11/28/2016
Scale:
Drawn By: RMW

A.0
PERSPECTIVE

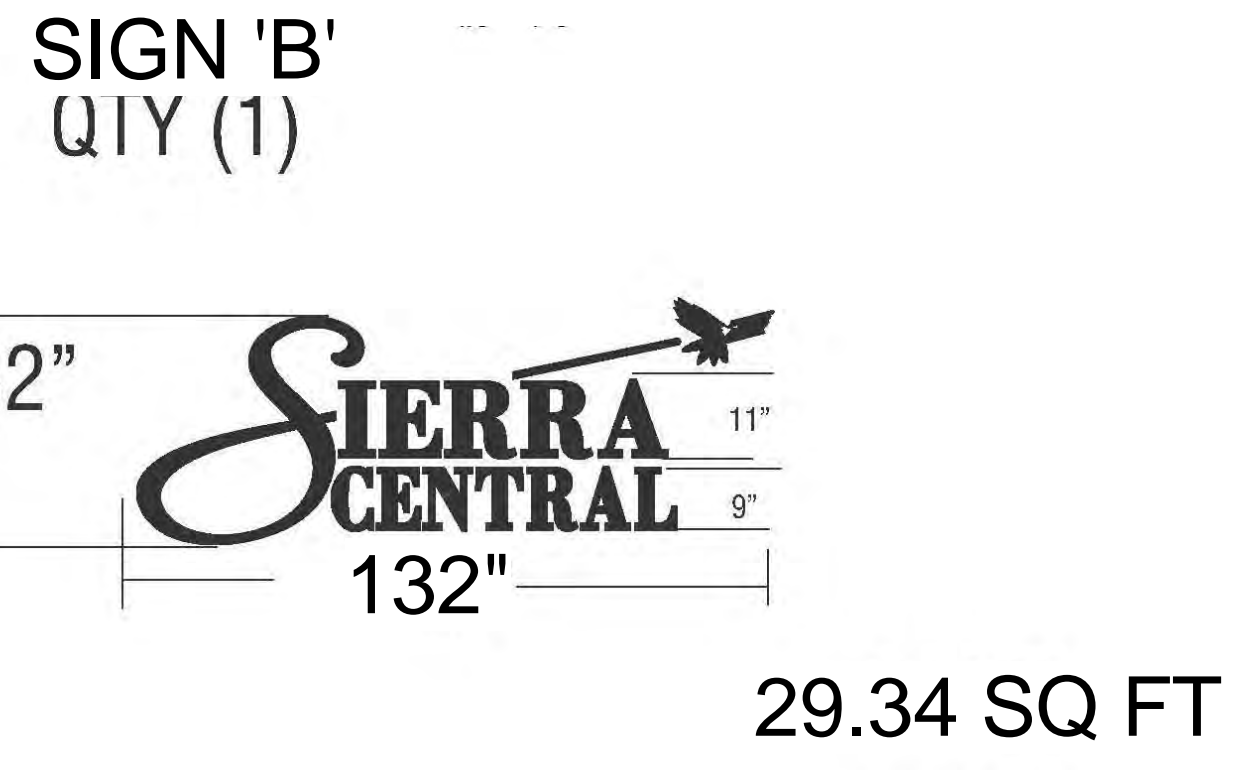
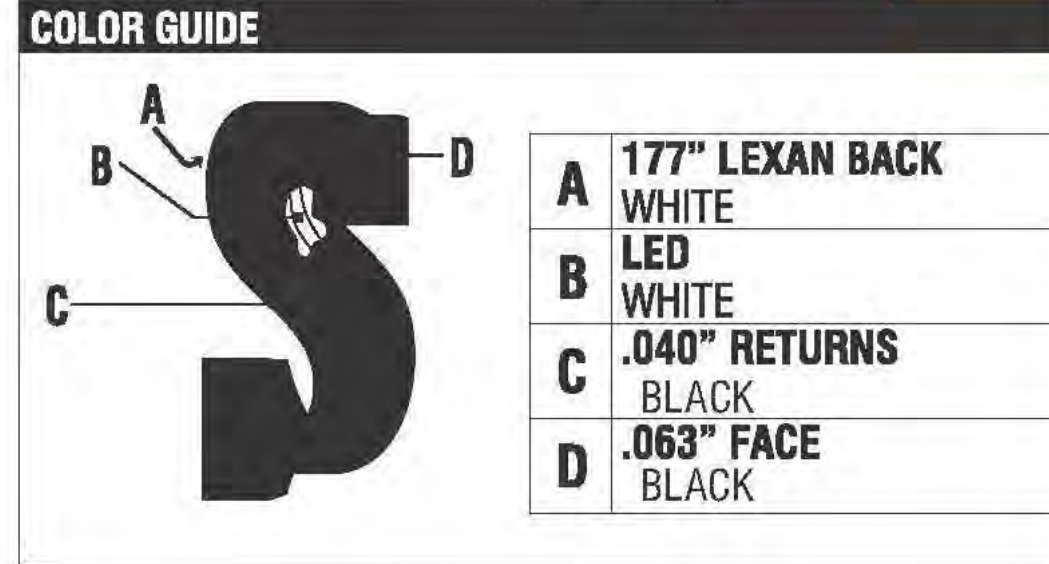


DETAILS



METHOD OF ATTACHMENT FOR CHANNEL LETTERS

HARDWARE	BUILDING CONSTRUCTION		
MIN. #10X2\"/>			
BOLTS THRU WALL			
LAG BOLTS W/ SHIELD			
LAG BOLTS			
TOGGLE BOLTS			



WALLIS DESIGN STUDIO
ARCHITECTURE
149 Crown Point Ct. Suite C
Grass Valley, CA 95945
(530) 264-7010
WallisDesignStudio.com

These drawings are the sole property of Wallis Design Studio. Any reproduction or reuse in whole or in part without written approval is strictly forbidden.

Stamp:



SCHEMATIC DESIGN

East Ave Shopping Center
Branch Building
Sierra Central Credit Union
1380 East Avenue, Chico, CA

No.	Description	Date

Proj. No.: 2016003
Date: 11/28/2016
Scale:
Drawn By: RMW

A.13
MISC DETAILS