



CITY OF CHICO
BIDWELL PARK AND PLAYGROUND COMMISSION (BPPC)
Regular Meeting Agenda
August 27, 2018, 6:30 pm
City Council Chambers - 421 Main Street

Materials related to an item on this Agenda are available for public inspection in the Park Division Office at 965 Fir Street, Chico during normal business hours or online at <http://www.chico.ca.us/>.

1. REGULAR COMMISSION MEETING

- 1.1. Call to Order
- 1.2. Roll Call
- 1.3 Special Recognition: Discovery Shoppe – Caper Acres Donation
- 1.4 Selection of Chair and Vice-Chair

2. CONSENT AGENDA - NONE

All matters listed under the Consent Agenda are to be considered routine and enacted by one motion.

2.1. APPROVAL OF MEETING MINUTES

Action: Approve minutes of BPPC meeting held on 7/30/18.

2.2. PERMIT FOR HEART & SOLE: RUN FOR WELLNESS – OAK GROVE A & B (3/30/19)

Enloe Medical Center (Applicant) is requesting to reserve One Mile Picnic/Barbeque Area, Oak Grove A and Oak Grove B, on March 30, 2019 for their annual event, Heart & Sole: Run for Wellness. Along with this reservation, Enloe Medical Center is requesting to use Sycamore Field for a possible helicopter landing. **Recommendation:** Conditional approval.

3. ITEMS REMOVED FROM CONSENT – IF ANY

4. NOTICED PUBLIC HEARINGS

4.1 CONSIDERATION OF A REQUEST TO REDUCE THE SETBACK TO DEVELOP A PARCEL LOCATED ADJACENT TO ANNIES GLEN IN LOWER BIDWELL PARK.

The City's Bidwell Park Sphere of Influence Policy requires an advisory review by the BPPC for development projects located within 1,000 feet of Upper Park and immediately adjacent to Lower Park. The BPPC will review a request by the applicant Mr. Schlund to reduce the conditioned 20-foot setback to the standard 4-foot side yard setback to increase the buildable space of his parcel located at 227 Orient Street.

Recommendation: City Planning staff recommends that the BPPC conduct an advisory review of the project, providing comments to staff and the applicant

5. REGULAR AGENDA

5.1. CONSIDERATION OF A REQUEST TO INSTALL A COMMEMORATE WORLD WAR I (WW I) PLAQUE AND PAVERS IN CHILDREN'S PLAYGROUND.

The Rotary Club of Chico and the Chico post of the Chico Veterans of Foreign Wars (VFW) Post

1555 would like to donate the costs and labor to install a plaque and decorative pavers near the existing WW I monument in Children's Playground to commemorate the 100th Anniversary of the end of the war.

Recommendation: The Park & Natural Resource Manager (P&NRM) requests that the BPPC approve the installation of the commemorative plaque and pavers.

5.2. CONSIDERATION OF PROPOSED AMENDMENTS TO THE CHICO MUNICIPAL CODE REGARDING THE USE OF BBQS AND THE COUNCIL FIRE RING IN BIDWELL PARK.

At the request of the Chico Fire Department, Staff is proposing that the Chico Municipal Code (CMC) be amended to:

1. At all times, prohibit the use of wood and fires at night in the BBQs in Bidwell Park.
2. Allow the use of wood and other fires in the Council Fire Ring by a City-approved permit only.
3. Prohibit all fires in the Council Fire Ring during the Fire Season of May 1 to October 1.
4. Prohibit all fires in BBQs and the Council Fire Ring during declared Red Flag Fire Warning Days.

Recommendation: That the BPPC recommend City Council approval of these proposed CMC amendments.

5.3. CONSIDERATION OF RECOMMENDATIONS FROM THE 8/15/18 BPPC NATURAL RESOURCE COMMITTEE MEETING

At its meeting on 8/15/18, the Natural Resource Committee continued the review the Upper Bidwell Park public survey results. The Committee discussed several areas addressed in the survey, but particularly vehicle access and improvements to the portion of Upper Park road beyond the Diversion Dam.

Recommendation: The Committee recommended (3-0) that the BPPC approve recommending City Council approval to make improvements to the unpaved portion of Upper Park Road to allow emergency vehicle access only, as funding allows. The Committee will continue discussion of whether to allow access to all vehicles, and review other survey results at its September meeting.

6. BUSINESS FROM THE FLOOR

Members of the public may address the Commission at this time on any matter not already listed on the agenda; comments are limited to three minutes. The Commission cannot take any action at this meeting on requests made under this section of the agenda.

7. REPORTS AND COMMUNICATIONS

Items provided for the Commission's information and discussion. No action can be taken on any of the items unless the Commission agrees to include them to a subsequent posted agenda.

7.1. Parks Division Report – Linda Herman, Park and Natural Resources Manager.

7.2. Street Tree Division Report – Richie Bamlet, Urban Forest Manager.

7.3. Park & Natural Resources Manager Report (*Verbal Report*), if applicable

8. ADJOURNMENT

Adjourn to the next regular meeting on 9/24/18 at 6:30 P.M. in the Council Chamber of the Chico Municipal Center building located at 421 Main Street, Chico, California.



Please contact the Park Division Office at (530) 896-7800 if you require an agenda in an alternative format or if you need to request a disability-related modification or accommodation. This request should be received at least three working days prior to the meeting.

CITY OF CHICO
BIDWELL PARK AND PLAYGROUND COMMISSION (BPPC)
Minutes of
July 30, 2018 Regular Meeting

1. REGULAR COMMISSION MEETING

1.1 Call to Order

Acting Chair Haar called the meeting to order at 6:32 p.m.

1.2 Roll Call

Commissioners present:

Tom Nickell
Alberto Hernandez
Aaron Haar
Valerie Reddeman
Elaina McReynolds
Jeff Glatz

Commissioners absent: None

Staff present: Linda Herman (Park and Natural Resources Manager), Shane Romain (Park Services Coordinator), Richie Bamlet (Urban Forest Manager), and Angie Irmer (Administrative Assistant).

1.3 Swearing-in of New Commissioner – Megan Thomas Petty. The Oath administered by Debbie Presson, City Clerk.

1.4 Selection of Chair and Vice-Chair – Acting Chair self nominates himself.

Nomination by Commissioner McReynolds for Commissioner Reddeman for position of Chair

The matter is continued to the next scheduled meeting, August 30, 2018.

2. CONSENT AGENDA – NONE

2.1 Approval of Meeting Minutes

Motion by Commissioner Hernandez and second by Commissioner Glatz to approve the minutes as presented.

AYES: Commissioner Nickell, Commissioner Hernandez, Commissioner Haar,
Commissioner McReynolds, Commissioner Glatz

ABSTAIN: Commissioner Reddeman and Commissioner Petty Thomas

3. ITEMS REMOVED FROM CONSENT – NONE

4. NOTICED PUBLIC HEARINGS – NONE

5. REGULAR AGENDA

5.1 PRESENTATION ON THE UPPER BIDWELL PARK ROAD SURVEY FINAL REPORT

Park & Natural Resources Manager will provide a presentation on the Final Report prepared by CSU, Chico Professor Dr. Schmidt of the results of the Upper Park Road public convenience survey.

Recommendation: The Park & Natural Resource Manager (P&NRM) requests that the BPPC forward further discussion of the Final Report and survey results to the BPPC Natural Resources Committee.:

Addressing the Commission were Neil Woodward and Steve Laurie

MOTION: Motion was made by Acting Chair Haar to send to BPPC Natural Resources Committee for the further discussion of the Final Report and survey results.

The motion carried by the following vote:

AYES: Acting Chair Haar, Commissioner Hernandez, Commissioner McReynolds, Commissioner Nickell, Commissioner Glatz, Commissioner Reddeman, Commissioner Thomas Petty

NOES: None

5.2 CONSIDERATION OF RECOMMENDATION FROM THE 7/11/18 BPPC POLICY ADVISORY COMMITTEE MEETING

At its meeting on 7/11/18, the Policy Advisory Committee discussed several items referred to them by the BPPC regarding regulations concerning closing times for all City Parks, the use of security cameras, whether to close Bidwell Bowl to reservations only, amplified sound, and speeding and other vehicle regulations for roads in Lower Bidwell Park

Recommendations: The Committee unanimously voted (3-0) to recommend that the BPPC consider recommending City Council approval of the following:

A. CLOSING TIMES FOR ALL CITY PARKS AND GREENWAYS

1. Closing the following areas of Lower Bidwell Park and other City Parks at 7:00 p.m. from October 1 to March 31 and at 9:00 p.m. from April 1 to September 30 each year, which are the current seasonal gate closing hours of Lower Bidwell Park:
 - a. One Mile Recreation Area Group Picnic Area (12 tables at Oak Grove A& B)
 - b. Non-reservable (6-table) area of the One Mile Recreation Area
 - c. Children's Playground
 - d. Bidwell Bowl Amphitheater
 - e. Depot Park
 - f. Council Ring

2. Closing the following locations at 11:00 p.m., to be consistent with Middle and Upper Bidwell Park and the Chico Area Park and Recreation District (CARD) parks:
 - a. The remainder of Lower Bidwell Park, including Cedar Grove and the Five Mile Recreation Area.
 - b. City-owned greenways
 - c. Husa Ranch/Nob Hill Neighborhood Park

3. After consulting with the Downtown Chico Business Association (DCBA), closing City Plaza at 12: a.m. to 5:00 a.m. instead of 2:00 a.m. to 5:00 a.m.
4. If approved by the City Council, conduct a public education campaign and provide a report to the BPPC on the effectiveness of the new park closure times after 12-months of implementation.

B. USE OF SECURITY CAMERAS AND LIMITING THE USE OF BIDWELL BOWL - TO PERMITTED EVENTS

1. Staff's proposal to install security cameras at the locations
 - a. One Mile Southside Restroom and Concession Area
 - b. One Mile Recreation Group Picnic Area (Oak Grove A&B)
 - c. Children's Playground and the Bidwell Bowl Amphitheater downtown.
 - d. And if funding allows, Caper Acres.
2. Waiting to see if the security cameras help conditions at Bidwell Bowl and to not limit use of the facility to events only at this time.

C. REGULATIONS REGARDING THE USE OF AMPLIFIED SOUND

1. Provide better enforcement of the existing noise regulations, and more signage citing the CMC Code and to remind park users to be more courteous of others.

D. REGULATIONS REGARDING VEHICLE USE IN LOWER BIDWELL PARK

1. Proceed with conducting a speed survey and also assess the width of the road on Petersen and South Park Drives in Lower Park to determine the appropriate speed for vehicles.
2. Direct Staff to determine the feasibility of installing a buffered pedestrian lane on Petersen Drive, and installing a sign at the Petersen entrance gate cautioning drivers and bicyclists of pedestrians who also use the road.

Addressing the Commission Rob Berry

MOTION: Motion was made by Commissioner Glatz to accept the recommendation as proposed.
Second by Commissioner Hernandez.

The motion carried by the following vote:

AYES: Acting Chair Haar, Commissioner Hernandez, Commissioner McReynolds,
Commissioner Nickell, Commissioner Glatz, Commissioner Reddeman, Commissioner Thomas
Petty

NOES: None

6. BUSINESS FROM THE FLOOR

Members of the public may address the Commission at this time on any matter not already listed on the agenda; comments are limited to three minutes. The Commission cannot take any action at this meeting on requests made under this section of the agenda.

Addressing the Commission is Patrick Newman.

7. REPORTS AND COMMUNICATIONS

Items provided for the Commission’s information and discussion. No action can be taken on any of the items unless the Commission agrees to include them to a subsequent posted agenda.

7.1 Parks Division Report – Linda Herman, Park and Natural Resource Manager.

7.2 Street Tree Division Report – Richie Bamlet, Urban Forest Manager.

7.3 Park & Natural Resource Manager Report (Verbal Report), if applicable

8. ADJOURNMENT

The Adjourn to the next regular meeting on 8/27/18 at 6:30 P.M. in the Council Chamber of the Chico Municipal Center building (421 Main Street, Chico, California).

Date Approved:
Prepared By:

Angie Irmer, Administrative Assistant

Date

Distribution: BPPC
Website



BPPC Staff Report

Meeting Date 8/27/18

DATE: August 21, 2018
 TO: Bidwell Park and Playground Commission
 FROM: Angela Irmer, Administrative Assistant
 SUBJECT: Enloe Medical Center Heart & Sole: Run for Wellness

REPORT IN BRIEF:

Enloe Medical Center (Applicant) is requesting to reserve One Mile Picnic/Barbeque Area, Oak Grove A and Oak Grove B, on March 30, 2019 for their annual event, Heart & Sole: Run for Wellness. Along with this reservation, Enloe Medical Center is requesting to use Sycamore Field for a possible helicopter landing. This would be coordinated with CARD.

Recommendation: Conditional approval.

Event Details

Date of Application	4/29/2018
Date of Event	3/30/2019
Time of Event	7:30 a.m. to 12:00 p.m.
Event Name	Heart & Sole: Run for Wellness
Applicant Name	Deanna Squires for Enloe Medical Center
Location	One Mile Oak Grove A and B and Lower Bidwell Park
Description	Run for Wellness
New Event?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No. Years? 5
# Participants	750
Reason for BPPC Consideration?	Possible use of helicopter landing coordinated with CARD for Sycamore Field
BPMMP Consideration	

Conditions

Staff recommends the following conditions:

- Continued adherence to all park rules.
- If the helicopter is used, clearly designate with cones or other methods the landing area, and have monitors available to ensure the public does not enter the area during landing and takeoff.
- The applicant will need to do a final inspection of the race courses at the conclusion of the event and remove all signs and course markings as well as pick up any associated trash.

Attachments: Application and Permit for Park Use

Distribution: Deanna Squires – Enloe Medical Center



City of Chico

APPLICATION & PERMIT FOR PARK USE

Public Works Department - Park Division

Type of Event:

PUBLIC PRIVATE

SECTION 1 - APPLICANT INFORMATION

Must be 18 or older to submit an application • No glass containers • Application fee due upon submittal •

THIS RESERVATION IS NOT VALID UNTIL APPROVED BY THE PARK DIVISION.

PLEASE PRINT:

Deanna Squires

Name of Applicant/Contact Person needed)

Enloe Medical Center

Organization Name (if applicable)



Contact Phone #

Alternate Phone #

Heart & Sole: Run for Wellness

Description of Event: (family BBQ, walk/run, describe below if

Saturday, March 30, 2019

Day and Date of Event:

From: 6 a.m. To: 1 p.m.
Total Time Needed for Set-up, Event, and Clean-up

From: 7:30 a.m. To: 12 p.m. 750
Time of Event Only Number of people

E-mail address

Note: Park gates will not remain closed beyond normal opening time for any event with less than 1,000 people. All races with less than 1,000 people at One Mile must start before 8:30 am. Street closure(s) subject to approval.

AREA REQUESTED: (Please check if requested)

Bidwell Bowl Amphitheater

Electricity (15 amp)

Note: Special conditions apply for amplified sound (12R.08.263 CMC)

Cedar Grove Picnic Area

Meadow

Electricity (15 amp)

100 amp Electrical Service

tables, restroom area (circle) Water (public events only)

Children's Playground

Electricity (15 amp)-Pick up key on: Mon - Fri 8:00 - 3:30

Water (public events only) 100 amp Electrical Service

City Plaza (Additional fees may apply)

Electricity (15 amp)

100 amp Electrical Service

Event Restrooms Water (public events only)

Fountain - On Fountain - Off

Meter Bags #

Sound Curtain

Council Ring

Fire Permit

Five Mile Picnic Area

One Mile Picnic/Barbeque Area - Water available, no hose bib

Oak Grove A

Oak Grove B

Sycamore Way Parking Lot Closure-Public Events ONLY

Electricity (15 amp) parking area, restroom area (Pick up key)

Band Stand (15 amp)

BBQ-Pick up key on: Mon - Fri 8:00 AM - 3:30 PM

Depot Park

Electricity (15 amp)

Lower Bidwell Park (public events only):

Upper Bidwell Park (public events only):

Other (specify) (public events only):

Early Entrance Needed (public events only) Yes No

Additional Description of the Event: possible helicopter landing coordinated with CARD for Sycamore field.

FOR PARK RANGER ASSISTANCE during the event, CALL 530-897-4900 (Police Department Dispatch)

SECTION 2 - PERMIT FEES

Call Park Office at 896-7800 for availability of park areas and fee schedule 80.020

- Application Fee \$ 19.00 (Non-Refundable)
- Reservation Fee \$ 301.00 (\$11.00 minimum, please call for quote)
- Insurance Fee \$ 40.00 (\$40.00 to process outside insurance)
- Vendor Fee # \$ (\$6.00 per vendor)
- Damage Deposit \$ 100.00 (\$100.00 refundable)
- Early Entrance Fee \$ 32.50 (\$32.50/hr. public events only)
- Additional Park Use Fees \$ (see fee schedule)

Additional fees for City Plaza use:	
Event Restrooms	_____ x (\$95.00) = \$ _____
#days	
100 amp Electrical	_____ x (\$30.00) = \$ _____
(electrician required) #days	

Park Fee Total: \$ 492.50

Convenience Fee: \$ _____

Total Fee Required: \$ 492.50

Credit Card and DEBIT payment will be assessed a 2.75% convenience fee.

Fees due upon submittal of application ~ Make Checks Payable to: City of Chico ~

City of Chico Cash Receipt No. OR 191669 Payment Method: CK 500976 Date: 5-1-18 Received By: AMJ
2358

Office	Permit File (original)	Park Ranger 1	Senior Park Ranger	Applicant	BPPC	Cleaning Service
Distribution:	Park Field Supervisor	Park Ranger 2	Landscape Inspector	920 Fund	DCBA	Risk Management (e-mail)

SECTION 3 - CONDITIONS FOR PARK USE

You Are Responsible for Knowing the Park Rules. Please Observe the Following:

- Alcohol** Alcohol is not permitted in any City Park or Playground.
- BBQ's** Portable BBQ's may only be used next to existing BBQ's in Lower Bidwell Park and Five Mile Recreation Areas.
- Bicycles** Must observe all California vehicular codes including one-way streets. Riders are expected to be courteous and yield to equestrian and pedestrian traffic. Helmets must be worn at all times in Upper Park, except when on pavement. Riders must stay on designated trails. Bicycle riding is not allowed in Caper Acres or on the Sycamore pool deck.
- Bounce Houses** Bounce houses and other similar play equipment are only permitted with a reservation and upon approval by the Park Division. The operators of this equipment must provide proof of insurance. Bounce houses are not allowed in Caper Acres.
- Campfires** No campfires allowed.
- Camping** No overnight camping allowed. Bidwell Park is a "day use park" only.
- Clean up** Permittee is required to completely clean up area at the conclusion of event. Additional garbage bags may be obtained from the General Services Department at time of reservation. (12R.04.180 CMC)
- Damages** Any damage to City property as a result of this event will be repaired at permittee's expense.
- Dogs** Dogs may be off leash from 5:30 AM until 8:30 AM in Lower Park -- All other times **dogs must be on a leash**. Along the north side of Upper Park Road, dogs may be "off leash" anytime. While "off leash," dogs must remain under control via master's voice. **Dogs are not allowed in Caper Acres, One-Mile or Five-Mile swimming areas, or designated swimming holes in Upper Park.**
- Electrical** All power extension cords, sound amplification equipment, and staging to be supplied by permittee. Permittee shall provide "tripping" prevention devices over power cords crossing any pathway.
- Fishing** **Big Chico Creek:** Check California Fish and Game Regulations, <http://www.dfg.ca.gov/regulations/>, Freshwater Sport Fishing, Alphabetical List of Waters with Special Fishing Regulations, (20) Big Chico Creek.
Horseshoe Lake: Age 14 and over - license, catch and release; Under 14 - no license, catch and keep.
- Gate Closures** Upper Park gate at parking area E is closed on Sundays and Mondays and during wet periods. Gates can be closed for approved special events. See www.ci.chico.ca.us/general_services_department/park_division/gate_closing_hours.asp
- Glass** No glass containers allowed in any City Park or Playground.
- Horses** Horses must stay on designated trails. Horses are not allowed in One-Mile or Five-Mile Recreation Areas. Horses must cross the creek at approved crossings. Safe and courteous riding is the Park standard.
- Noise** No loud or unusual noises are allowed, including: radios and headsets that can be heard over 50' away. Music/Amplified Sound at One-Mile Recreation Area, please, face all speakers away from Woodland Ave.
- Park Closures** Lower Park is closed from 12:00 am (midnight) until 5:00 am every day, unless directly and actively proceeding to a destination outside of the park. Upper Park is closed at **9:00pm, October – March and 11:00pm, April - September** unless posted otherwise.
- Signs/Defacing** Defacing of trees, benches, tables, any park fixtures, open ground, or paved roads/paths with markings, staples, tacks, or signs is prohibited. No pinatas, or accessories shall be affixed to trees. Only barricades, cones, or self standing devices may be used for these purposes.
- Smoking** Smoking is not permitted in any City Park or Playground.
- Swimming** While in the 1-Mile swim area compliance with lifeguards is required for public safety. Pool is open and lifeguards are on duty from Memorial Day through Labor Day.
- Vegetation** No taking, cutting or injury of any vegetation in the Park is allowed.
- Vehicle Traffic**
- While gates are closed, limited use of vehicles to set up for event is permitted. Vehicles must be in compliance with the one-way designation of the roadway, must yield to all other activities (walking, jogging, bicycling, and horseback riding), must travel with flashers on and may not exceed ten (10) miles per hour.
 - Permittee shall provide adequate signs and supervision to avoid conflicts between vehicles, bicycles, equestrians, and general public.
 - Only emergency vehicles will be allowed access through the area of South Park Drive which has been closed to motor vehicles.
 - No vehicles are permitted to travel or park on grass areas.

*I have read and agree to conform to the above rules and conditions:

X 
Signature of Applicant

SECTION 4 – INSURANCE

(to be determined by Park Office)

INSURANCE REQUIREMENTS ARE APPLICABLE TO:

Insurance Required

Not Required

- (1) All Public Events per Title 12R.08.240, and/or
- (2) All Events Public or Private where:
 - (a) Amplified sound is used -or- (b) The number of people participating amount to 101 or more.

For Insurance questions for your event, please contact the Risk Management office at 530-879-7910 or email at risk-management@chicoca.gov

For liability coverage purposes, it is Enloe Medical Center's intent (applicant) and the City of Chico's intent (hereinafter referred to as the "Parties"), that this permit is a written contract between the Parties. Pursuant to the insurance policy related to this permit/written contract, and consistent with the Certificate of Liability Insurance and Additional Insured Endorsements, the Parties hereby attach and incorporate by this reference, the Certificate of Liability Insurance and Additional Insured Endorsements, which are further expressly made a material part of the said permit/written contract between the Parties.

If insurance is required, Certificate of Insurance, meeting City standards must be received by: February 22, 2019
Organization Named on Certificate of Insurance Enloe Medical Center

Permittee shall supply, at least two (2) weeks in advance of the scheduled event, a Certificate of Insurance issued by a company licensed to do business in California with a Best's Insurance Guide rating of "B" or better ("A" rated if Company is unlicensed) which provides evidence of comprehensive and general liability coverage in the amount of \$1,000,000 combined single limit, with policy endorsements as follows:

- (1) Identification of permit applicant, identification of event, date of event.

NOTE: NUMBERS 2 AND 3 MUST BE SEPARATE ENDORSEMENTS:

- (2) The City of Chico, its officers, boards and commissions, and members thereof, its employees and agents are covered as additional insureds as respects to any liability arising out of the activities of the named insured.
- (3) The insurance coverages afforded by this policy shall be primary insurance as respects to the City of Chico, its officers, employees, or agents. Any insurance or self-insurance maintained by the City of Chico, its officers, employees, or agents shall be in excess of the insurance afforded to the named insured by this policy and shall not contribute to it.
- (4) An unqualified statement that "The insurer will provide the City at least ten (10) days prior notice of cancellation or material change in coverage", standard Certificate of Insurance cancellation language is not acceptable

Please Note: Your reservation may be cancelled if the insurance is not approved at least two weeks prior to the scheduled event

SECTION 5 - ACCEPTANCE OF CONDITIONS

In signing this Permit, I agree to indemnify and hold the City of Chico and/or the Bidwell Park and Playground Commission free and clear of all claims of damage for injury to persons or property occurring in, upon or about Bidwell Park, and arising from my use of the park as noted above, and to defend any action against the City of Chico resulting from any such claim, without cost to the City.

*I certify that I have read this application thoroughly, followed any and all instructions, understand its contents, will comply with the attached "Conditions for Park Use", will adhere to any additional conditions set forth by this permit, and supplied true and correct information herein to the best of my knowledge and belief.

X [Signature] X 04/29/2010
Signature of Applicant Date

RETURN THIS FORM TO:

City of Chico - Park Division
965 Fir Street
Chico, CA 95928
email to Parkinfo@chicoca.gov

THIS RESERVATION IS NOT VALID UNTIL APPROVED BY THE PARK DIVISION.
A copy of the approved application will be returned to you.

SECTION 6 – GENERAL SERVICES DIRECTOR AUTHORIZATION

I certify that I have carefully reviewed this application pursuant to Title 12 and 12R of the Chico Municipal Code and hereby recommend that this permit be:

- Approved.
- Approved subject to listed additional condition(s) _____
- Denied by the General Services Director. Reason: _____
- Application fee waived (12R.08.100 CMC). Reason: _____
- Reservation fee waived (12R.08.250 CMC). Reason: _____
- Vendor fee waived (12R.08.250 CMC). Reason: _____
- Insurance fee waived (12R.08.240 CMC). Reason: _____
- Damage deposit fee waived (12R.08.260 CMC). Reason: _____
- Application approved by the Bidwell Park & Playground Commission. Date: _____
- Application denied by the Bidwell Park & Playground Commission. Reason: _____

Signature of Park and Natural Resources Manager Date

EVENT INFORMATION

Please answer the following questions by circling "Yes" or "No"

Is this an annual event? How many years have you been holding this event? <u>5th Year</u>	Yes <input checked="" type="checkbox"/>	No
Is there a patron admission, entry, or participant fee(s) required for your event?	Yes <input checked="" type="checkbox"/>	No
Will there be amplified sound/music at event? (Please see 'Conditions For Park Use') Specify type (microphone, band, radio, PA system etc): <u>PA system at start/finish</u>	Yes <input checked="" type="checkbox"/>	No
When will amplified sound/music be heard? Time from: <u>7:30 a.m.</u> until: <u>1 p.m.</u> amps needed (<i>15 or 100</i>) _____ Note: 100 amp electrical service requires a certified electrician to operate.		
Will there be any entertainment apparatus? (Operator to provide proof of insurance) [] Bounce house [] Climbing wall [] Ropes Course [] Other: _____ Name of Operator: _____	Yes	No <input checked="" type="checkbox"/>
Will there be any vendors at this event? (No glass or alcohol permitted) If "yes" please note the number of vendors anticipated: <u>6-10</u> (submit a, separate, complete list) Does your event include food concession and/or preparation areas? If yes, please describe how food will be served and/or prepared: <u>Vendors will be providing health information and/or education. Most (if not all) will be hospital representatives. No selling or soliciting for business.</u>	Yes <input checked="" type="checkbox"/>	No
Will event require that any part of the Park remain closed beyond the normal time of opening? Note: Park gates will not remain closed beyond normal opening time for any event with less than 1,000 people. All races with less than 1,000 people at One Mile must start before 8:30am. (Subject to approval by the General Services Department Director and/or Senior Park Ranger.) If "yes" please state which gate(s): _____ Time of closure from: _____ until: _____	Yes	No <input checked="" type="checkbox"/>
Will there be early entrance into the Park for setup? If "yes" when will monitors be at their position(s)? Time from: <u>6 a.m.</u> until: <u>9 a.m.</u> Note: Gate Monitors are required at the entrances and exits for early Park entrance. An additional fee may be charged for early entrance	Yes <input checked="" type="checkbox"/>	No
Will event require over night camping for security purposes? (authorized for a maximum of two people, 12R.04.340 CMC) If "yes" how many security personnel will be required?	Yes	No <input checked="" type="checkbox"/>
Portable Restrooms: You are required to provide portable restroom for events with 200+ participants at your event, in the immediate area of the event site which will be available to the public during your event. Restroom Company <u>Johnny on the Spot</u> Phone Number <u>(530) 893-5687</u> Location of portable restrooms <u>One Mile picnic area parking lot</u> Note: Restrooms shall be removed within 24 hours after conclusion of event.	Yes <input checked="" type="checkbox"/>	No
Sanitation and Recycling: As an event organizer, you must properly dispose of waste and garbage throughout the term of your event and immediately upon conclusion of the event the area must be returned to a clean condition. <i>For events with 200+ participants, additional trash and recycling cans are required.</i> Number of Trash Cans <u>2</u> Number of Recycling Containers <u>2</u> Sanitation Company <u>Event Organizers</u> Phone Number <u>(530) 332-7329</u> Note: Sanitation containers shall be removed within 24 hrs after conclusion of event.	Yes <input checked="" type="checkbox"/>	No
Will your event include the use of any signs, banners or decorations? (Please see 'Conditions For Park Use') If yes, please describe type and location: <u>Mile Markers, Cones, Directional Arrows, Signage at One Mile Picnic Area</u> Note: All signs and banners shall be free standing and not affixed to Park property.	Yes <input checked="" type="checkbox"/>	No
Will water be needed during your event? Please provide your own hose and on/off switch. No hose bib is available at One Mile Recreation Area. Note: Please request a water coupler key for City Plaza, Children's Playground, and Cedar Grove.	Yes	No <input checked="" type="checkbox"/>
Do you request irrigation to be turned off before and during your event?	Yes <input checked="" type="checkbox"/>	No
CITY PLAZA DRIVE Vehicles are not allowed in City Plaza. Loading and unloading must occur from the side of the lot. Only one job permit is allowed in the City Plaza. Call (530) 896-7300.		
Will vendors be placed on the perimeter sidewalks? If yes, a Vend, Peddle, Hawk permit must be obtained from the Engineering Division at 411 Main St, Chico, (530) 879-6900.	Yes	No <input checked="" type="checkbox"/>
Will City street closure(s) be needed? A separate permit must be obtained from the Engineering Division at 411 Main Street, Chico, (530) 879-6900.	Yes	No <input checked="" type="checkbox"/>



DATE: August 17, 2018

TO: Bidwell Park and Playground Commission

FROM: Kimber Gutierrez, Associate Planner (879-6810, kimber.gutierrez@chicoca.gov)

RE: Advisory Review of Setback Reduction for Schlund Property (APN 004-094-025)

RECOMMENDATION

Planning staff recommends that the Bidwell Park and Playground Commission (BPPC or Commission) conduct an advisory review of the project, providing comments to staff and the applicant.

BACKGROUND

This is an applicant's request for an advisory review of a reduced side yard setback on a parcel adjacent to Lower Bidwell Park. Pursuant to the City's adopted Bidwell Park Sphere of Influence policy, advisory review is required for projects located within 1,000 feet of Upper Park and immediately adjacent to Lower Park. The project, herein identified as the Schlund Property, is located at 227 Orient Street where Orient transitions into East 1st Street (APN 004-094-025), adjacent to the Annie's Glen entrance (see Location Map, **Attachment 1**).

For properties zoned R-1 (Low Density Residential), the standard rear yard setback is 15 feet, and the standard side yard setback is 4 feet.

Through a series of land divisions and modifications, outlined below, the Schlund Property contains a 20-foot side yard setback from the property line adjacent to Annie's Glen. Annie's Glen contains a pathway from East 1st Street and Orient Street, along Big Chico Creek, which serves as an entrance and access point to Bidwell Park. On 08/21/08, the Planning Commission approved Parcel Map 08-01 (Orr/McCrady), which was the original approval creating the 20-foot setback from Bidwell Park. However, due to the unique lot configuration and orientation, the property line adjacent to Bidwell Park had a 20-foot setback because it was considered the rear property line of the current east-adjacent parcel, APN 004-094-026, (see Parcel 1 of Parcel Map 08-01, **Attachment 2**). On 05/10/12, the Map Advisory Committee approved Boundary Line Modification 12-02 (McLaughlin), which realigned the shared property line between the two parcels, encompassing a portion of the property line adjacent to Bidwell Park. This modification created the current Schlund Property configuration with the parcel's frontage on Orient Street. The modification further resulted in the previously conditioned 20-foot rear yard setback becoming a 20-foot side yard setback (see Boundary Line Modification 12-02 Staff Report, **Attachment 3**).

The applicant is requesting to reduce the conditioned 20-foot setback to the standard four-foot side yard setback in order to increase the buildable space of the parcel (see Building Setback Exhibit, **Attachment 4**). Final action on the project application will be taken by the appropriate review authority (Planning Commission or Map Advisory Committee) at a later date, with all comments and feedback from the BPPC's review provided as an attachment to the staff report.

DISCUSSION

Chico's General Plan and Land Use Regulations allow and encourage infill development. Per the conditioned Boundary Line Modification, any home or improvements constructed on the subject parcel is subject to administrative site design and architectural review; the City therefore has the ability to review architecture, lighting, fencing, massing, window placement, and other design factors which would affect compatibility of the project with the existing neighborhood.

While the Commission can comment on any aspect of the project deemed relevant, staff recommends that the Commission focus its comments on the request for a reduced side yard setback. Planning staff finds the request supportable for several reasons, including the proposed distance from the existing pathway, the increase in Park security (i.e., eyes on the Park), and the lack of gathering areas in this section of the Park. As shown in the building perspectives included as **Attachment 5**, the proposed reduction in setback would place the new home within the same distance from the Park pathway as the adjacent property thus preserving the openness of the Park entrance. Since no gathering areas are located along this portion of the pathway and Park, having an active use would deter undesirable activities in this area.

Please provide a recommendation, as well as any other items the Commission deems pertinent, so that they can be considered when final action is taken.

DISTRIBUTION

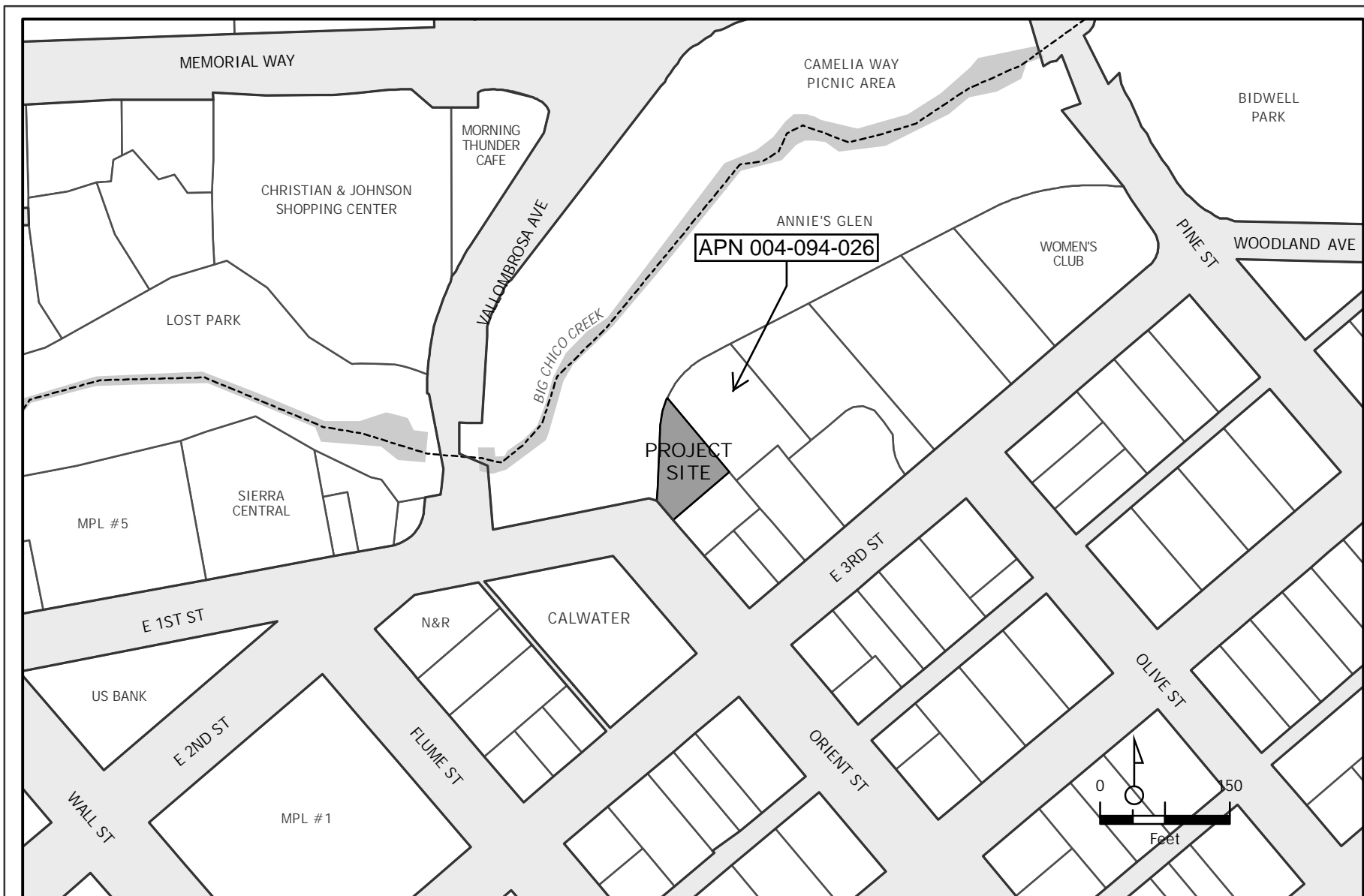
BPPC Distribution
Kimber Gutierrez, Associate Planner
Brendan Vieg, Deputy Director
Bruce Ambo, Principal Planner

External

Rolls, Anderson and Rolls, Attn: Herb Votaw, 115 Yellowstone Drive, Chico, CA 95973,
Email: hv@rarcivil.com
Jim Schlund, Email: jschlund@nsradiology.com
Kurt Jorgensen, Email: kurtjorgarch@gmail.com

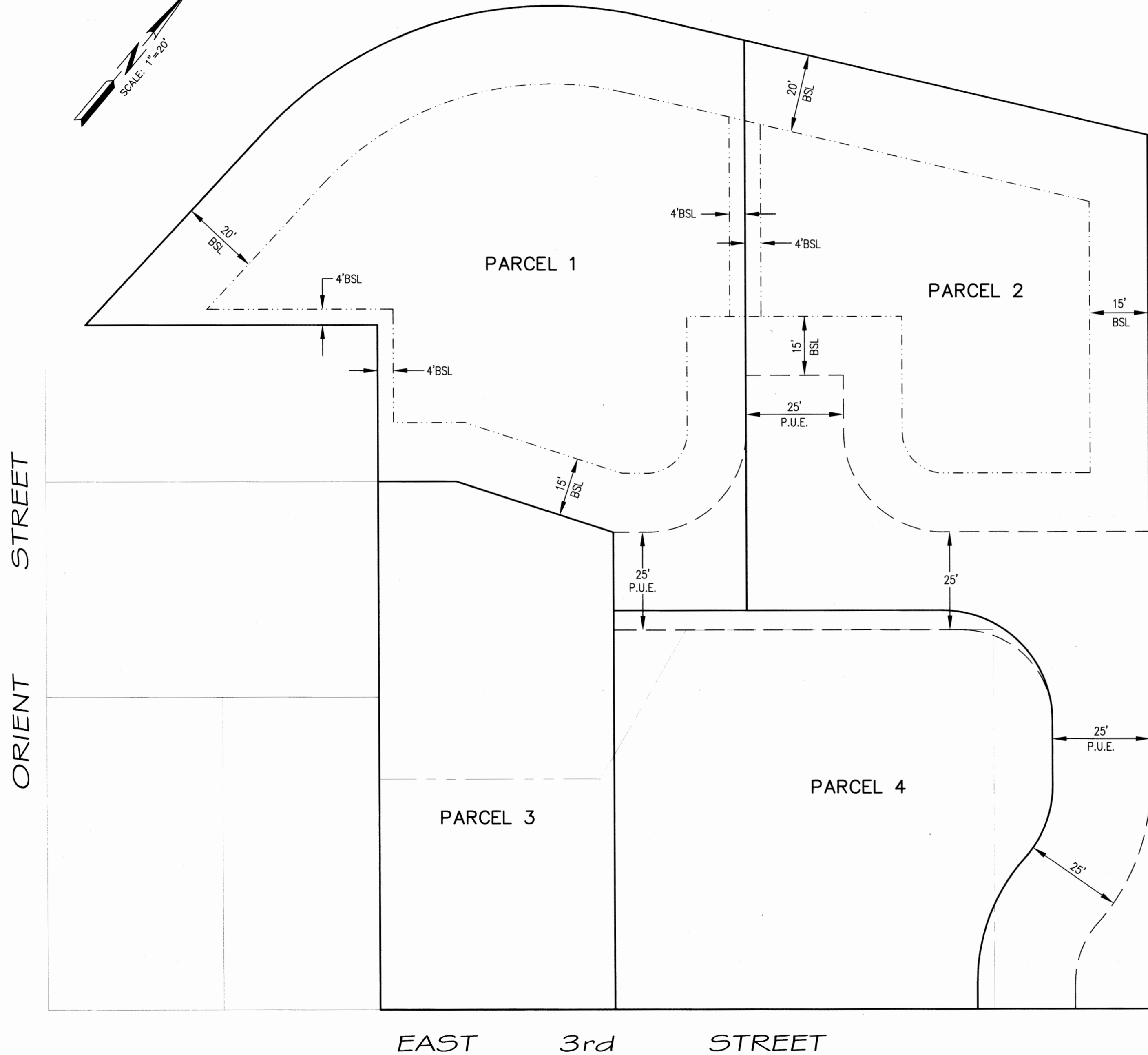
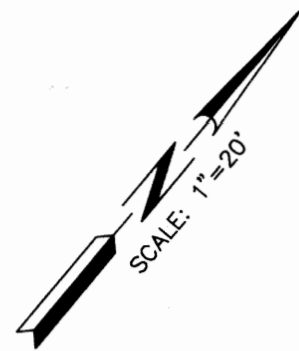
ATTACHMENTS

1. Location Map
2. Parcel Map 08-01
3. Boundary Line Modification 12-02 Staff Report
4. Building Setback Exhibits
5. Building Perspectives



Setback Reduction for Schlund Property
227 Orient Street
APN 004-094-025-000





NOTES

1. IN ACCORDANCE WITH THE PROVISIONS OF THE CHICO MUNICIPAL CODE, A TRANSPORTATION FACILITY FEE, PARK FACILITY FEE, AND BUILDING AND EQUIPMENT FEE MAY BE ASSESSED AND LEVIED UPON THE OWNER OF ANY LOT OR PARCEL WITHIN THIS SUBDIVISION AT THE TIME A NEW BUILDING OR STRUCTURE IS CONSTRUCTED ON SUCH LOT OR PARCEL, AT THE TIME AN ALTERATION OR ADDITION IS MADE TO AN EXISTING BUILDING OR STRUCTURE CONSTRUCTED ON SUCH LOT OR PARCEL WHICH RESULTS IN THE EXPANSION OF BUILDING OR STRUCTURE, OR AT THE TIME OF A CHANGE IN USE OF AN EXISTING BUILDING OR STRUCTURE CONSTRUCTED ON THE LOT OR PARCEL. IN ADDITION, A STORM DRAINAGE FACILITY FEE MAY BE ASSESSED AND LEVIED UPON THE OWNER OF ANY LOT OR PARCEL WITHIN THIS SUBDIVISION AT THE TIME SUCH LOT OR PARCEL IS FIRST USED FOR ANY RESIDENTIAL OR NONRESIDENTIAL PURPOSE, AT THE TIME THE AREA OF THE LOT OR PARCEL DEVOTED TO SUCH RESIDENTIAL OR NONRESIDENTIAL USE IS EXPANDED, OR AT THE TIME OF A CHANGE IN THE USE OF THE LOT OR PARCEL.

SUCH TRANSPORTATION FACILITY FEE, PARK FACILITY FEE, BUILDING AND EQUIPMENT FEE AND STORM DRAINAGE FACILITY FEE WILL BE CALCULATED FROM THE SCHEDULE OF SUCH FEES ADOPTED BY RESOLUTION OF THE CITY COUNCIL AND IN EFFECT ON THE DATE OF APPROVAL OF SUCH FINAL MAP OR PARCEL MAP, TOGETHER WITH ANY ADJUSTMENTS TO SUCH SCHEDULES OF FEES MADE IN ACCORDANCE WITH THE PROVISIONS OF THE CHICO MUNICIPAL CODE SUBSEQUENT TO THE DATE OF APPROVAL OF THE FINAL MAP OR PARCEL MAP TO ACCOUNT FOR ANY CHANGES IN THE TYPE OR EXTENT OF TRANSPORTATION FACILITIES, PARK FACILITIES, BUILDINGS AND EQUIPMENT AND/OR STORM DRAINAGE FACILITIES WHICH WILL BE REQUIRED AS A RESULT OF THE DEVELOPMENT AND/OR USE OF REAL PROPERTY DURING THE PERIOD UPON WHICH SUCH FEES ARE BASED, ANY CHANGE IN THE ESTIMATED COST OF THE TRANSPORTATION FACILITIES, PARK FACILITIES, BUILDINGS AND EQUIPMENT AND/OR STORM DRAINAGE FACILITIES UPON WHICH SUCH FEES ARE BASED, OR ANY CHANGE IN THAT PORTION OF THE ESTIMATED COST OF SUCH TRANSPORTATION FACILITIES, PARK FACILITIES, BUILDINGS AND EQUIPMENT AND/OR STORM DRAINAGE FACILITIES WHICH CANNOT BE FUNDED FROM REVENUE SOURCES AVAILABLE TO THE CITY OTHER THAN SUCH FEES.

2. THE SUBDIVIDER SHALL PREPARE AND RECORD THE NECESSARY DOCUMENTS TO ADDRESS THE MAINTENANCE OF COMMON JOINT-USE FACILITIES SERVING PARCELS 1, 2 AND 4.

ADDITIONAL INFORMATION SHEET
VESTING PARCEL MAP
 (NO. 08-01)

FOR
PAT ORR / MICHAEL McCRADY

LOT 2 AND A PORTION OF LOT 3 OF THE "GLEN PARK SUBDIVISION" RECORDED IN BOOK 72 OF MAPS, AT PAGES 100-101, CITY OF CHICO, COUNTY OF BUTTE, STATE OF CALIFORNIA

ROLLS ANDERSON & ROLLS
 CIVIL ENGINEERS
 115 YELLOWSTONE DRIVE - CHICO, CALIFORNIA 95973-5811

MAY, 2009 07193 SHEET 3 OF 3

Book 177 Page 81



CITY OF CHICO MEMORANDUM

*Approval 20
Vanya absent.
Condition 2.D.iii
modified.*

TO: Map Advisory Committee (Mtg. 5/10/12) DATE: May 3, 2012
FROM: Greg Redeker, Associate Planner (x6810) FILE: BLM 12-02
SUBJECT: Boundary Line Modification 12-02 (McLaughlin)
Orient and E. 3rd Streets, APNs 004-094-001 & -020

REQUEST

A request to modify the boundary between two undeveloped properties comprising 18,712 s.f. located to the south of Annie's Glen (see Location Map, **Attachment A**). The proposal would increase the size of the resultant parcel accessed from Orient Street, making it more easily developed with a single-family residence (see Plat, **Attachment B**). The property is designated Low Density Residential on the City of Chico General Plan Diagram, and is located in the R1 zoning district (Low Density Residential).

BACKGROUND/ANALYSIS

The proposed shift in property lines would allow for easier development of Resultant Parcel B (6,242 s.f.), while still maintaining adequate developable area for Resultant Parcel A (12,470 s.f.). Because the majority of the property involved in the BLM was created as Lot 1 of PM 08-01, and because Lot 1 was subject to several development restrictions related to its adjacency to Bidwell Park, those restrictions are recommended as conditions of approval for the BLM (see Development Conditions, **Attachment C**). Staff has determined that this project does not require advisory review by the Bidwell Park and Playground Commission as set forth in the Bidwell Park Sphere of Influence Policy adopted by the City Council in 2007; however, pursuant to the Policy, the MAC should make every effort to minimize adverse impacts upon Bidwell Park. All frontage improvements are installed for Parcel B. Parcel A, as a flag lot, has no frontage to speak of, but the accessway improvements are installed.

RECOMMENDATION

Staff recommends that the Committee determine the project is categorically exempt pursuant to California Environmental Quality Act Section 15305 (Minor Alterations in Land Use Limitation) and approve Boundary Line Modification 12-02 (McLaughlin) subject to the following conditions of approval:

1. Prior to recording the certificate of compliance the applicant shall provide the Planning Services Department with revised plats and legal descriptions of the resultant lots which reference BLM 12-02, subject to review and approval by the Building and Development Services Director.
2. Development on both resultant parcels shall be subject to the following restrictions (adapted from conditions of approval #7 and #9 of PM 08-01):
 - A. All trees shall be preserved, with the exception of the double-trunk Black Walnut on Parcel B. Construction fencing shall be installed around the driplines of all trees to be preserved prior to any construction. Any grading or trenching within the dripline of any tree to be preserved shall be analyzed by a certified arborist. No tree to be preserved shall

be removed prior to construction without the prior written authorization of the Planning Services Department.

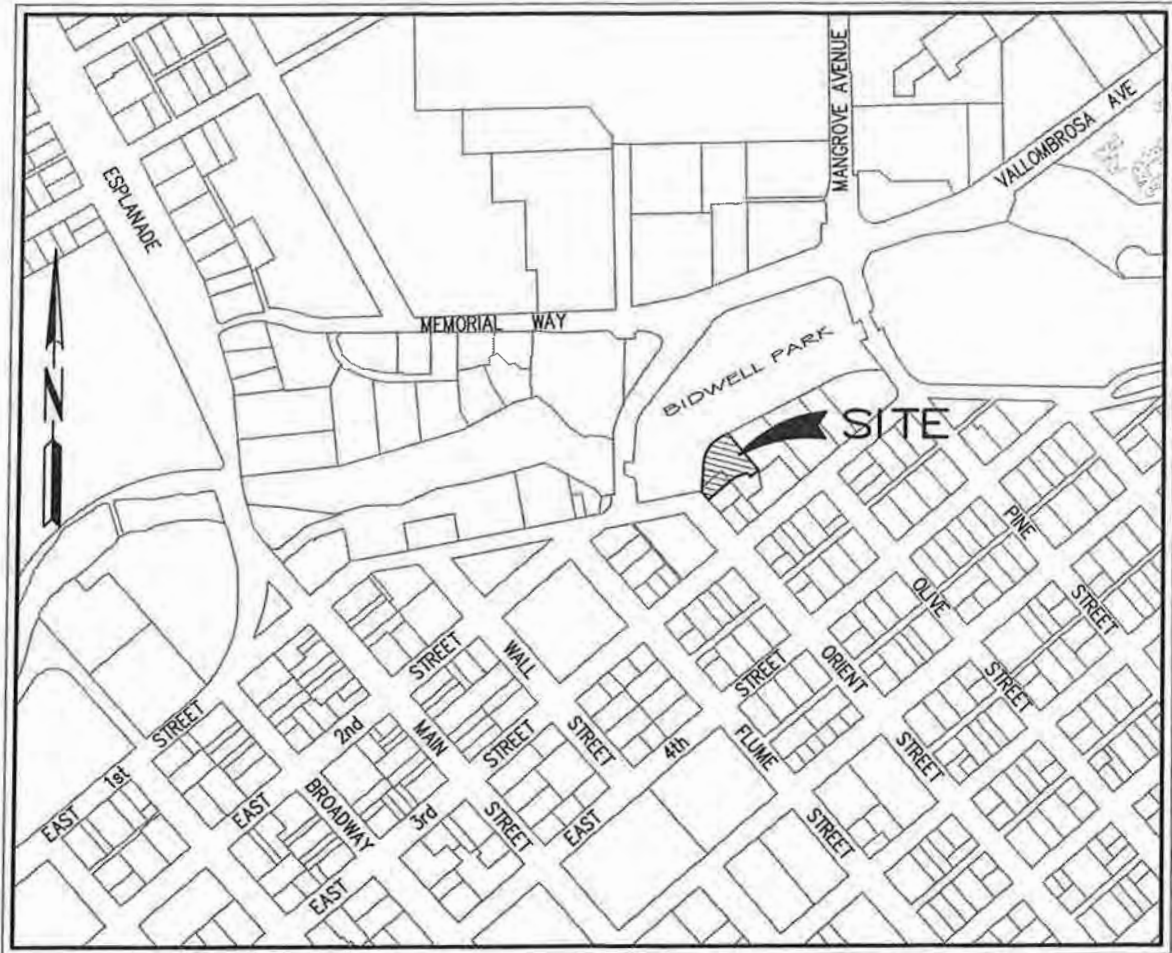
- B. The homes and improvements constructed on Parcels A and B shall be subject to administrative site design and architectural review, as well as all other standards contained in CMC 19.76.180, Infill Residential Flag Lots (Parcel A only). Items to be addressed through site design and architectural review shall include the following:
- i. Lighting on Parcels A & B shall be shielded to minimize any light into Bidwell Park.
 - ii. A setback of 20 feet from the Bidwell Park boundary shall be required for primary structures on Parcels A & B.
 - iii. The colors of the new homes on Parcels ^{A B} 1 and 2 shall be compatible with neighboring homes.
 - iv. Fencing between Parcels A & B and Bidwell Park shall be wrought iron with adjacent native plants on the private property side.
 - v. Gates shall be allowed in the fence of Parcels A & B leading to Bidwell Park, although no formal path improvements within the park boundaries will be authorized.
 - vi. Additional detailing shall be given to all sides of the homes built on Parcels A & B.
 - vii. If a higher ground level floor is needed to comply with flood level restrictions, it shall be accomplished with a raised floor. Slab-on-grade construction atop a small graded rise shall not be acceptable.

Attachments

- A. Location map
- B. Plat
- C. Development Conditions (from PM 08-01)

cc: Ed McLaughlin, 2555 Durham Dayton Highway, Durham, CA 95938
Bruce Nash, Rolls, Anderson & Rolls, 115 Yellowstone Drive, Chico, CA 95973
BLM 12-02

X:\Staff Folders\gcr\BLMs\BLM 12-02 McLaughlin\MAC report rev1.wpd



LOCATION MAP

NO SCALE

ZONING

EXISTING: R-1
 PROPOSED: R-1

LAND USE

EXISTING: VACANT
 PROPOSED: VACANT

CHECKED: _____

APPROVED: _____

DATE: _____



04-16-12

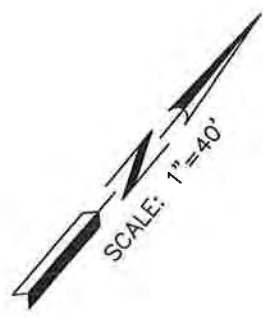
EXHIBIT "B"
BOUNDARY LINE MODIFICATION 12-__

FOR
ED McLAUGHLIN



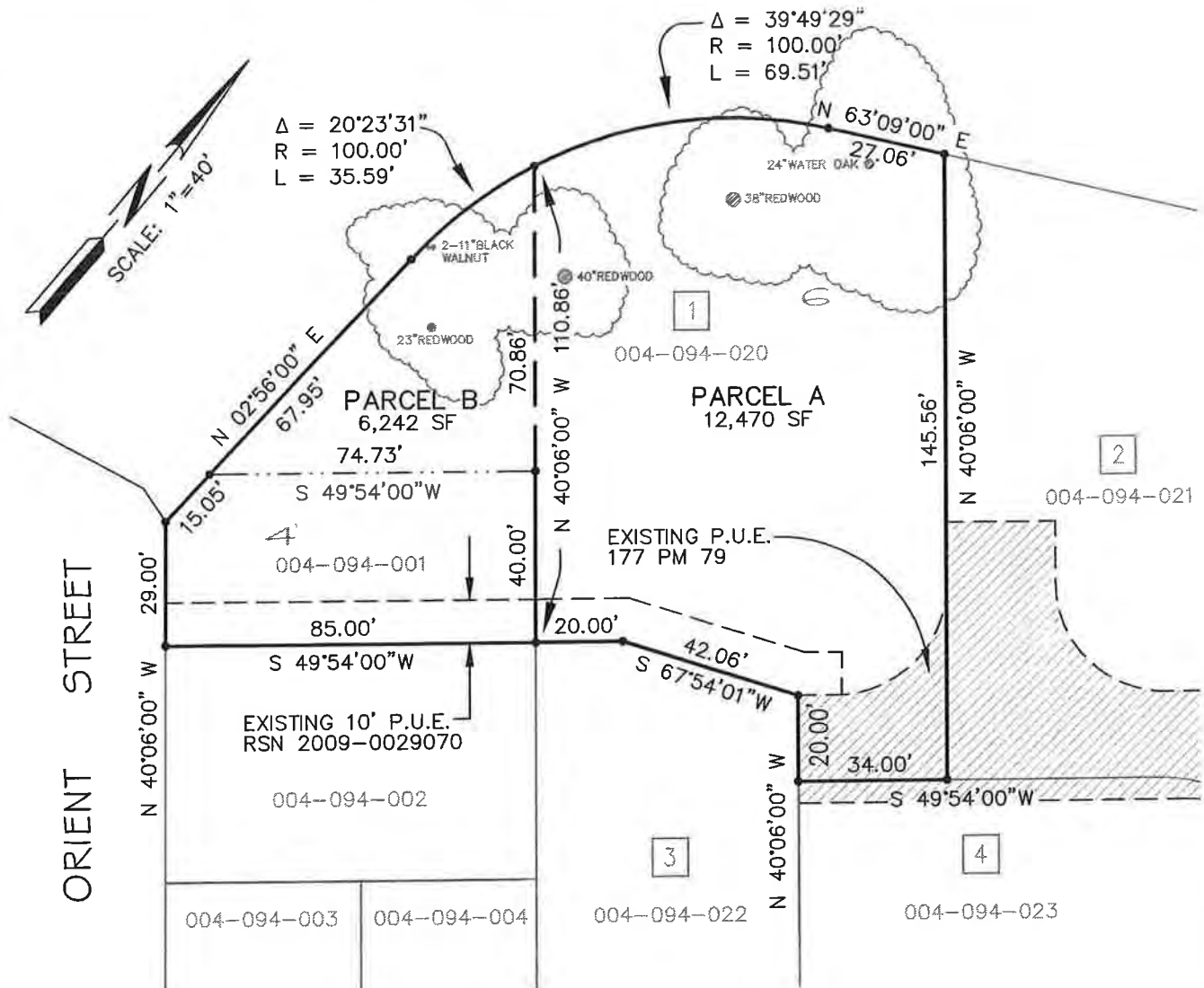
APRIL, 2012

Attachment 3
ATTACHMENT A



$\Delta = 20^{\circ}23'31''$
 $R = 100.00'$
 $L = 35.59'$

$\Delta = 39^{\circ}49'29''$
 $R = 100.00'$
 $L = 69.51'$



LEGEND

- PROJECT BOUNDARY/EXISTING PROPERTY LINE
- PROPOSED NEW PROPERTY LINE
- EXISTING PROPERTY LINE TO BE ELIMINATED
- LOT NUMBER PER BOOK 177 MAPS, PAGE 79
- BOUNDARY ANGLE POINT
- LOT NUMBER PER BOOK 9 MAPS, PAGE 12
- P.U.E. PUBLIC UTILITY EASEMENT
- RSN RECORDER'S SERIAL NUMBER
- 004-094-001 ASSESSOR'S PARCEL NUMBER
- EXISTING TREE

NOTES

1. OFF-STREET PARKING WILL NOT BE AFFECTED BY THIS BOUNDARY LINE MODIFICATION.
2. NO TREES WILL BE REMOVED AS A RESULT OF THIS BOUNDARY LINE MODIFICATION.
3. THERE ARE NO PROPOSED IMPROVEMENTS ASSOCIATED WITH THIS BOUNDARY LINE MODIFICATION.
4. THERE ARE NO WELLS, SUMPS OR SEPTIC TANKS ON THE SUBJECT PROPERTIES.

EXHIBIT "B"
BOUNDARY LINE MODIFICATION 12-__

FOR
ED McLAUGHLIN



APRIL, 2012

Attachment 3
ATTACHMENT B

EXHIBIT I CONDITIONS OF APPROVAL
Orr/McCradly Vesting Tentative Parcel Map (PM 08-01)

1. The creation and improvement of 4 parcels for new single-family residential development is authorized in substantial accord with the Orr/McCradly Vesting Tentative Parcel Map (PM 08-01) date stamped June 2, 2008, except as modified by any other condition of approval.
2. Prior to any ground-disturbing activities, including clearing, grubbing, scraping and grading of the subject site, the applicant shall conduct a pre-construction (pre-ground disturbance) site meeting with Planning staff and the supervising contractor. The purpose of the pre-construction site visit shall be verification by Planning staff that all pre-construction mitigation measures and conditions have been implemented.
3. All development shall comply with all other State and local Code provisions, as well as any applicable requirements of the Fire Department, the Building and Development Services Department, and the Planning Services Department. The developer is responsible for contacting these offices to verify the need for permits.
4. In the event that all fees have not been paid prior to recordation of the final map, the following notation shall be included on the final map:

"In accordance with the provisions of the Chico Municipal Code, a transportation facility fee, park facility fee, and building and equipment fee may be assessed and levied upon the owner of any lot or parcel within this subdivision at the time a new building or structure is constructed on such lot or parcel, at the time an alteration or addition is made to an existing building or structure constructed on such lot or parcel which results in the expansion of building or structure, or at the time of a change in use of an existing building or structure constructed on the lot or parcel. In addition, a storm drainage facility fee may be assessed and levied upon the owner of any lot or parcel within this subdivision at the time such lot or parcel is first used for any residential or nonresidential purpose, at the time the area of the lot or parcel devoted to such residential or nonresidential use is expanded, or at the time of a change in the use of the lot or parcel.

Such transportation facility fee, park facility fee, building and equipment fee and storm drainage facility fee will be calculated from the schedule of such fees adopted by resolution of the City Council and in effect on the date of approval of such final map or parcel map, together with any adjustments to such schedules of fees made in accordance with the provisions of the Chico Municipal Code subsequent to the date of approval of the final map or parcel map to account for any changes in the type or extent of transportation facilities, park facilities, buildings and equipment and/or storm drainage facilities which will be required as a result of the development and/or use of real property during the period upon which such fees are based, any change in the estimated cost of the transportation facilities, park facilities, buildings and equipment and/or storm drainage facilities upon which such fees are based, or any change in that portion of the estimated cost of such transportation facilities, park facilities, buildings and equipment and/or storm drainage facilities which cannot be funded from revenue sources available to the City other than such fees."

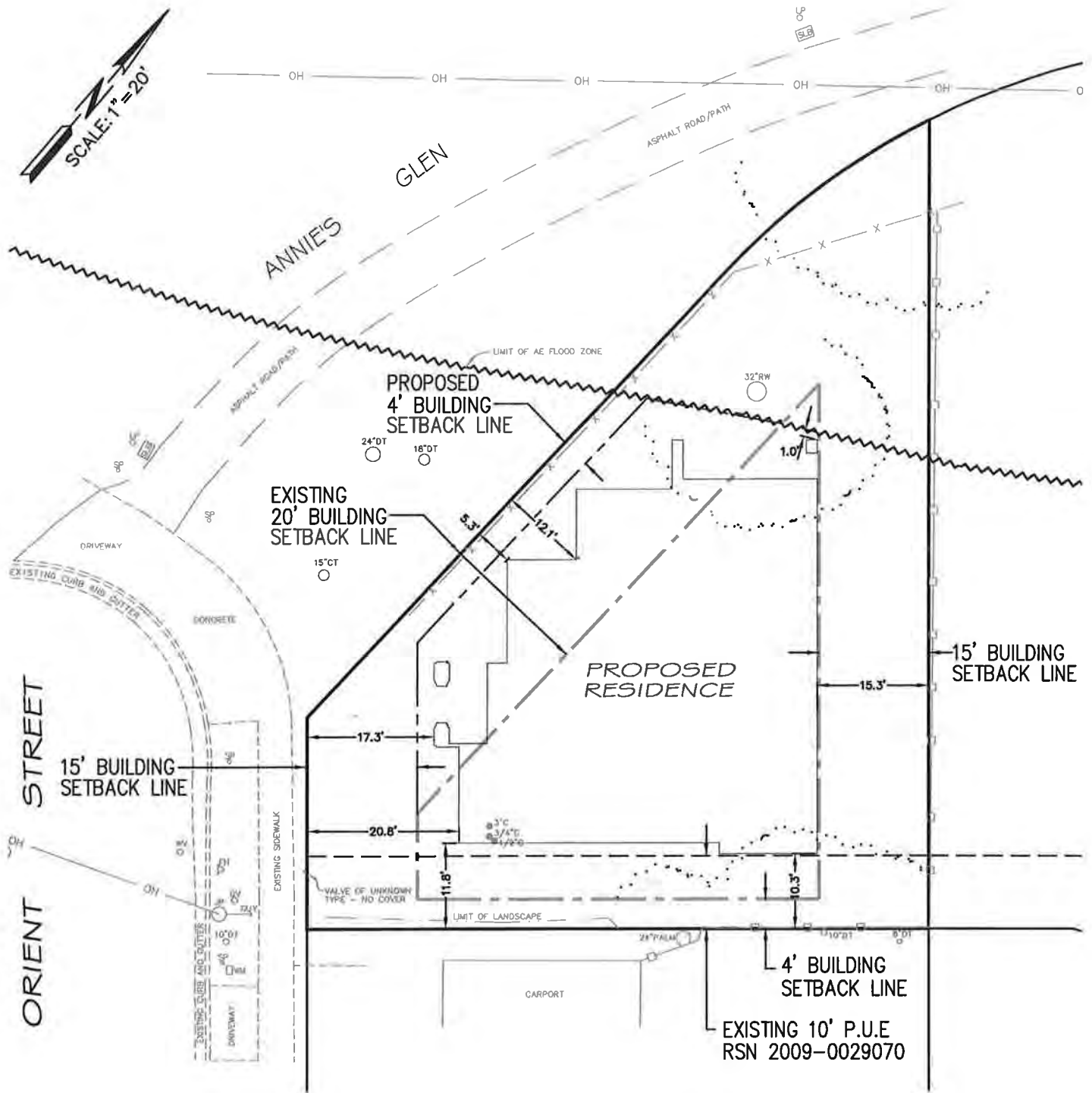
5. Prior to recording the final map, any taxes and/or assessments against the property shall be paid.
6. Impacts to school facilities within the Chico Unified School District shall be fully mitigated by payment of school impact fees to the extent permitted by State Law.
- 7. All trees shall be preserved, with the exception of the double-trunk Black Walnut on Parcel 1. Construction fencing shall be installed around the driplines of all tre

construction. Any grading or trenching within the dripline of any tree to be preserved shall be analyzed by a certified arborist. No tree to be preserved shall be removed prior to recordation of the final map without the prior written authorization of the Planning Services Department.

8. If during ground disturbing activities, any bones, pottery fragments or other potential cultural resources are encountered, the applicant or their supervising contractor shall cease all work within the area of the find and notify the City Planning Services Department. A professional archaeologist who meets the Secretary of the Interior's Professional Qualification Standards for prehistoric and historic archaeology and who is familiar with the archaeological record of Butte County, shall be retained by the applicant to evaluate the significance of the find. City Planning Services staff shall notify all local tribes on the consultation list maintained by the State of California Native American Heritage Commission, to provide local tribes the opportunity to monitor evaluation of the site. Site work shall not resume until the archaeologist conducts sufficient research, testing and analysis of the archaeological evidence to make a determination that the resource is either not cultural in origin or not potentially significant. If a potentially significant resource is encountered, the archaeologist shall prepare a mitigation plan for review and approval by the City Planning Services Department, including recommendations for total data recovery, Tribal monitoring, disposition protocol, or avoidance, if applicable. All measures determined by the Planning Services Director to be appropriate shall be implemented pursuant to the terms of the archaeologist's report. The preceding requirement shall be incorporated into construction contracts and documents to ensure contractor knowledge and responsibility for the proper implementation.

- 9. The homes and improvements constructed on Parcels 1 and 2 shall be subject to administrative site design and architectural review, as well as all other standards contained in CMC 19.76.180, Infill Residential Flag Lots. Items to be addressed through site design and architectural review shall include the following:
 - A. Lighting on Parcels 1 and 2 shall be shielded to minimize any light into Bidwell Park.
 - B. A rear yard setback of 20 feet shall be required for Parcels 1 and 2.
 - C. The colors of the new homes on Parcels 1 and 2 shall be compatible with neighboring homes.
 - D. Rear fencing between the project site and Bidwell Park shall be wrought iron with adjacent native plants on the private property side.
 - E. Gates shall be allowed in the rear yard fence of Parcels 1 and 2, leading to Bidwell Park, although no formal path improvements within the park boundaries will be authorized.
 - F. Additional detailing shall be given to all sides of the homes built on Parcels 1 and 2.
 - G. If a higher ground level floor is needed to comply with flood level restrictions, it shall be accomplished with a raised floor. Slab-on-grade construction atop a small graded rise shall not be acceptable.

10. The access lane shall be constructed with pavers or other pervious pavement.

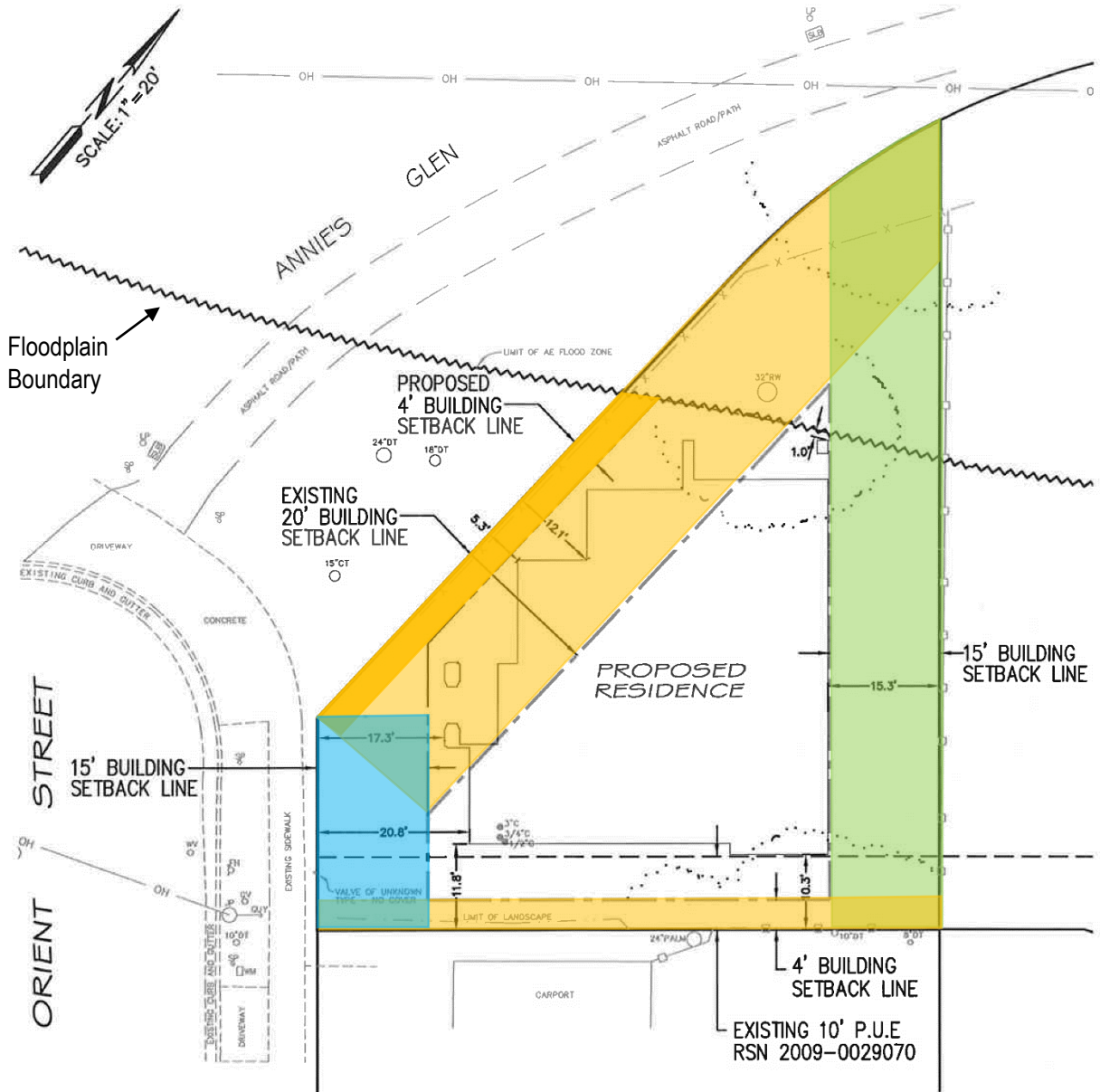


4' BSL = 2,875 SF OF BUILDABLE SPACE
 20' BSL = 1,920 SF OF BUILDABLE SPACE



BUILDING SETBACK EXHIBIT

RAR
ROLLS ANDERSON & ROLLS
 CIVIL ENGINEERS
 115 YELLOWSTONE DRIVE · CHICO, CALIFORNIA 95973-5811
 AUG., 2018 17105 SHT 1 OF 1



4' BSL = 2,875 SF OF BUILDABLE SPACE
 20' BSL = 1,920 SF OF BUILDABLE SPACE



BUILDING SETBACK EXHIBIT

- Front Setback
- Existing Side Setback
- Proposed Side Setback
- Rear Setback

RAR
ROLLS ANDERSON & ROLLS
 CIVIL ENGINEERS
 115 YELLOWSTONE DRIVE · CHICO, CALIFORNIA 95973-5811
 AUG., 2018 17105 SHT 1 OF 1

Attachment 4

James F. Schlund
1932 Wisteria Lane
Chico, California 95926
August 17, 2018

Bidwell Park & Playground Commission

Dear Chairman, Commissioners, Staff and Friends of the Park:

We are writing to ask your kindness in the consideration of a boundary setback variance.

My wife and I have lived in Chico for decades and hope to retire here. We wish to build a home for that purpose of aging gracefully in place and being a part of and contributing to this community by living downtown.

This small lot is challenged by shape, setbacks, and location and has sat vacant for decades at the interface of downtown and Annie's Glenn. In thoughtfulness to this site, we have spent a full year in consultation with neighbors, landscape architects, designers, three architects, site engineers, and soil engineers to craft and bring forward this design.

The street view and downtown interface is designed to minimize the garage and bring forward the entry porch and home presence to Orient Street. The critical interface along Annie's Glenn was sloped down to a first floor at its closest approach to the park and builds the windows above the vegetation screen canted away from the park to lend privacy. As a high performance "net-zero" energy efficient house of stone cladding, earth tone plaster, and board and batten siding with carriage accents, it should provide lasting elegance to this site with interface to downtown and the park.

In support of our plans, our neighbor has kindly commented:

"I own, and live in, the house next door to Mr. and Mrs. Schlund's property.

That lot has been a sad eyesore for a long time.

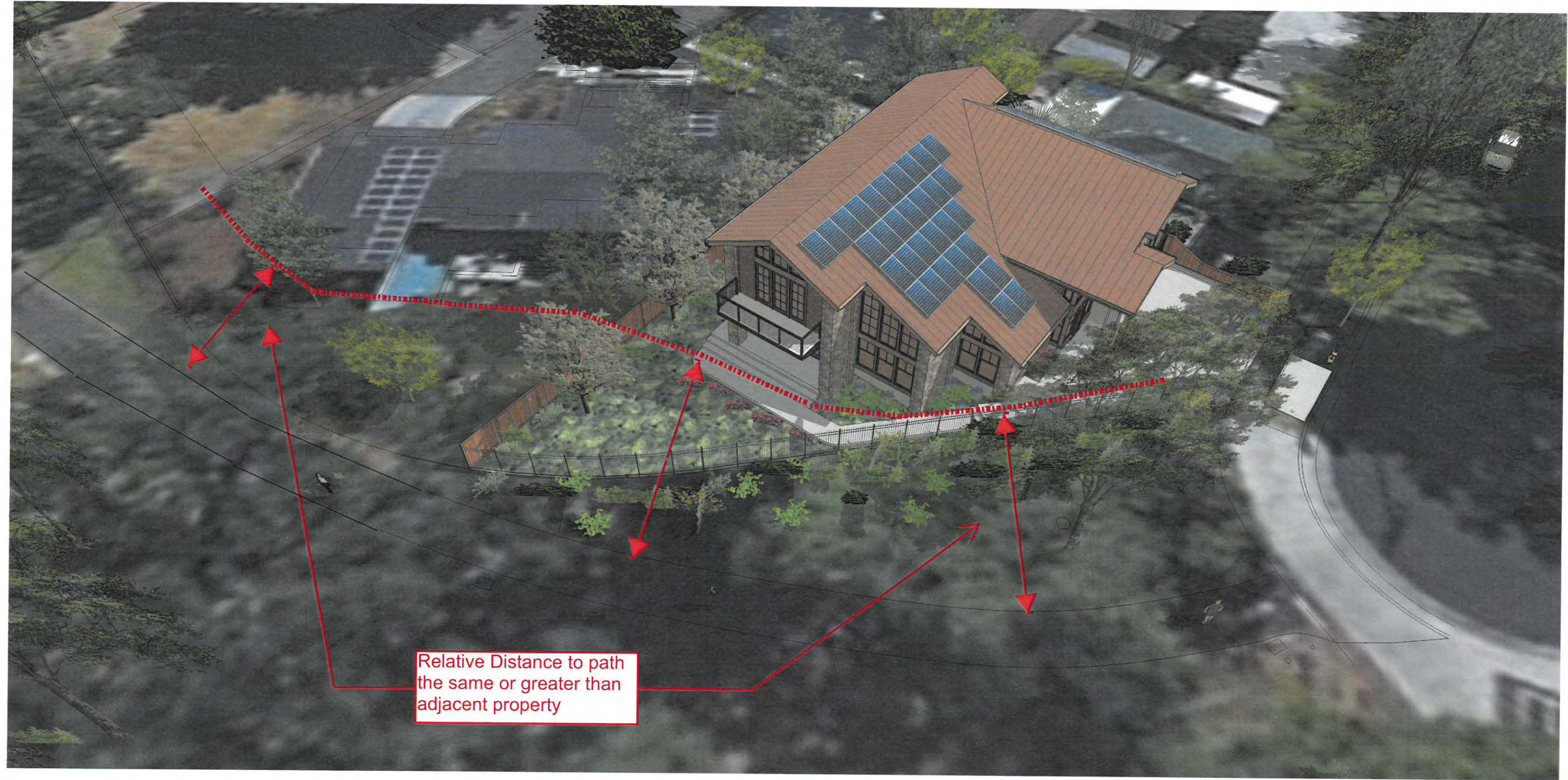
I am eager to have responsible and caring neighbors there, especially people who will be interested in seeing that Annie's Glen is a safe, beautiful, and well-maintained place for the community.

I support the proposed modifications to the setback as it adjoins the park".

This oddly shaped and orphan lot has sat vacant for not having a buildable foot print on it due to the encroachment of setbacks from all sides. We are forced by a Public Utility easement to move North by 10 feet from the South boundary. We are then required to have a 15' setback from the neighbor behind us; as our back yard is on the East side.

We are respectfully only asking for a reduction of the setback over a portion of the parcel on the side yard. The proposed home only gets to within 5' of the property line at its closest approach. This would allow for a buildable footprint on the ground and the opportunity to build a thoughtfully designed home of lasting beauty on a site that would enhance the safety and beauty of the Park and the community.

Respectfully and sincerely,
James and Kristen Schlund



Relative Distance to path
the same or greater than
adjacent property



20' setback for garage/2nd story at street

5' setback where roof lowers

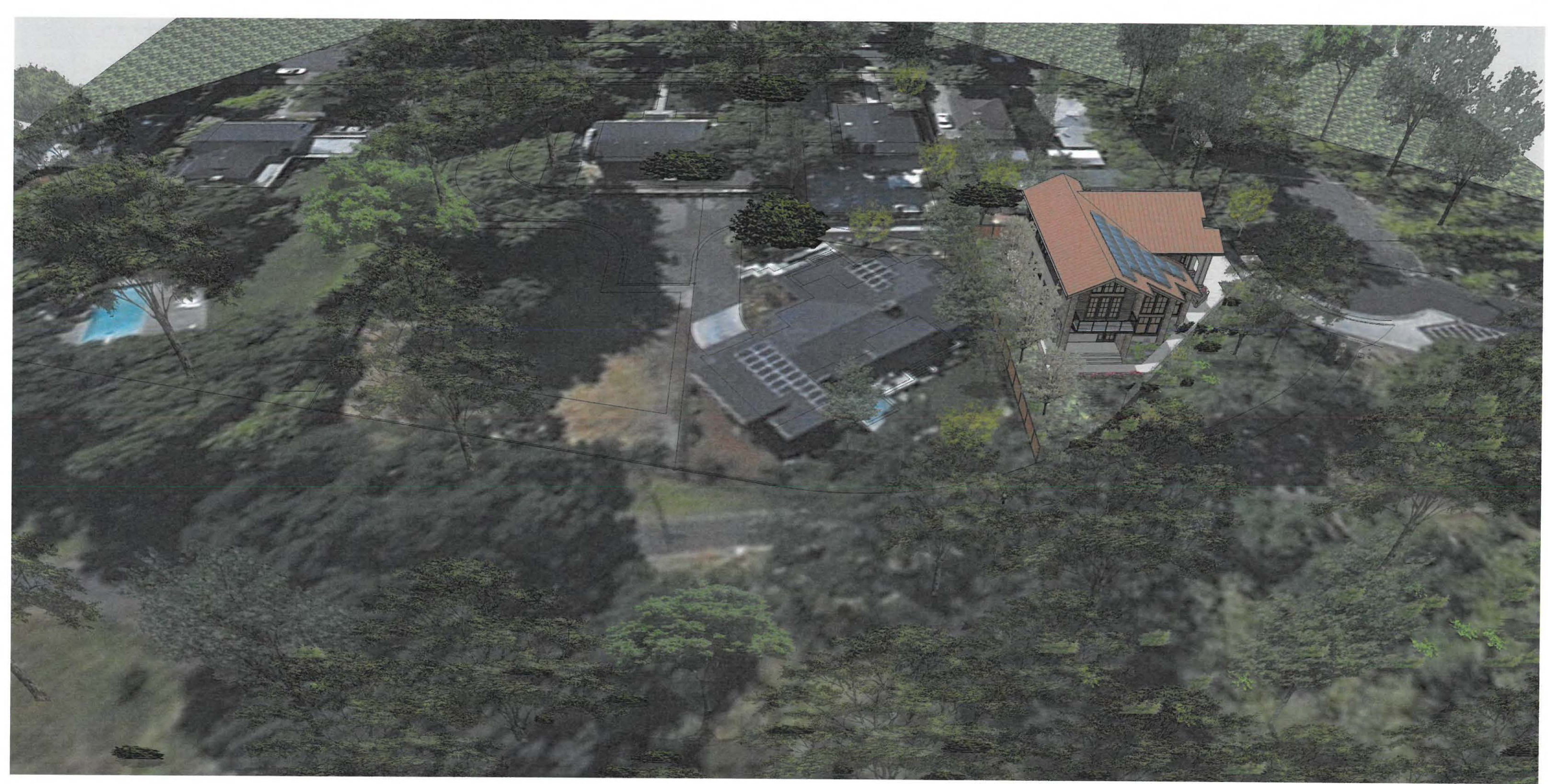
20' setback maintained this area, where path is closer to property line









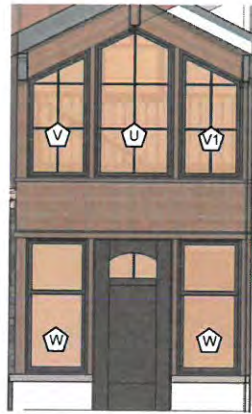












2 | **W. ELEV - ENTRY**
SCALE: 1/4"=1'-0"



1 | **WEST ELEVATION**
SCALE: 1/4"=1'-0"



3 | **NORTH ELEVATION**
SCALE: 1/4"=1'-0"

KEY NOTES

- 1 EXTERIOR PLASTER: 3 COAT STUCCO "SANTA BARBARA SMOOTH" FINISH PER STUCCO MANUFACTURER'S ASSOCIATION. COLOR-TBD.
- 2 STONE VENEER: MONTANA ROCKWORKS "COTTAGE BLEND". COLOR-CASTLE ROCK. 1/2" MORTAR JOINTS.
- 3 RAKE OR FASCIA BOARD: PREFINISHED ALUMINUM-CLAD WOOD. COLOR-TBD. SEE WALL SECTIONS FOR MORE INFO.
- 4 DOOR: SEE FLOOR PLAN FOR TYPE AND SHT. A145 FOR DOOR SCHEDULE.
- 5 9 FT. WIDE GARAGE DOOR: CLOPAY "CANYON RIDGE" INSULATED DOOR OR EQUAL.
- 6 RAIN GUTTER: PREFINISHED ALUMINUM 6" DIA. 1/2 ROUND WITH 4" DIA. DOWNSPOUT. SEE SITE PLAN FOR U/G COLLECTION SYSTEM OR DISPERSAL LOCATION.
- 7 BALCONY: GALVANIZED STEEL WITH GROUNDED FILLET WELDS. COLOR-TBD. SEE WALL SECTIONS FOR MORE INFO.
- 8 ROOF BEAM TAILS: STAIN & WATER REPELLANT-TREATED. SEE WALL SECTIONS FOR MORE INFO.
- 9 STANDING SEAM METAL ROOF: AEP SPAN "SELECT SEAM NARROW BATTEN". COLOR-TBD.
- 10 WINDOW HEADER: 3 COAT STUCCO OVER RIGID FOAM SHAPE. SEE DETAILS FOR DIMENSIONS AND CONSTRUCTION.
- 11 S.S. FLASHING: PAINTED TO MATCH ADJACENT WALL SURFACE.
- 12 WINDOW SILL OR TRIM BAND: 3 COAT STUCCO OVER RIGID FOAM SHAPE. SEE DETAILS FOR DIMENSIONS AND CONSTRUCTION.
- 13 LAP SIDING: HARDIEPLANK SMOOTH. COLOR-TBD.
- 14 STONE VENEER: VERTICAL ORIENTATION. 1" PROUD. LAP SIDING: HARDIEPLANK SMOOTH. COLOR-TBD.
- 15 SOLAR PANELS: UNDER SEPARATE PERMIT. SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

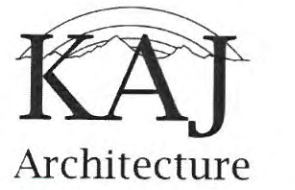
LEGEND

- A** WOOD FASCIA. COLOR T.B.D.
- B** EXTERIOR PLASTER TRIM: SEE MATERIALS SCHEDULE SHT. A901. COLOR T.B.D.
- C** CEMENTITIOUS LAP SIDING: SEE MATERIALS SCHEDULE SHT. A901
- D** EXTERIOR PLASTER BODY: SEE MATERIALS SCHEDULE SHT. A901. COLOR T.B.D.
- E** STANDING SEAM METAL ROOFING: SEE MATERIALS SCHEDULE SHT. A901
- F** FAUX STONE VENEER: SEE MATERIALS SCHEDULE SHT. A901
- A** WINDOW MILGARD " " SERIES FIXED OR OPERABLE WINDOW. SEE SCHEDULE ON SHT. A146 FOR SIZE AND TYPE.

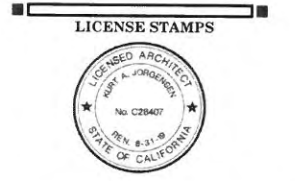
GENERAL NOTES

1. NOT ALL INSTANCES OF A MATERIAL OR ITEM IS CALLED OUT TO REDUCE CLUTTER IN DRAWING. IF IT IS SHOWN IN A DRAWING IT IS PART OF THE WORK SCOPE.
2. XXXXX
3. XXXX

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PROJECT NAME
A PROPOSED RESIDENCE FOR JIM & KRISTEN SCHLUND

201 ORIENT STREET
CHICO, CA

SHEET TITLE
EXTERIOR ELEVATIONS

DRAWING STATUS
BUILDING DEPT. SUBMITTAL FOR APPROVAL

REVISIONS

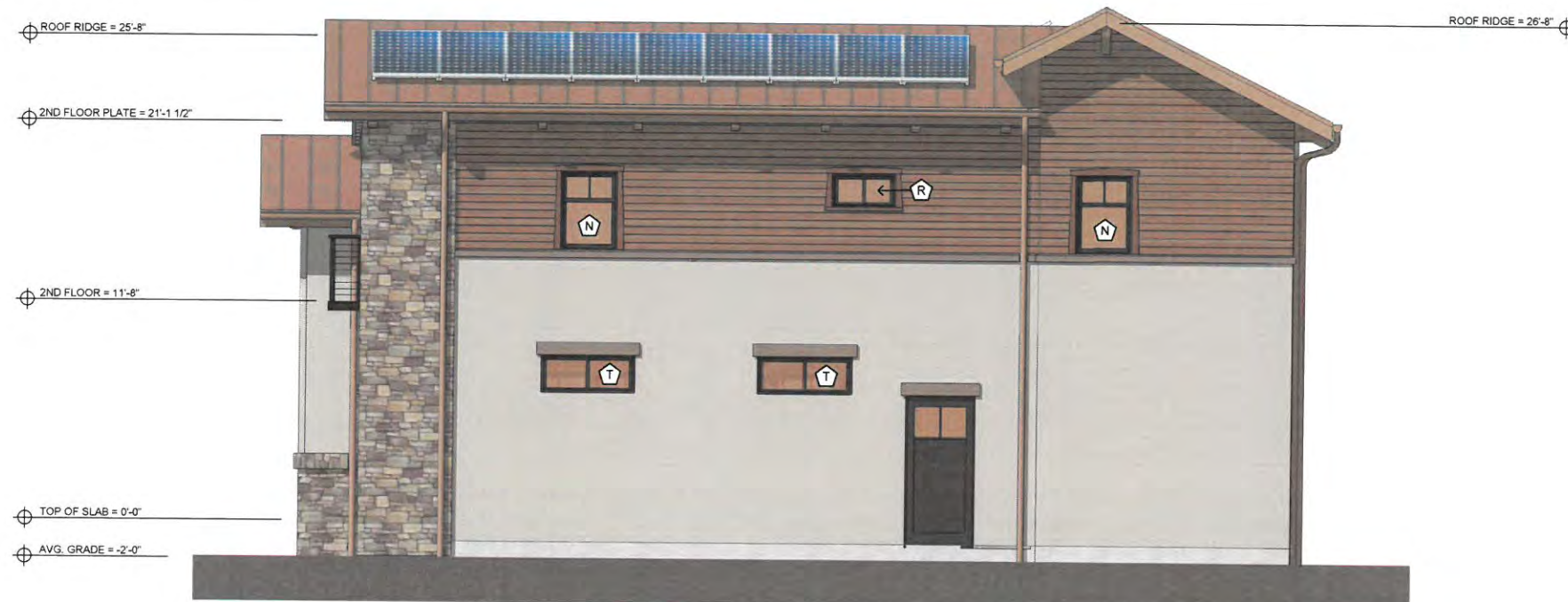
Sym.	Description	Date

Drawn By	KAJ
Checked By	
Date Drawn	2018/03/06
Scale	1/4" = 1'-0"
Job No.	17-001

SHEET No.
A301



1 EAST ELEVATION
SCALE: 1/4"=1'-0"



2 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

KEY NOTES

- 1 EXTERIOR PLASTER: 3 COAT STUCCO "SANTA BARBARA SMOOTH" FINISH PER STUCCO MANUFACTURER'S ASSOCIATION, COLOR-TBD.
- 2 STONE VENEER: MONTANA ROCKWORKS "COTTAGE BLEND", COLOR-CASTLE ROCK, 1/2" MORTAR JOINTS.
- 3 RAKE OR FASCIA BOARD: PREFINISHED ALUMINUM-CLAD WOOD, COLOR-TBD. SEE WALL SECTIONS FOR MORE INFO.
- 4 DOOR: SEE FLOOR PLAN FOR TYPE AND SHT. A145 FOR DOOR SCHEDULE.
- 5 9 FT. WIDE GARAGE DOOR: CLOPAY "CANYON RIDGE" INSULATED DOOR OR EQUAL.
- 6 RAIN GUTTER: PREFINISHED ALUMINUM 6" DIA. 1/2 ROUND WITH 4" DIA. DOWNSPOUT. SEE SITE PLAN FOR U/G COLLECTION SYSTEM OR DISPERSAL LOCATION.
- 7 BALCONY: GALVANIZED STEEL WITH GROUNDED FILLET WELDS, COLOR-TBD. SEE WALL SECTIONS FOR MORE INFO.
- 8 ROOF BEAM TAILS: STAIN & WATER REPELLANT-TREATED. SEE WALL SECTIONS FOR MORE INFO.
- 9 STANDING SEAM METAL ROOF: AEP SPAN "SELECT SEAM NARROW BATTEN", COLOR-TBD.
- 10 WINDOW HEADER: 3 COAT STUCCO OVER RIGID FOAM SHAPE. SEE DETAILS FOR DIMENSIONS AND CONSTRUCTION.
- 11 S.S. FLASHING: PAINTED TO MATCH ADJACENT WALL SURFACE.
- 12 WINDOW SILL OR TRIM BAND: 3 COAT STUCCO OVER RIGID FOAM SHAPE. SEE DETAILS FOR DIMENSIONS AND CONSTRUCTION.
- 13 LAP SIDING: HARDIEPLANK SMOOTH, COLOR-TBD.
- 14 STONE VENEER: VERTICAL ORIENTATION, 1" PROUD. LAP SIDING: HARDIEPLANK SMOOTH, COLOR-TBD.
- 15 SOLAR PANELS: UNDER SEPARATE PERMIT, SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

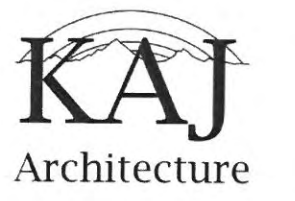
LEGEND

- A** WOOD FASCIA: COLOR T.B.D.
- B** EXTERIOR PLASTER TRIM: SEE MATERIALS SCHEDULE SHT. A901, COLOR T.B.D.
- C** CEMENTITIOUS LAP SIDING: SEE MATERIALS SCHEDULE SHT. A901
- D** EXTERIOR PLASTER BODY: SEE MATERIALS SCHEDULE SHT. A901, COLOR T.B.D.
- E** STANDING SEAM METAL ROOFING: SEE MATERIALS SCHEDULE SHT. A901
- F** FAUX STONE VENEER: SEE MATERIALS SCHEDULE SHT. A901
- N** WINDOW: MILGARD " " SERIES FIXED OR OPERABLE WINDOW, SEE SCHEDULE ON SHT. A146 FOR SIZE AND TYPE.

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CONSULTANTS

LICENSE STAMPS



PROJECT NAME

A PROPOSED RESIDENCE FOR JIM & KRISTEN SCHLUND

201 ORIENT STREET
CHICO, CA

SHEET TITLE

EXTERIOR ELEVATIONS

DRAWING STATUS

BUILDING DEPT. SUBMITTAL FOR APPROVAL

REVISIONS

Sym.	Description	Date

Drawn By	KAJ
Checked By	
Date Drawn	2018/03/06
Scale	1/4" = 1'-0"
Job No.	17-001

SHEET No.

A302



Bidwell Park & Playground Commission Report

Meeting Date 8/27/18

DATE: 8/22/18
TO: Bidwell Park and Playground Commission (BPPC)
FROM: Linda Herman, Park & Natural Resources Manager (P&NRM)
SUBJECT: CONSIDERATION OFA REQUEST TO INSTALL A COMMEMORATE WORLD WAR I (WW I) PLAQUE AND PAVERS IN CHILDREN'S PLAYGROUND.

DISCUSSION:

Staff received a proposal from the Rotary Club of Chico and the Chico Veterans of Foreign Wars (VFW) Post 1555 to donate the costs and labor to install a plaque and decorative pavers near the existing WW I monument in Children's Playground to commemorate the 100th Anniversary of the end of the war.

The proposed plaque or marker will be approximately 16" x21" to be installed on the ground behind the existing WW I monument that is located at the 1st Street entrance to Children's Playground (see picture in Attachment A). The marker will be surrounded by an approximate 11-foot diameter circle of decorative gray tone pavers. A draft site plan is depicted in Attachment B.

A rough conceptional design and the proposed wording for the marker is attached as Attachment C. The marker will also depict the VFW and Rotary logos. If approved, the groups are hoping to install the marker and pavers on Make a Difference Day on October 27, 2018.

Recommendation: The Park & Natural Resource Manager (P&NRM) requests that the BPPC approve the installation of the commemorative plaque and pavers.

Attachments:

Attachment A: Picture of existing WW I monument

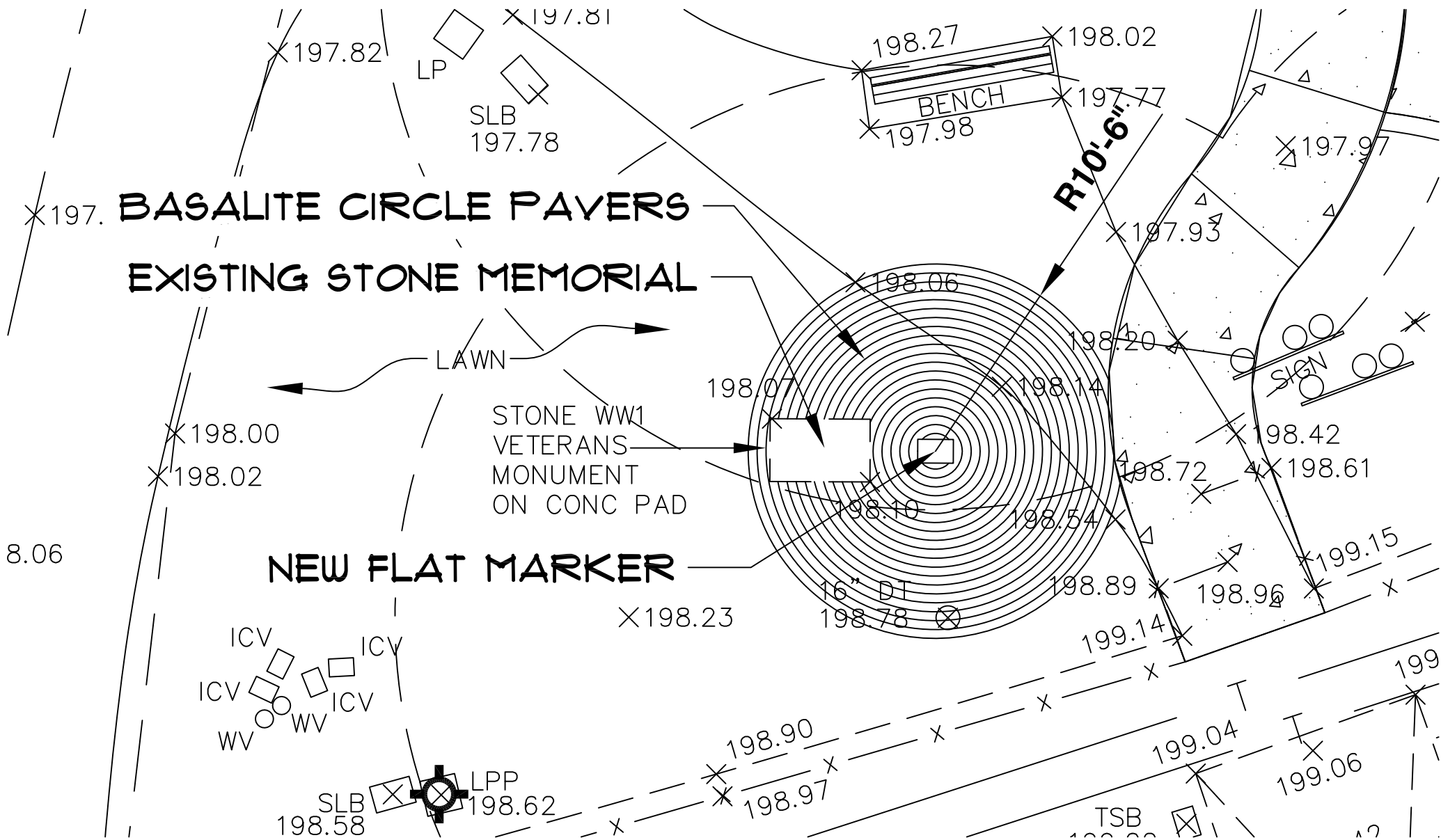
Attachment B: Proposed site plan

Attachment B: Conceptual marker design

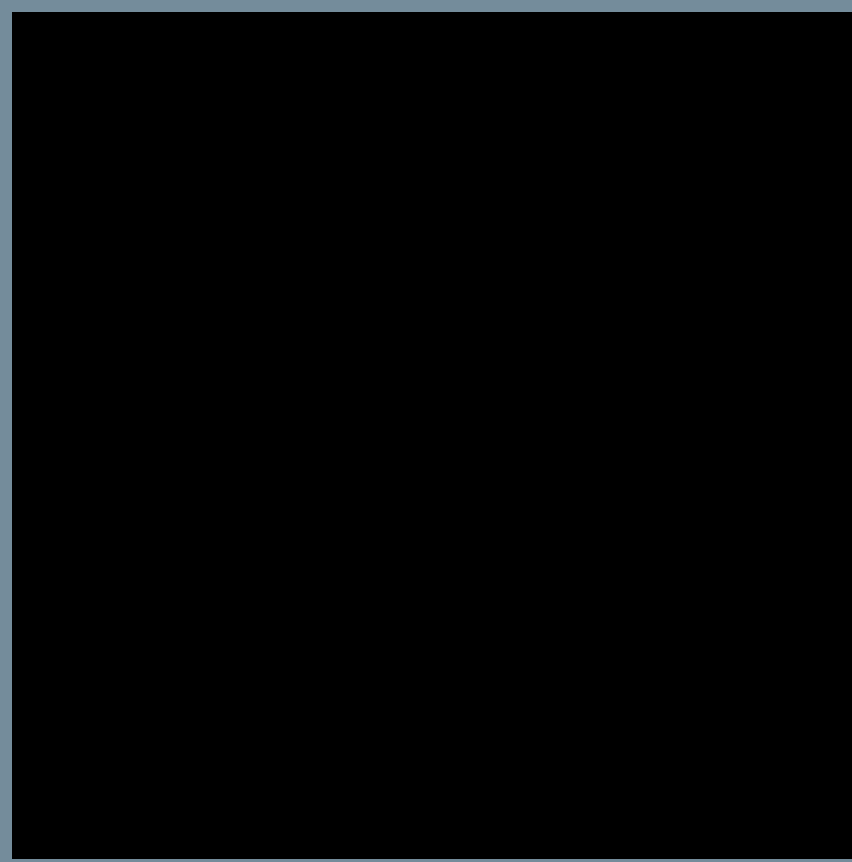


Google

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CHILDRENS PLAYGROUND WWI MEMORIAL ROTARY - VFW PROJECT
 AUG 17 2018 _ NO SCALE



NOVEMBER 11, 2018

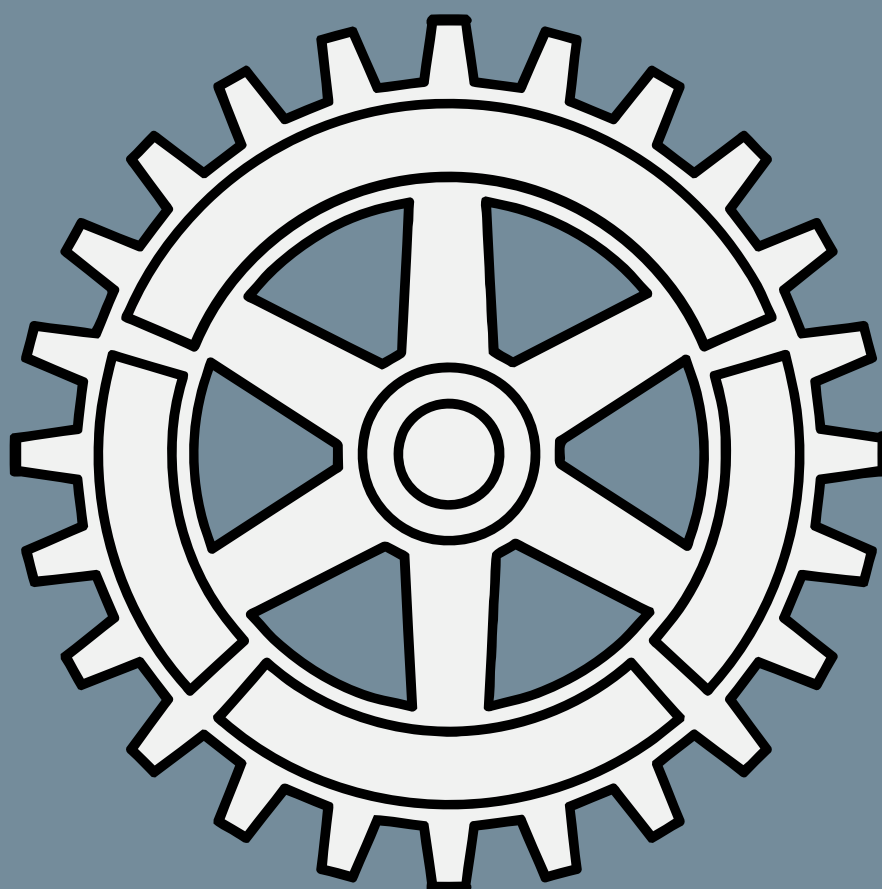
ROTARY CLUB OF CHICO AND CHICO
VFW POST 1555

COMMEMORATE THE 100TH ANNIVERSARY
OF THE END OF WORLD WAR I
"THE WAR TO END ALL WARS"

IN 1918, AT THE 11TH HOUR ON THE 11TH DAY OF
THE 11TH MONTH, AN ARMISTICE WAS SIGNED
BETWEEN THE ALLIES OF WORLD WAR I AND
GERMANY

PRESIDENT WOODROW WILSON SAID,
"VICTORY HAS BROUGHT US, NOT PEACE ALONE,
BUT THE CONFIDENT PROMISE OF A NEW DAY
AS WELL, IN WHICH JUSTICE SHALL REPLACE
FORCE AND JEALOUS INTRIGUE AMONG
THE NATIONS."

TODAY, 100 YEARS LATER, LET US REDEDICATE
OURSELVES TO THE CAUSE OF PEACE
AND JUSTICE.





Bidwell Park & Playground Commission Report

Meeting Date 8/2718

DATE: 8/22/18
TO: Bidwell Park and Playground Commission (BPPC)
FROM: Linda Herman, Park & Natural Resource Manager (P&NRM)
SUBJECT: CONSIDERATION OF PROPOSED AMENDMENTS TO THE CHICO MUNICIPAL CODE REGARDING THE USE OF BBQS AND THE COUNCIL FIRE RING IN BIDWELL PARK.

BACKGROUND:

Currently, all open flame fires not in designated BBQs are prohibited throughout Bidwell Park pursuant to Chico Municipal Code Section 12R.04.170 as follows.

"12R.04.17 Fires - Restrictions - Permit required for open fires at other than regularly established places.

Except as herein otherwise provided, it is unlawful to make any fire at any point in any park in the city, except at regularly established places for such purposes. "Regularly established places" are defined to be masonry, concrete or metal constructed fireplaces, pits or grills. Fires at the Campfire Council Ring and open fires at other locations within any park in the city, may be authorized by a permit issued by the director, who shall notify the fire department of each permit issued. Such permitted fires shall not be left unattended and must be completely extinguished prior to the permittee's departure."

However, this Section does not specify what types of material can be used in the BBQs and the Council Ring, nor does it regulate the hours these facilities can be used.

DISCUSSION:

With the change in climate and heightened fire concerns statewide, the Parks Division and the Fire Department are proposing the following changes for the use of BBQs and the Council Ring:

- All fires using wood or other materials are prohibited in existing BBQs, within Bidwell Park at any time.
- Using charcoal or gas BBQs in designated BBQ facility areas only will be allowed during daylight hours only.
- No fires will be allowed after dark.

The only exception to these new restrictions would be fires in the Council Ring will be allowed through a City issued permit only and by meeting all safety requirements outlined in the permit. In the event of Red Flag Warnings & Fire Weather Watches for our area, which is issued by the National Weather Service for critical weather conditions that could lead to dramatic increases in wildfire activity, all charcoal fires and Council Ring events will be suspended

Chico Fire Department advises that charcoal fires do not produce the type of ember threat consistent with wood burning fires. This policy allowing the use of charcoal is consistent with the U. S. Department of Agriculture Forest Service for campfire restrictions on Federal Forest land.

Recommendation: As requested by the Chico Fire Department and the P&NRM the BPPC recommend City Council approval of the following proposed CMC amendments.

1. At all times, prohibit the use of wood and fires at night in the BBQs in Bidwell Park.
2. Allow the use of wood and other fires in the Council Fire Ring by a City-approved permit from October 1 through April 30 only.
3. Prohibit all fires in BBQs and the Council Fire Ring during declared Red Flag Fire Warning Days as issued by the National Weather Service.



DATE: August 21, 2018
TO: Bidwell Park & Playground Commission (BPPC)
FROM: Natural Resource Committee (Chair Haar, McReynolds, and Nickell)
SUBJECT: CONSIDERATION OF RECOMMENDATIONS FROM THE 8/15/18 NATURAL RESOURCE COMMITTEE

1. Call to order

Committee Chair Haar called the meeting to order at 6:00 pm.

Attendees: Committee Members Present: Committee members Aaron Haar (Chair), Elaina McReynolds, Tom Nickell, Staff Present: Linda Herman Park & Natural Resources Manager (P&NRM), Erik Gustafson, Public Works and Administrative Assistant Angie Imer. Members of the Public Present: Tom Barrett, Courtney Foster, Woody and Ann Elliott, Janine Rood, Lise Smith, and Loran Vilas.

2. REGULAR AGENDA

2.1 CONSIDERATION OF THE UPPER BIDWELL PARK ROAD SURVEY RESULTS

As directed by the BPPC at its 7/30/18 meeting, the Natural Resource Committee continued review of the Upper Bidwell Park public survey results. The Committee discussed several areas addressed in the survey, but particularly focused on vehicle access and improvements to the portion of Upper Park road beyond the Diversion Dam.

a. Upper Park Road Access

Members of the public in attendance voiced the desire to keep access as it is and to not allow vehicle access beyond the Diversion Dam. P&NRM Herman expressed, as recommended by the consultant Pacific Watershed Associates, the need to make improvements to the road regardless of public vehicle access to reduce erosion and sediment from entering Big Chico Creek, and to allow access for emergency vehicles for public safety reasons.

The Committee also discussed the potential costs of completing the needed erosion control measures, and to repair the road to accommodate emergency vehicle access. Staff indicated that the consultant, estimated making all the improvements would cost more than \$450,000. The Committee discussed the need to seek grant funding and that the completion of the repairs would be dependent upon available funding.

b. Proposed Parking Fee/Annual Pass

The Committee also discussed the survey results regarding a proposed parking fee. The General Manager of the Bidwell Park Golf Course expressed concern regarding the location of the parking kiosks, the burden on Golf Course staff to issue parking passes and validate daily parking for golfers, and the potential impacts on the Bar and Grill for all park users.

c. Other Survey Topics

The Committee also noted that there were other desired park improvements identified in the survey, such as better signage and permanent restrooms, that need further discussion.

Public Comment:

Speaking from the public on this item were Tom Barrett, Courtney Foster, Janine Rood, Lise Smith, and Loran Vilas.

Recommendation: The Committee recommended (3-0) that the BPPC approve recommending City Council approval to make improvements to the unpaved portion of Upper Park Road to allow emergency vehicle access only, as funding allows. The Committee will continue its discussion and review of whether to allow access to all vehicles, and some of the other survey results at its September meeting.

3. Adjournment

The meeting was adjourned at 7:08 p.m.



DATE: 8/22/18
TO: Bidwell Park and Playground Commission (BPPC)
FROM: Linda Herman, Park and Natural Resources Manager
SUBJECT: Parks Report

NARRATIVE

1. Updates

- a. Stoney Fire– Chico Fire Department continues to investigate the cause of the Fire. Staff is working on obtaining help to conduct a hazard assessment of the trees and trails in the active fire area. CalFire began repairing the bulldozer lines on 8/23/18.
- b. Crooked House – The Crooked House playground equipment for Caper Acres has been ordered and Melton Design Group has submitted the plans and specifications to the City’s Building Division for approval. We hope to submit a Notice Inviting Bids soon.
- c. Caper Acre Swing Project Award Finalist - The Caper Acres Swing Project constructed by the CSU Chico Students is a finalist for a Constructor Award from the Associated General Contractors of California in the Community Service category. This project is the only finalist in this category, so it is likely an award will be given at the Awards Banquet in Lake Tahoe on 10/27/18. A list of the finalists is attached.
- d. Summer Limb Drop – There have been a series of large limbs and trees falling in Lower Bidwell Park. Two large limbs fell last weekend, one at Five Mile, Caper Acres and the One Mile Recreation Area

2. Maintenance Program

Staff continues daily cleaning and safety inspections of all recreation areas including: grounds, playgrounds, picnic sites, roads and paths, coupled with daily cleaning and re-supplying of all open park restrooms. Maintenance and repair of park fixtures, daily opening of gates, posting reservations, unauthorized camp clean up and the constant removal of graffiti from all park infrastructure.

- a. Lower Park: Staff worked with lock Smith enterprises to repair the damage to One Mile concession stand door and lock after a successful break in resulting in significant losses. Staff has and will continue with irrigation repairs, bench and table maintenance and installation of memorial plaques throughout lower and Middle Park.
- b. Middle Park: Ongoing irrigation updates and the opening of the Westside reservation area.
- c. Upper Park: Just the usual fence repairs at lot E and the closing and monitoring of the Stoney fire area.
- d. Greenway Parks: New bollards are installed at Comanche Creek. Staff has been working on a list of fixes generated by the friends of Comanche Creek and are making good progress.
- e. Upcoming projects: Trail markers and signs for Middle and Upper Park (in progress). Repairs to Upper Park road at sites 27, 38 and 39. Par Course Station Replacement. Kiosks for Comanche Creek.

3. Ranger and Lifeguard Programs

- a. Lifeguard Program– Due to the prolonged unhealthy air quality, lifeguards ceased their regular 6 day a week schedule in early August. Impacts from the various fires affected not just pool attendance but the entirety of

Bidwell Park. Lifeguards reported one animal bite to a child and several minor first aid incidents since the last report. The pool is currently staffed weekends only and will officially close for the season on Labor Day.

- b. Ranger Program – Rangers continue to spend the bulk of their time dealing with homeless encampments and their occupants throughout the city's parks and greenways. The number of people and camps are at all-time highs. Police Target team members are integrally involved with Rangers and transient issues in the park. An early morning sweep for campers will occur shortly and involve collection of property and arrests.

Rangers continue to educate the public on fire closures and continued dangers existing in the closed areas of the southern side of Big Chico Creek. Some citations have been issued to those entering into the fire damaged areas. Ranger James has done another early morning segment on Action News explaining the closures and importance of staying out of the areas.

- c. Labor Day - Rangers are planning an information checkpoint for Labor Day Weekend in Upper Park. The semiannual event involves Volunteers in Police Service (VIPS) sharing park rules with those entering Upper Park while Rangers patrol swimming holes.
- d. A hazardous material incident call was made to the Fire Department when unknown chemicals were found in a camp behind Caper Acres. The occupant of the camp returned while police and rangers were on scene and was arrested.
- e. Rangers were first responders to a bicycle fall in Lower Park that injured a young child. The boy was transported to Enloe for treatment of a broken wrist.

4. Volunteer and Donor Program

- a. ParkWatch Report App– Volunteers have started using the ParkWatch Report phone app. The app is a useful tool for volunteers to communicate with staff the items they encounter in the parks and greenways. More places and features to the app soon. To download and register <https://chico.parkwatchreport.com/>
- b. Donor interest– A local couple is interested in putting on a fundraising event for Caper Acres. The event is anticipated to occur in November. More details to follow soon.
- c. Upcoming Volunteer Opportunities
 - i. The 31st Annual Bidwell Park and Chico Creeks cleanup is planned for September 15th. Please visit the Butte Environmental Council's website for details and registration information. <http://www.becnet.org/>
 - ii. Chico Makes a Difference Day– The date has been set for Saturday, October 27th. Planning is progressing.

MONTHLY SUMMARY TABLES

Table 1. Monthly Volunteer Hours

Parks and Greenway -PALS- (Partners, Ambassadors, Leaders & Stewards) Volunteer Activities, July 2018

Date	Location	Agency	Task	# of Volunteers	Total Hours	Leader
All of July	Various	Parks Division	PW Ambassadors	107	1769	Shane Romain
various	Verbena Fields		Veg. Mgmt.	1	12	S. Mason
various	CCG	FCCG	camp cleanups	1	9.00	Susan Mason
various	CCG	FCCG	Veg. Mgmt.	1	5.00	Susan Mason
various	CCG	FCCG	Veg Mgmt.	1	2.00	Emily Alma
various	CCG	FCCG	Gen. Cleanup	1	4.00	Janet Ellner
various	CCG	FCCG	Gen. Cleanup	1	30.50	Liz Stewart
7/1/2018	CCG	FCCG	camp cleanups	2	7.25	Susan Mason
7/1/2018	Middle Park	BEC	Renovation	6	12	Angel Gomez
7/4/2018	CCG	FCCG	Gen. Cleanup	6	18.75	Susan Mason
7/7/2018	CCG	FCCG	Veg. Mgmt.	2	4.00	Emily Alma
7/8/2018	Middle Park	BEC	Renovation	6	6	Natalie Carter
7/11/2018	Various	CCW	Carts	2	6	Dan Bringolf
7/13/2018	CCG	FCCG	camp cleanups	2	7.00	Susan Mason
7/14/2018	Lindo Channel	CCW	Gen. Cleanup	7	21	Dan Bringolf
7/21/2018	CCG	FCCG	Veg. Mgmt.	6	17.50	Janet Ellner
7/22/2018	Middle Park	BEC	Renovation	12	12	Becky Holden
7/25/2018	Various	CCW	Carts	3	10	Dan Bringolf
7/25/2018	Comanche Creek	FCCG	Veg. Mgmt.	13	41	Susan Mason
7/26/2018	CCG	FCCG	planning signage	2	4.00	Emily Alma
7/26/2018	City of Chico	FCCG	Coordination Meeting	3	4.50	Linda Herman
7/28/2018	Lindo Channel	CCW	Gen. Cleanup	3	9	Dan Bringolf
7/28/2018	Humboldt Rd.	Res. the Walls	Gen. Cleanup	6	18.00	Michael Hicks
				TOTAL HRS	2029	

Table 2. Monthly Public and Private Permits

Monthly Public Permits - July				
Date	Location	Organization	Event	Participant #
07/01/18	Council Ring	God Squad	AA Meeting	60
07/04/18	One Mile Oak Grove A & B	Development Disabilities Sports Fund	Chico Celebrates Our Independence	1,200
07/04/18	Five Mile East	Narcotics Anonymous	Picnic/BBQ	90
07/08/18	Council Ring	God Squad	AA Meeting	60
07/11/18	City Plaza	Youth & Family Programs	Community Event	150
07/11/18	Five Mile East	Earth Bound Skills	Summer Day Camp	25
07/21/18	City Plaza	Butte Humane Society	Pup Crawl	Open
07/28/18	One Mile Oak Grove A & B	Justice for Desmond Phillips	Family/Friend BBQ	50
Totals				1,635

Table 3. Monthly Private Permits

Monthly Private Permits - July		
Type	# Permits	# Participants
Private	15	605
Caper Acres	8	275
Totals	23	880

Table 4. Monthly Maintenance Hours.






Category	Staff Hours	% of Total	% Change from Last Month	2018 Trend
1. Safety	237	29.6%	92.8%	
2. Infrastructure Maintenance	190	23.8%	80.3%	
3. Vegetation Maintenance	91	11.4%	48.9%	
4. Admin Time/Other	282	35.3%	216.9%	
Monthly Totals	800	100%	99.0%	

Table 5. Monthly Incidents

07/17/2018	Lower Park	Petty Theft	Cop Logic
07/19/2018	Lower Park	Vehicle Burglary	Cop Logic
07/31/2018	Lower Park	Vehicle Burglary	Cop Logic

Table 6. Monthly Cleanups

Illegal Encampment Cleanups, July 2018						
Date	Location	# of Camps	# of Staff	# ACS/Workers	Total Hours	Total Debris Yards
7/3/2018	Annie's Glen	3	1	6	7	2
7/12/2018	Petersen Memorial-Walnut Orchard	2	1	6	7	4
7/17/2018	Annie's Glen/Lost Park	3	1	7	8.00	3
7/18/2017	Picnic Site 6, Humboldt & Forest	2	1	3	6.00	10
7/19/2018	North 1 Mile Creekside	3	1	6	3.50	3
7/25/2018	Picnic Site 32	1	1	6	7.00	3
7/26/2018	Lindo Channel Holly to Cussick, Little Chico Creek Cedar to Orange	12	5	8	65.00	30
		TOTAL HRS			TOTAL HRS	TOTAL DEBRIS
		26			104	55

**Table 7. Citations & Warnings
Ranger Report - Warnings 2018**

Violation - Warnings	Monthly			Annual			Trend
	Total Warnings	%	Rank	Total Warnings	%	Rank	
Alcohol	3	5%	6	16	3%	5	
Animal Control Violations	8	14%	2	61	13%	3	
Bicycle Violation	3	5%	6	55	12%	4	
Glass	0	0%	9	3	1%	10	
Illegal Camping	29	50%	1	194	41%	1	
Injury/Destruction City Property	0	0%	9	5	1%	9	
Littering	1	2%	8	13	3%	7	
Other Violations	6	10%	3	10	2%	8	
Parking Violations	4	7%	4	16	3%	5	
Resist/Delay Park Ranger	0	0%	9	0	0%	11	
Smoking	4	7%	4	96	20%	2	
Totals	58	100%		469	100%		

Ranger Report - Citations 2018

Violation - Citations	Monthly			Annual			Trend
	Total Citations	%	Rank	Total Citations	%	Rank	
Alcohol	5	18%	2	7	7%	5	
Animal Control Violations	0	0%	7	2	2%	7	
Bicycle Violation	0	0%	7	0	0%	11	
Glass	4	14%	5	9	9%	4	
Illegal Camping	5	18%	2	21	21%	3	
Injury/Destruction City Property	0	0%	7	7	7%	5	
Littering	1	4%	6	1	1%	9	
Other Violations	8	29%	1	25	25%	1	
Parking Violations	5	18%	2	24	24%	2	
Resist/Delay Park Ranger	0	0%	7	1	1%	9	
Smoking	0	0%	7	2	2%	7	
Totals	28	100%		99	100%		

PHOTOGRAPHS



Figure 1 Jacob Liu Council Ring Project appreciation

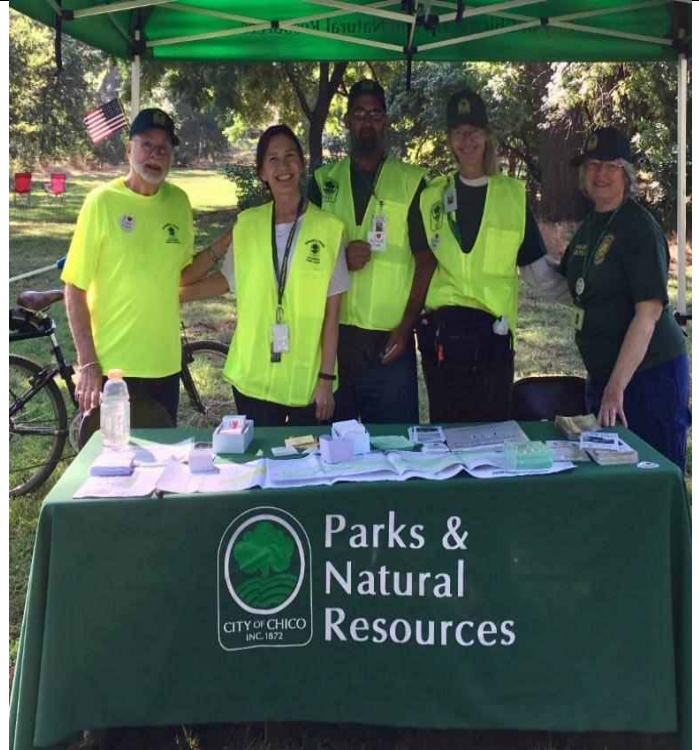


Figure 2 Park Watch Ambassadors July 4th info table



Figure 3 Caper Acres limb removed by Tree Contractor



Figure 4 Limb down at Five Mile

Attachments:

- A. AGC Constructor Award Finalists



2018 CONSTRUCTOR AWARDS

ASSOCIATED GENERAL CONTRACTORS OF CALIFORNIA

FINALISTS

AGC COMMUNITY SERVICE

Shasta District- CSU Chico Student Chapter
"Caper Acres Swings Project- Bidwell Park" – Chico

EXCELLENCE IN PROJECT MANAGEMENT - PROJECTS \$15 MILLION OR BELOW

Flatiron West, Inc.
"South Fork Smith River Road" – Hiouchi

Teichert Construction
"State Route 65 Overlay" – Placer County

EXCELLENCE IN PROJECT MANAGEMENT - PROJECTS OVER \$15 MILLION

Balfour Beatty Infrastructure, Inc.
"Reclamation District 2035- Woodland Davis Clean Water Agency Joint Intake and Fish Screen" – West Sacramento

Kiewit / Manson, JV
"San Francisco Oakland Bay Bridge East Span Marine Foundation Removal Project Phase 2" – San Francisco/ Oakland

Nova / Shimmick, JV
"Replace Fuel Pier" – Naval Base Point Loma, San Diego

Turner Construction Company
"Wilshire Grand Center" – Los Angeles

MEETING THE CHALLENGE OF THE DIFFICULT JOB - PROJECTS \$15 MILLION OR BELOW

Blois Construction, Inc.
"Los Angeles Department of Water and Power Silver Lake West Reservoir Project" – Los Angeles

Disney Construction, Inc.
"Caltrain San Francisco Bridges Roadway Project" – San Francisco

MEETING THE CHALLENGE OF THE DIFFICULT JOB - BUILDER

Clark Construction Group, LP
"Ventura County Medical Center Hospital Replacement Wing" – Ventura County



2018 CONSTRUCTOR AWARDS

ASSOCIATED GENERAL CONTRACTORS OF CALIFORNIA

Swinerton Builders

“Trinity Place- 33 8th Street” – San Francisco

Turner Construction Company

“Stockton Courthouse” - Stockton

MEETING THE CHALLENGE OF THE DIFFICULT JOB – HEAVY ENGINEERING

Monterey Mechanical Co.

“Southeast Water Pollution Control Plant Primary & Secondary Clarifier Upgrades” – San Francisco

OHL USA, Inc.

“Owens Lake Dust Mitigation Phase 9/10” – Lone Pine

Shimmick Construction

“Transbay Bus Ramps Project” – San Francisco

Syblon Reid

“Oroville Dam Spillway Emergency Response” – Oroville

MEETING THE CHALLENGE OF THE DIFFICULT JOB – SPECIALTY CONTRACTOR \$15 MILLION OR BELOW

Royal Electric Company

“Arch Nexus Sacramento” – Sacramento

MEETING THE CHALLENGE OF THE DIFFICULT JOB – SPECIALTY CONTRACTOR OVER \$15 MILLION

Myers & Sons Construction, LP

“Pioneer Bridge Emergency Repair” – Sacramento

Royal Electric Company

“Oakland South Field Runway 12-30 Rehabilitation” – Oakland

EXCELLENCE IN PARTNERING

Kiewit / Manson, JV

“San Francisco Oakland Bay Bridge East Span Marine Foundation Removal Project Phase 2” – San Francisco/ Oakland

Monterey Mechanical Co.

“Southeast Water Pollution Control Plant Primary & Secondary Clarifier Upgrades” – San Francisco

OHL USA Inc.

“Owens Lake Dust Mitigation Phase 9/10” – Lone Pine



DATE: 08/27/18
TO: Bidwell Park and Playground Commission (BPPC)
FROM: Richie Bamlet, Urban Forest Manager
SUBJECT: Street Trees Division Report

NARRATIVE

Updates

CALFIRE Grant - City Manager has signed the grant agreement for the Urban Forest Revitalization Program. Once CALFIRE returns the contract with a Notice to Proceed, Public Works will look to develop RFP's for the various components of the program.

Recruitment – Recruitment for Maintenance Worker Tree Division – HR has tested all candidates and interviews will be set up in the next month for all candidates that achieved a passing score.

Planning/Monitoring

Tree Permits – The UFM approved nine permits in July. One removal permit was denied. Most permits were pruning requests. One permit was to assist in solar array access.

Damage Reports – UFM completed five damage reports for Risk Management. All claims related to downed limbs and property damage.

Planning and Building Development

UFM commented on five plan reviews. Comments included requirement of CMC 19.68 Tree Preservation during construction, tree ownership determination, redesign to preserve trees, debris management and landscape species choices.

UFM liaised with Public Works Engineering on three projects:

1. To determine preservation of a redwood and Blue oak tree on 10th street during street improvement work.
2. To re-route the design of a driveway and sidewalk improvements on Manzanita to save three mature 40'-60' Pin oak trees.
3. Preservation of fifteen 50' London plane trees adjacent to Chico High School on Ceonothus during planned sidewalk installation.

Miscellaneous

Enloe Tree Pruning – North Valley Tree Service completed tree pruning of all City perimeter trees surrounding the Esplanade campus.

Bidwell Park brush piles. – All brush piles along South Park drive have been picked up.

Tree preservation and infrastructure repair- UFM worked with the PW Landscape inspector and landscape contractor Dawson Landscapes. Tree roots on Mission Ranch Boulevard were pruned to allow irrigation repairs. Landscape contractor continues to build capacity in the art and science of tree preservation during infrastructure

repair.

PGE growth regulator trial – PGE were approved to go-ahead with a small-scale trial on city trees to test the effectiveness of plant growth regulators in utility right-of-way maintenance. PGR's reduce the production of gibberellic acid, a naturally occurring plant growth hormone that regulates the elongation of plant cells. It is hoped that the trial demonstrates that PGR's can be effectively applied to slow down the growth of trees. This would in turn reduce the amount of undesirable directional tree pruning required on trees in the utility right-of-way. Desirable side benefits of PGR's include increased drought tolerance, increased stress resistance, direction of energy to fibrous root growth and enhanced chlorophyll resulting in darker green healthy leaves. See supplemental info on Cambistat product.

Maintenance

All City Plaza trees were pruned at the direction of the Public Works Director. Objectives were to increase sight lines into the park for security and provide clearance for surveillance cameras. The resulting tree appearance has been met with mixed reception. The trees have been raised higher than the recommended ANSI pruning standards, which recommend retaining a live crown ration of 50%. However, most of the trees have not yet reached mature height, which can be as high as sixty feet. As the trees continue to grow, a favorable live crown ratio should be restored for a more aesthetically pleasing appearance.

Outreach and Education

UFM and civic group representatives attended a webinar relating to the management of tree giveaway programs. Tree Division crew training was postponed and will be held in August.

Street Tree Supervisor Report

The Street Tree Supervisors monthly summary data tables for July are included below:

MONTHLY SUMMARY TABLES






Category	Staff Hours	% of Total	% Change from Last Month	Trend
<hr/>				
Tree Crew Hours				
1. Safety	71	7.9%	74.7%	
2. Tree Work	704.5	78.5%	78.1%	
3. Special Projects	93	10.4%	170.6%	
4. Admin Time/Other	29	3.2%	25.4%	
<hr/>				
Monthly Totals	897.5	100.0%	77.0%	

Table 1

Item	Values	% Change from Last Month	Trend
5. Productivity			
Calls			
Call Outs	206	226.4%	-----□
Service Requests: Submitted	0	-	
Service Requests: Completed	113	86.3%	-----□□
Sub Total	0	-	
Trees			
Planted: Trees	0	-	□
Pruned	110	117.0%	□.□□.□□
Removed: Trees (smaller)	0	-	
Removed: Stumps	0	-	
Removed: Trees	6	13.6%	□.□□□.□
Sub Total	116	84.1%	□.□□.□□
Tree Permits (#)			
Submitted	10	500.0%	□□ □□.□
Approved	7	350.0%	□□ □□.□
Denied	1	-	□□ □□.□
Total	18	450.0%	□□ □□.□
6. Contracts			
Expenditures (\$)	\$ 3,483	-	-----□□
Trees (#)			
Planted	0	-	
Pruned	0	-	-----□
Removed: Trees (smaller)	0	0.0%	
Removed: Stumps	0	-	
Removed: Trees	2	-	□□□.□□
Routine Maintenance	0	-	
Total	2	-	-----□□

Table 2

Upcoming Issues/Miscellaneous

UFM will monitor for survival and planting quality many developments in the City that have had tree planting installations done in the hot summer months.

PHOTOGRAPHS



Figure 1 . Dawson landscapes repairing irrigation pipe and preserving tree roots

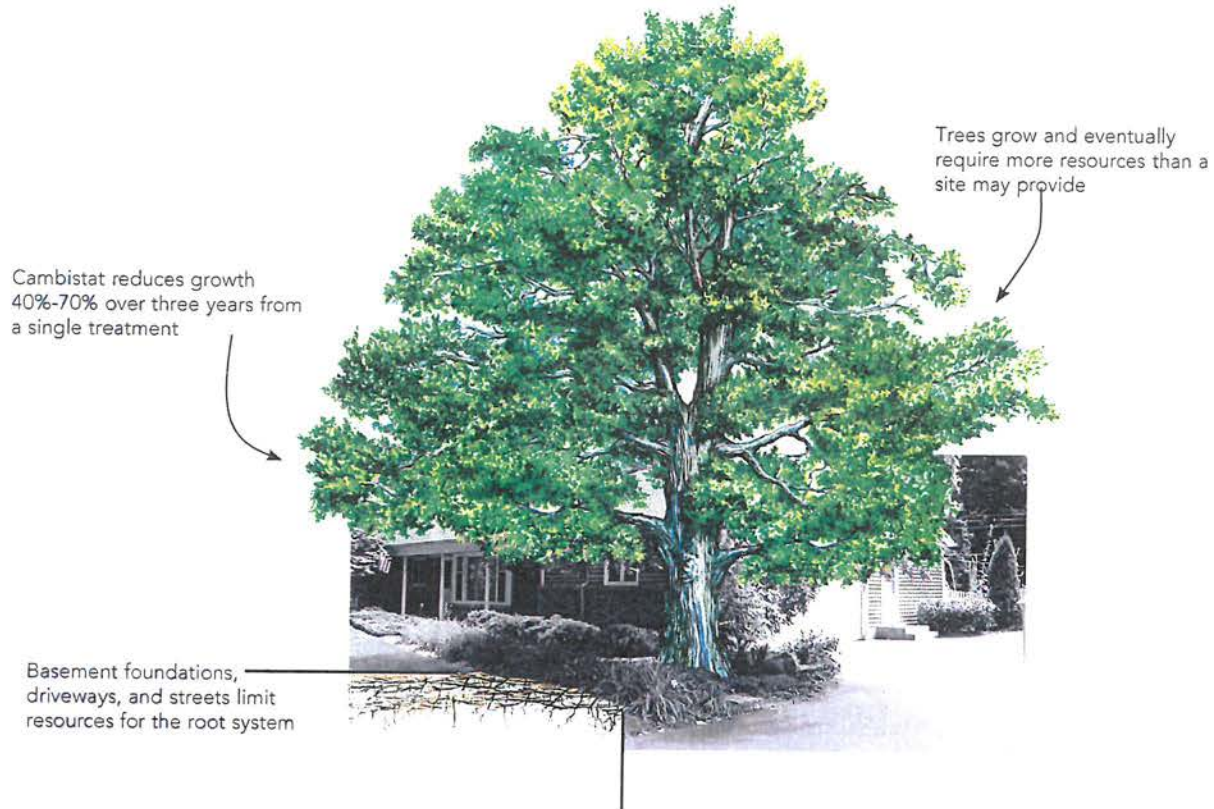


Figure 2. Before pruning photo of Accolade elms. City Plaza



Figure 3. After pruning photo of Accolade elms. City Plaza.

Using Cambistat® to Reduce Growth



Slowing Growth for a Healthier Tree

Large trees add beauty, character, and value to the landscape, and they are highly desired by many homeowners. While it is appealing to think most trees in the landscape will eventually grow large and provide these benefits, this may not always be in the best interest of your tree and property.

There are two main reasons why:

- 1. The size of a mature tree** is often underestimated, and many trees are planted too close to houses, garages, power lines, and other structures. This type of interference may cause damage to the property and require additional maintenance to correct.
- 2. Large trees** require more water, minerals, and soil volume for roots than smaller trees, and these resources may not be available in sufficient quantity in smaller urban sites. If these resources are limited tree health will eventually suffer.

What does Cambistat do?

Cambistat is a tree growth regulator that reduces canopy growth by 40-70% over a three year period. Reducing the amount of tree growth can help you:

- Safely maintain the visual appeal of the landscape.
- Reduce the amount of live wood pruning required.
- Prevent premature overcrowding of competing trees.
- Maintain a smaller, more appropriate tree size when there is a restricted root zone.
- Maintain vista views with less frequent pruning.
- Extend the time in between pruning events.
- Minimize intrusion by power companies.

Additional Cambistat Benefits

As a result of growth reduction, some favorable changes occur that enhance the durability of your tree to the stresses associated with living in an urban yard. These include:

- Stimulate fine root production
- Improve drought and heat resistance
- Higher tolerance to certain diseases



Slower Growing Trees

A common myth about trees is that a faster growing tree is healthier than a slower growing tree. The truth is that slower growing trees will outlive trees that grow faster, especially in situations such as yards where space and resources are limited. The chart below shows some important differences between a tree growing relatively faster or slower.

Cambistat Treated Tree



Slower Growth is Beneficial

Tree Characteristic	Tree Growth Rate Comparison	
	Faster Growth	Slower Growth
Resource Demand	Higher	Lower
Sensitivity to Resource Availability	Higher	Lower
Stored Energy Reserves	Lower	Higher
Root : Shoot Ratio	Lower	Higher
Sensitivity to Stress or Damage	More Sensitive	Less Sensitive
Overall Tree Durability	Less Durable	More Durable

An Integrated Approach

When caring for urban trees it is important to make a thorough evaluation of the site to accurately diagnose all stressing agents and tailor your recommendation to the specific circumstances. These must be dealt with so that your tree can live to its fullest potential. Utilize your arborist for a comprehensive maintenance program.

Benefits of Cambistat for Urban Trees

Cambistat is a soil applied product that is absorbed through the roots. Cambistat gently slows the growth of trees, allowing the tree to redirect some of its energy from canopy growth to defense chemicals, fibrous root production, and other uses. The resulting reallocation of energy makes your tree healthier and more durable.

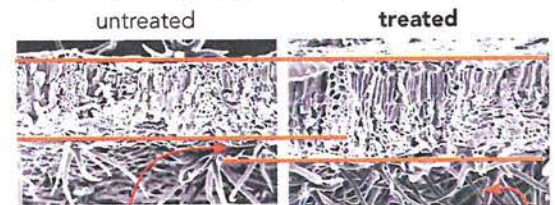
Drought is a major cause of tree death and decline in the urban landscape. Research shows Cambistat increases drought resistance by helping the tree reduce water losses during dry, hot periods.



untreated

3 years after treatment

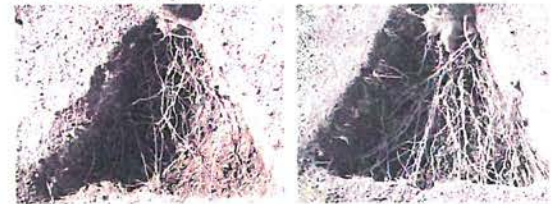
Cambistat changes some important physical traits of leaves. Leaves of treated trees tend to be greener (higher concentrations of chlorophyll) than untreated and have an enhanced protective barrier (thicker leaf surface and denser surface hairs).



thicker leaf surface

increased protective hairs

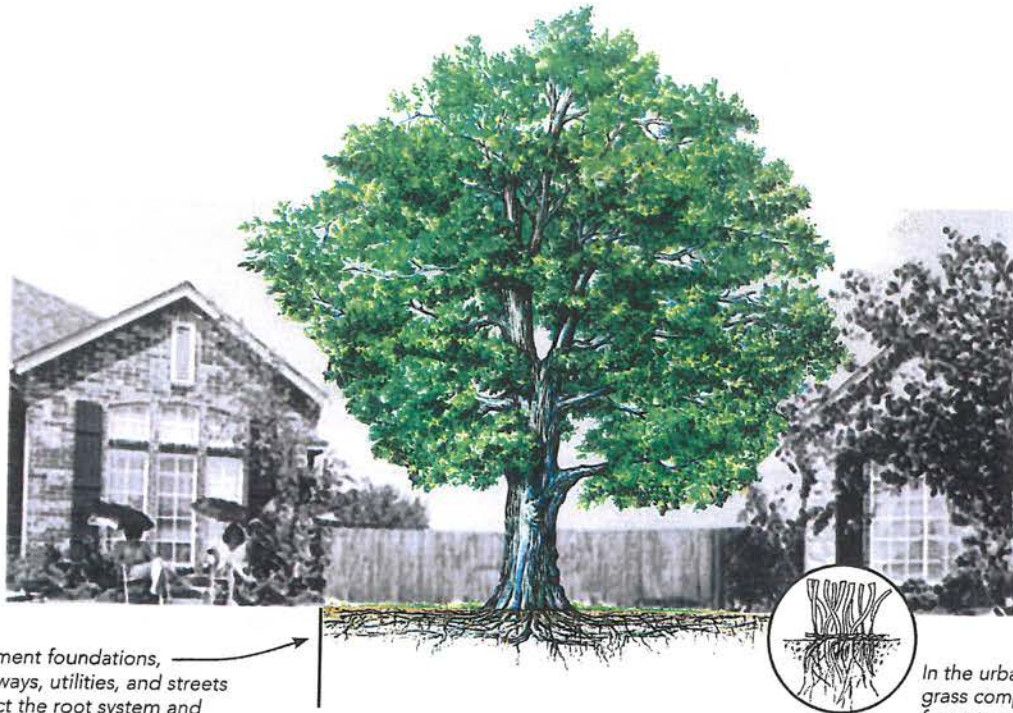
Research has shown Cambistat increases fine root density in trees



untreated

3 years after treatment

Using Cambistat® to Help Manage Drought Stress



Basement foundations, driveways, utilities, and streets restrict the root system and limit available resources.

In the urban environment grass competes with trees for water and minerals. This significantly reduces the capacity of a yard to support a tree.

Why Urban Trees are Drought Stressed

➤ Less Water is Available –

Unless regularly irrigated, urban trees generally have less water available than their counterparts in natural settings. Why? Paved surfaces encourage runoff instead of absorption, and these surfaces cause higher soil temperatures and faster evaporation of rainfall.

➤ Restricted Root Space –

Building foundations, streets, driveways, and other obstacles limit the expansion of tree roots and significantly reduce the amount of water and minerals available to the tree.



photo: Dr. Gary Watson

➤ Compacted Soils –

Urban soils are usually compacted from human activity, and this creates stress for a tree. Soils can become difficult for roots to penetrate, and compacted soils hold much less water and oxygen which are critical for tree health.

➤ Competition –

Most yards have a dense layer of turf that surrounds a tree. Turf aggressively competes for minerals and water, which reduces their availability to other plants. Adding several inches of mulch within the dripline of the tree reduces competition with turf, keeps the soil cooler, and holds more moisture.



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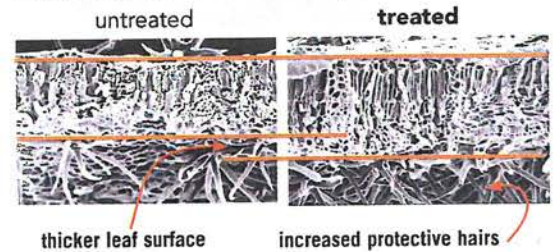
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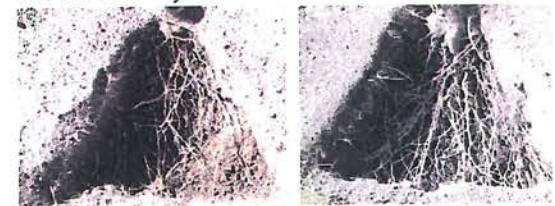
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Cambistat changes some important physical traits of leaves. Leaves of treated trees tend to be greener (higher concentrations of chlorophyll) than untreated and have an enhanced protective barrier (thicker leaf surface and denser surface hairs).



Research has shown Cambistat increases fine root density in trees

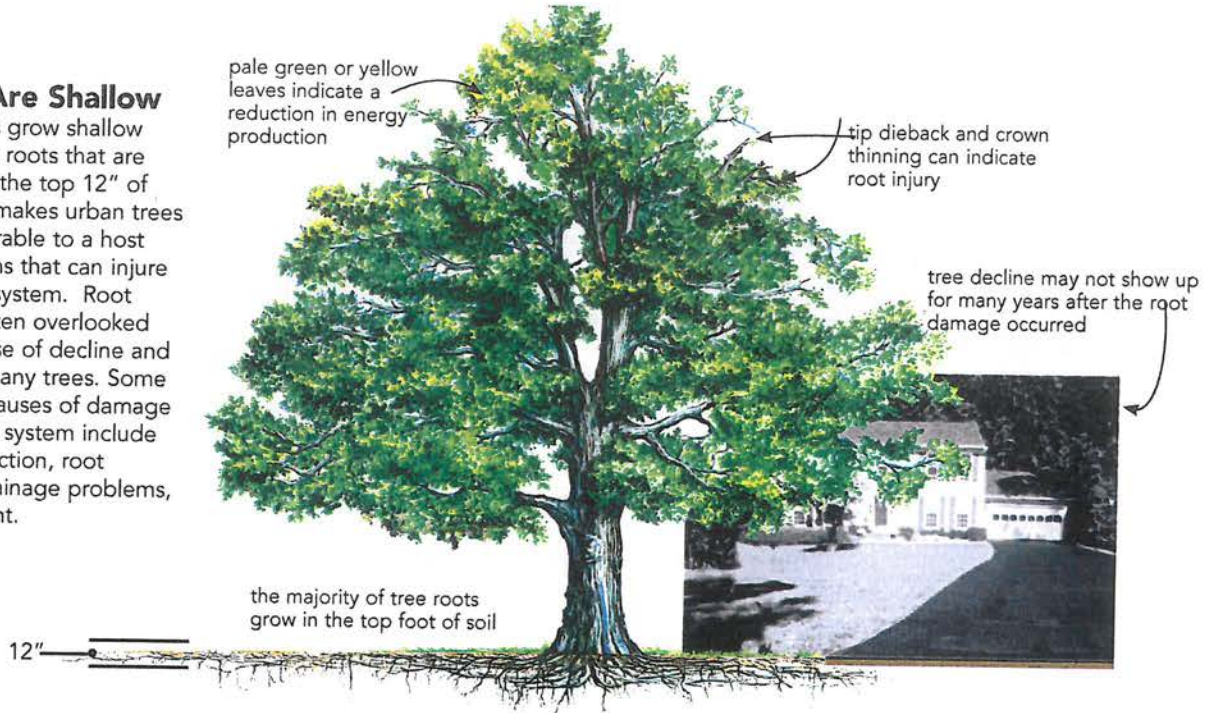


untreated 3 years after treatment

Using Cambistat® to Help Trees with Injured Roots

Roots Are Shallow

Most trees grow shallow absorptive roots that are located in the top 12" of soil. This makes urban trees very vulnerable to a host of problems that can injure their root system. Root injury is often overlooked as the cause of decline and death of many trees. Some common causes of damage to the root system include soil compaction, root cutting, drainage problems, and drought.



Soil Compaction	Root Cutting	Drainage Problems	Drought
Soil compaction harms tree roots by reducing oxygen and water exchange which inhibits root expansion. Trees in compacted soils are smaller, less healthy, and will die sooner if the compaction is left untreated. There are a variety effective methods to alleviate soil compaction. Talk to your arborist.	This can place a tree in jeopardy from structural failure and dehydration. Good planning is the best solution. If possible, re-cut any crushed or broken roots with a sharp saw or pruning shear. This will enhance their recovery.	Too much water suffocates roots and allows anaerobic conditions to form. This promotes diseases for both your trees and grass. It is better to water deeply and infrequently than many small watering events. A general guideline is to deliver one inch per week in a single watering event.	Since fibrous roots are so close to the soil surface, they can dehydrate and die when the soil loses significant moisture and becomes over heated. Mulching the root zone with wood chips is a very effective method of protecting tree roots as it buffers heat and holds moisture.

The Best Strategy for Managing Root Damage is Avoidance.

How Close Can Root Damaging Activity Come to a Tree without Causing Injury? The simple answer is the farther away it stays the better. If possible, avoid damage within the drip line of the tree. The more area you can protect the less impact on your tree.

Before Root Damage Occurs. Cambistat is best used before construction activity. Cambistat puts the tree in a more conservative mode by reducing water needs, slowing top growth and redirecting energy to fibrous root growth. A tree

with a bottom-heavy balance between the roots and crown will have greater stability during the stress and a stronger likelihood of long-term survival.

Damage that has Already Happened. If root damage has already occurred, try to stabilize the tree and prevent decline. Not all trees may be savable if the damage is severe, and there is significant decline. Cambistat should be used in conjunction with other cultural practices to get the best results.



Slower Growing Trees

Trees are energy systems that make their own food, and decline begins when a tree uses more energy than it is making. Cambistat reduces vegetative growth, improves the root to crown ratio, and improves the plant's ability to photosynthesize under adverse conditions. In many species it stimulates fibrous root growth that gives the tree greater ability to mine the soil for water and nutrients. Conservative growth strategies will extend the longevity and help shift the tree back into a favorable energetic balance.



1989 treated

1994

2001

Information and photos from Watson, G.W. 1996. Tree Root System Enhancement with Paclobutrazol. J. Arboriculture 22:211-217

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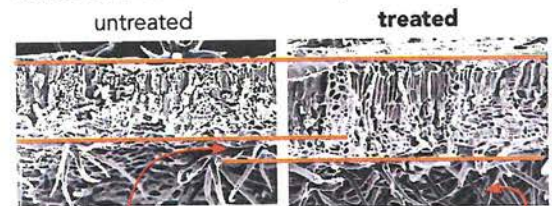
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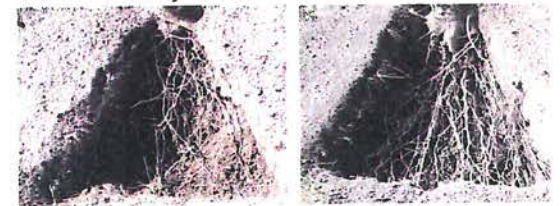
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