



Architectural Review and
Historic Preservation Board
Agenda Report

Meeting Date 11/15/2023

GENERAL INFORMATION

Project AR 23-07 (New Smile Now)

Applicant: Pat Conroy, Conroy Construction, 1350 E. 9th Street, Suite 100, Chico, CA 95928

Property Owner: Kevin Kremer, 140 Independence Circle, Chico, 95973

Purpose: Architectural review for a new dental office building.

Location: Southeast corner of Cohasset Rd. and Glenbrook Ct.

Assessor's Parcel No.: 015-070-010

Parcel Size: 20,473 square feet (sf) or 0.47 acres

Existing Zoning: OR-AOB2 (Office Residential with Airport Overflight Zone B2)

Existing Land Use: Office

General Plan Designation: OMU (Office Mixed Use)

Surrounding Land Uses:

<i>N</i>	Dental Office
<i>S</i>	Church
<i>E</i>	Residential
<i>W</i>	Residential

Environmental Review: Categorically exempt pursuant to California Environmental Review Quality Act (CEQA) Section 15332 (Infill Projects)



Architectural Review and
Historic Preservation Board
Agenda Report

Meeting Date 11/15/2023

DATE: October 31, 2023

File: AR 23-07

TO: Architectural Review and Historic Preservation Board

FROM: Madison Driscoll, Associate Planner, 530-879-6810, madison.driscoll@chicoca.gov

RE: Architectural Review 23-07 (New Smile Now)
3008 Cohasset Road; APN 015-070-010

RECOMMENDATION

Staff recommends Board approval of the design review application by the following motion:

I move that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve Architectural Review 23-07 (New Smile Now), subject to the recommended conditions therein.

BACKGROUND

The applicant proposes to construct a two-story building on the east side of Cohasset Road with a 4,662 square foot building footprint (see **Attachment A**, Location Map). The proposed building would be a dental office with a mixture of exam rooms, surgery rooms, and administrative offices. The existing building will be demolished to make room for the proposed redevelopment. The proposed building will be accompanied by a parking lot with 25 vehicle parking spaces and a trash enclosure (see **Attachment B**, Site Plan). The building would be situated along the western site boundary, between the parking area and Cohasset Road.

DISCUSSION

The design is focused on creating a transition from the commercial buildings along Cohasset to the residential homes of Glenbrook Court. The new building would be situated parallel to Cohasset Road with a combination of shed and flat roofs, creating a strong street-facing façade on the corner (see **Attachment C**, Elevations). The bottom story of the building features a dark brown wainscot that wraps around the structure, visually breaking up the large wall mass. Dark metal siding is also used along the north and east elevations to break up the mass of building. Parking would be placed behind the building, shielding it from the view along Cohasset.

The 25-space vehicle parking area slightly exceeds parking requirements of CMC Section 19.70.040. A wooden fence would be placed along the eastern boundary of the site to separate commercial from residential use. Lighting would be screened and shielded downward with light poles not exceeding 12.5 feet in height (see **Attachment D**, Photometric Plan).

Landscaping would utilize a variety of trees including Chinese hackberry, wireless zelkova, and little gem magnolias (see **Attachment E**, Landscape Plan). The applicant does propose removing a total of eight trees; any tree removal must comply with Chico Municipal Code (CMC) Section 16.66 and **Condition #6**. The building would also provide two outdoor patios towards the northern and southern portion of the site. An outdoor balcony is also part of the

building design, with the balcony facing Glenbrook Court away from the view of private residential yards.

REQUIRED FINDINGS FOR APPROVAL

Architectural Review

According to Chico Municipal Code Section 19.18.060, the Architectural Review and Historic Preservation Board shall determine whether or not a project adequately meets adopted City standards and design guidelines, based upon the following findings:

1. *The proposed development is consistent with the General Plan, any applicable specific plan, and any applicable neighborhood or area plans.*

The project is consistent with General Plan policies that encourage compatible infill development that complements the neighborhood (LU-4.2, CD-5.1), revitalization of existing commercial centers (ED-3), and context sensitive design (CD-5.3). The two-story architecture design is consistent with surrounding development, placing taller buildings along the commercial corridor along Cohasset Road while preserving the residential feel along Glenbrook Court (CD-5.2). The site is not located within the bounds of a Neighborhood Plan or area plan.

2. *The proposed development, including the character, scale, and quality of design are consistent with the purpose/intent of this chapter and any adopted design guidelines.*

The project is consistent with Design Guidelines that call for commercial buildings to use appropriate massing, fenestration, and materials to provide a pedestrian-level scale (DG 2.211). Main entrances are easily identifiable with use of accented heavy timber formed shed roofs (DG 3.2.23). Shed roofs and awnings are utilized to offset the boxy nature of the building (DG 1.2.22). Parking views are minimized through placing the building towards the front of the site (DG 3.1.35).

3. *The architectural design of structures, including all elevations, materials and colors are visually compatible with surrounding development. Design elements, including screening of equipment, exterior lighting, signs, and awnings, have been incorporated into the project to further ensure its compatibility with the character and uses of adjacent development.*

The materials, design, and color palette of the proposed building are all visually compatible to the surrounding commercial buildings. Utility boxes and HVAC units are screened using varying roof pitches and fencing. The project takes care to minimize views of the parking area and exterior lighting would be appropriately shielded and directed downward.

4. *The location and configuration of structures are compatible with their sites and with surrounding sites and structures, and do not unnecessarily block views from other structures or dominate their surroundings.*

The proposed structure is compatible with surrounding sites and structures in that it will be of similar design and size to other commercial buildings along Cohasset Road. The

building will not unnecessarily block views or dominate its surroundings. Building along Cohasset Road will provide a buffer for traffic noise to residential properties to the East.

5. *The general landscape design, including the color, location, size, texture, type, and coverage of plant materials, and provisions for irrigation and maintenance, and protection of landscape elements, have been considered to ensure visual relief, to complement structures, and to provide an attractive environment.*

The proposed landscape includes a variety of trees and shrubs along the street frontages and parking lot. Shrubs and trees are in accurate locations provide visual relief around the new building and enhance the existing site. Outdoor patios are provided for patients and staff with complimentary landscaping. Planting would also minimize irrigation demands through drought tolerant plants while also providing adequate shade over the parking lot.

RECOMMENDED CONDITIONS OF APPROVAL

1. The front page of all approved building plans shall note in bold type face that the project shall comply with Architectural Review 23-07 (New Smile Now). No building permits related to this approval shall receive final approval without prior authorization of Community Development Department Planning staff.
2. All development shall comply with all other State and local Code provisions, including those of the City of Chico Community Development and Public Works Departments. The permittee is responsible for contacting these offices to verify the need for compliance.
3. All approved building plans and permits shall note that wall-mounted utilities and roof or wall penetrations, including vent stacks, utility boxes, exhaust vents, gas meters and similar equipment, shall be screened by appropriate materials and colors. All parapet caps and other metal flashing shall be painted, consistent with the approved building colors. Adequate screening shall be verified by Planning staff prior to issuance of a certificate of occupancy.
4. All exterior lighting shall be shielded and directed downward to avoid light spillage onto adjacent properties.
5. All new electric, telephone, and other wiring conduits for utilities shall be placed underground in compliance with CMC 19.60.120.
6. As required by CMC 16.66, trees removed shall be replaced as follows:
 - a. On-site. For every six inches of DBH removed, a new 15-gallon tree shall be planted on-site. Replacement trees shall be of similar species, unless otherwise approved by the urban forest manager, and shall be placed in areas dedicated for tree plantings. New plantings' survival shall be ensured for three years after the date of planting and shall be verified by the applicant upon request by the director. If any replacement trees die or fail within the first three years of their planting, then the applicant shall pay an in-lieu fee as established by a fee schedule adopted by the City Council.
 - b. Off-site. If it is not feasible or desirable to plant replacement trees on-site, payment of an in-lieu fee as established by a fee schedule adopted by the City Council shall be required.

- c. Replacement trees shall not receive credit as satisfying shade or street tree requirements otherwise mandated by the municipal code.
 - d. Tree removal shall be subject to the in-lieu fee payment requirements set forth by Chico Municipal Code (CMC) 16.66 and fee schedule adopted by the City Council.
 - e. All existing trees on the site are approved for removal.
7. The applicant shall defend, indemnify, and hold harmless the City of Chico, its boards and commissions, officers and employees against and from any and all liabilities, demands, claims, actions or proceedings and costs and expenses incidental thereto (including costs of defense, settlement and reasonable attorney's fees), which any or all of them may suffer, incur, be responsible for or pay out as a result of or in connection with any challenge to or claim regarding the legality, validity, processing or adequacy associated with: (i) this requested entitlement; (ii) the proceedings undertaken in connection with the adoption or approval of this entitlement; (iii) any subsequent approvals or permits relating to this entitlement; (iv) the processing of occupancy permits and (v) any amendments to the approvals for this entitlement. The City of Chico shall promptly notify the applicant of any claim, action or proceeding which may be filed and shall cooperate fully in the defense, as provided for in Government code section 66474.9.

PUBLIC CONTACT

Public notice requirements are fulfilled by mailing a 10-day public hearing notice to all landowners and residents within 500 feet of the site and by posting the agenda at least 10 days prior to the ARHPB meeting.

DISTRIBUTION

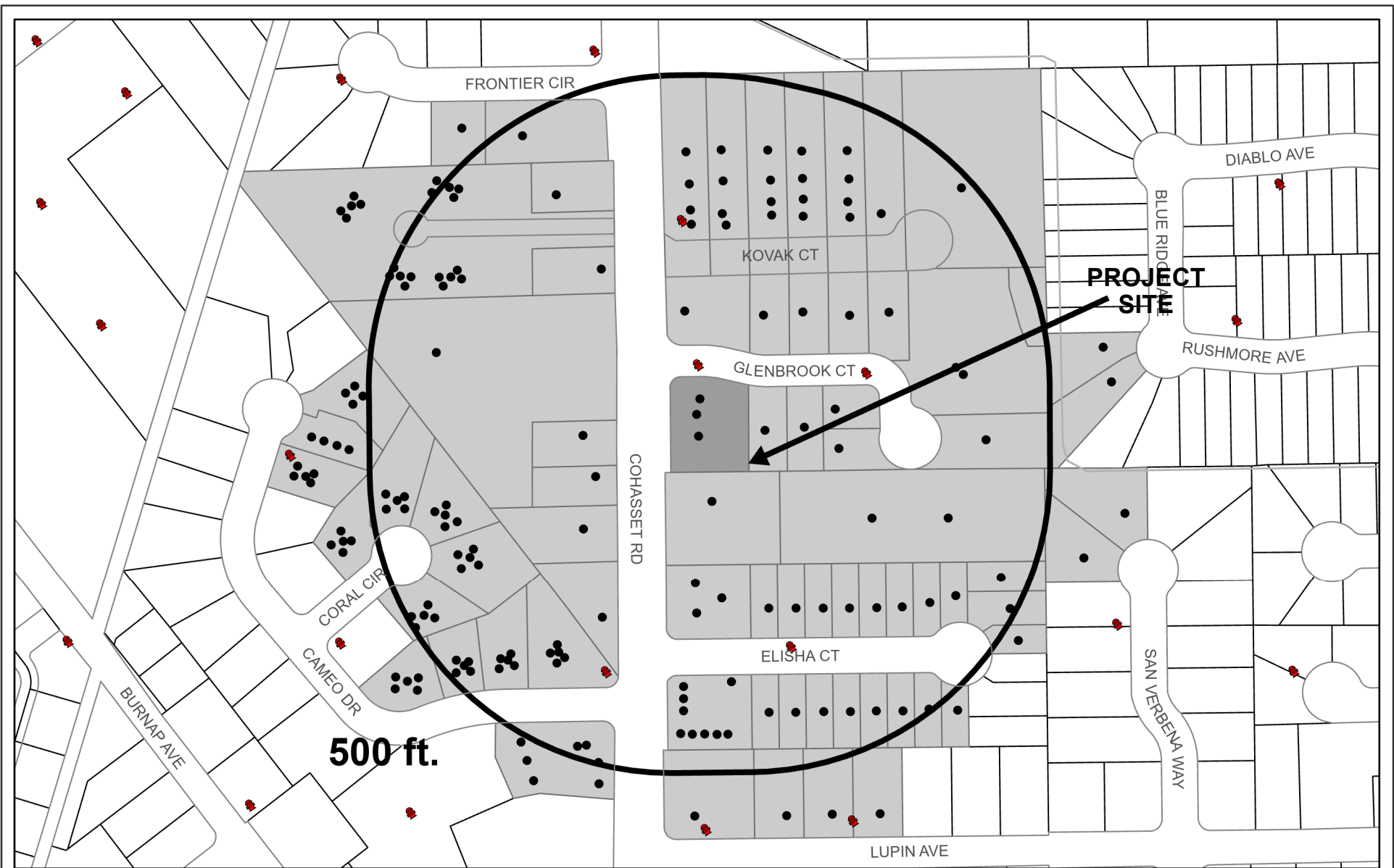
Mike Sawley, Principal Planner
Madison Driscoll, Associate Planner
File: AR 23-07

External (2)

Pat Conroy, Conroy Construction, via email: pat@conroyinc.com
Jamie Jenks, RGA, via email: jamie@rgachico.com

ATTACHMENTS

- A. Location Map
- B. Site Plan
- C. Elevations
- D. Photometric Plan
- E. Landscape Plan






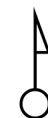
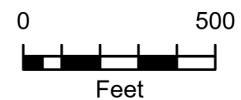
AR 23-07 (New Smile Now)

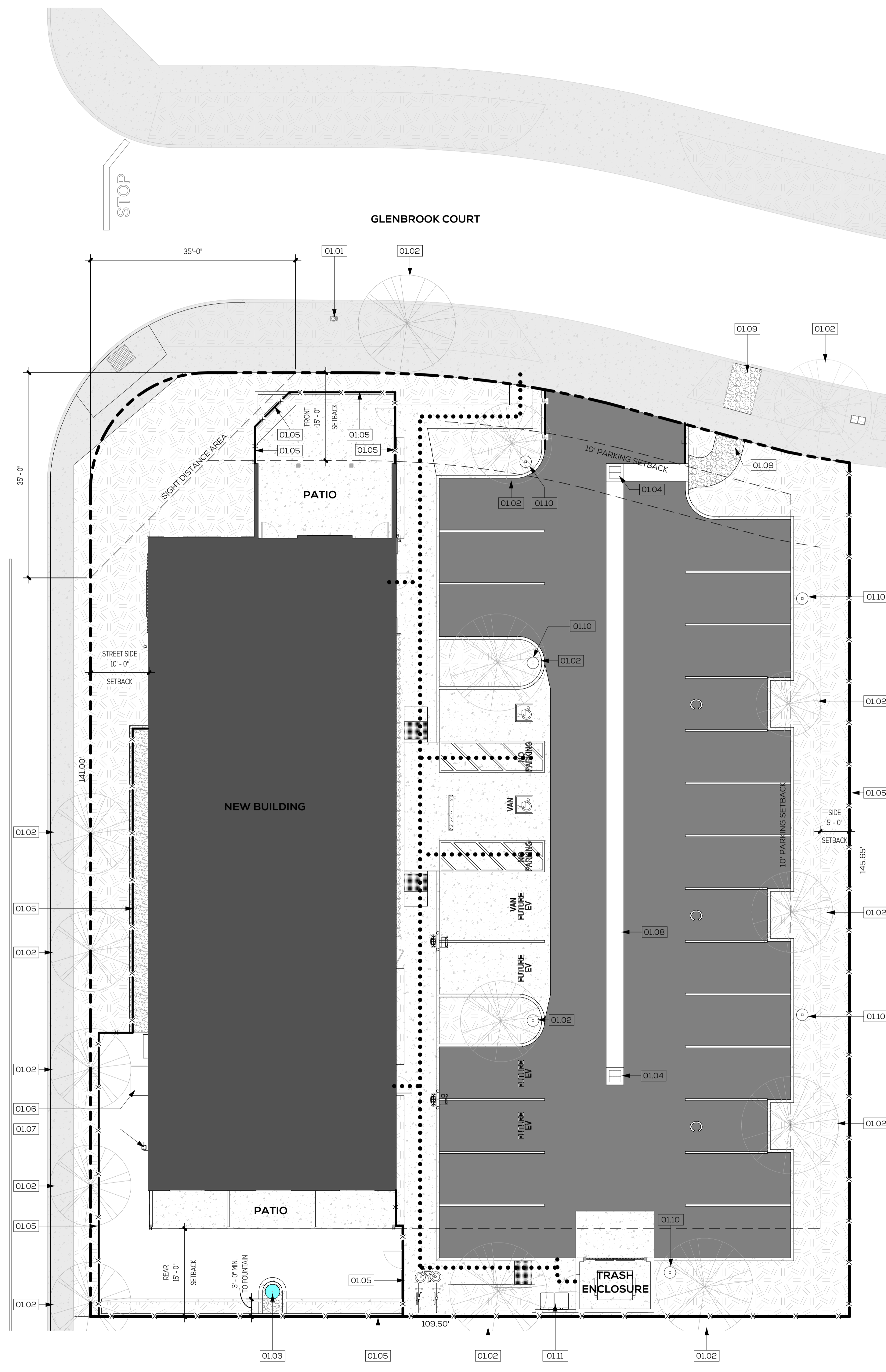
Southeast corner of Cohasset Road and Glenbrook Court

015-070-010

Date Saved: 11/1/2023 4:06 PM

-  Fire Hydrants
-  Noticed Address
-  Noticed Parcel





GENERAL NOTES
 1. ACCESSIBLE SITE CIRCULATION ROUTE SHALL COMPLY WITH CIRCULATION ROUTE NOTES
 2. COMPONENTS OF THIS SITE PLAN HAVE BEEN DEPICTED WITH THE USE OF AERIAL SITE IMAGERY AND NOT FIELD SURVEY DATA. REFER TO CIVIL DWGS FOR EXACT LOCATIONS AND PLACEMENTS.

SITE CIRCULATION ROUTE NOTES
 ACCESSIBLE "PATH OF TRAVEL" (P.O.T.), AS INDICATED, IS A COMMON BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE. EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. THE PATH SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. PASSING SPACES (11B-403.5.3) AT LEAST 60" X 60" ARE LOCATED NOT MORE THAN 200' APART. THE CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL AND IS LESS THAN 5% UNLESS OTHERWISE INDICATED. (P.O.T.) SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (11B-307.4) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (11B-307.2).

- | | | | |
|--|--|--|---------------------------|
| | NEW CONCRETE | | NEW BUILDING |
| | LANDSCAPING | | GRAVEL GROUNDCOVER |
| | ASPHALT PAVING | | WATER FEATURE |
| | COBBLE | | EXISTING SIDEWALK |
| | EXISTING BUILDING TO BE DEMOLISHED | | EXISTING CITY LANDSCAPING |
| | PARKING SPACE COUNT | | |
| | ACCESSIBLE PARKING SPACE, SEE CIVIL DWGS | | |
| | BICYCLE RACK, SEE DETAIL x/xx & LANDSCAPE PLANS PROVIDE (2) 2' x 6' PARKING SPACES | | |
| | FUTURE ELECTRICAL VEHICLE CHARGING STATION | | |

- | | |
|--|-----------------------------------|
| | PROPERTY LINE |
| | ACCESSIBLE SITE CIRCULATION ROUTE |
| | FIRE LANE |
| | UTILITY EASEMENT |
| | ZONING SETBACK |
| | FENCE/PRIVACY SCREEN |
| | ADJACENT PROPERTY LINE |

VEHICLE PARKING REQUIRED	DENTAL LAB/CLINIC @ 1:375 =	23 SPACES
TOTAL VEHICLE PARKING REQUIRED:		23 SPACES
VEHICLE PARKING PROVIDED	STANDARD PARKING SPACES	20 SPACES
	COMPACT PARKING SPACES	3 SPACES
	ACCESSIBLE PARKING SPACES	2 SPACES (1 VAN, 1 REGULAR) (CBC 11B-208.2)
TOTAL VEHICLE PARKING PROVIDED:		25 SPACES
FUTURE ELECTRIC VEHICLE CHARGING SPACES		4 SPACES (CGBSC 5.106.5.3.1)
BIKE PARKING REQUIRED	10% OF VEHICLE SPACES	3 SPACES
BIKE PARKING PROVIDED	U-RACK PER SITE PLAN/LANDSCAPE PLAN	4 SPACES

SITE AREA COVERAGE	20,250 SITE AREA
	4,682 BUILDING AREA
	8,406 PARKING AREA
	65% SITE BUILDING COVERAGE - 70% SITE COVERAGE MAX.
	35% LANDSCAPE - 30% LANDSCAPE MIN.

KEYNOTES	
01.01	EXISTING FIRE HYDRANT
01.02	TREE, SEE LANDSCAPE PLANS
01.03	WATER FOUNTAIN, SEE LANDSCAPE PLANS
01.04	GRATE, SEE CIVIL PLANS
01.05	PRIVACY SCREEN/FENCE
01.06	ELECTRICAL METER LOCATED BEHIND SCREENING, SEE ELECTRICAL PLANS FOR METER
01.07	GAS METER, SEE PLUMBING PLANS
01.08	VALLEY GUTTER, SEE CIVIL PLANS
01.09	ROCK LINED SWALE, SEE CIVIL PLANS
01.10	EXTERIOR POLE LIGHT, SEE ELECTRICAL PLANS
01.11	RECYCLING BINS

1 - SITE PLAN
 SCALE: 1" = 10'-0"



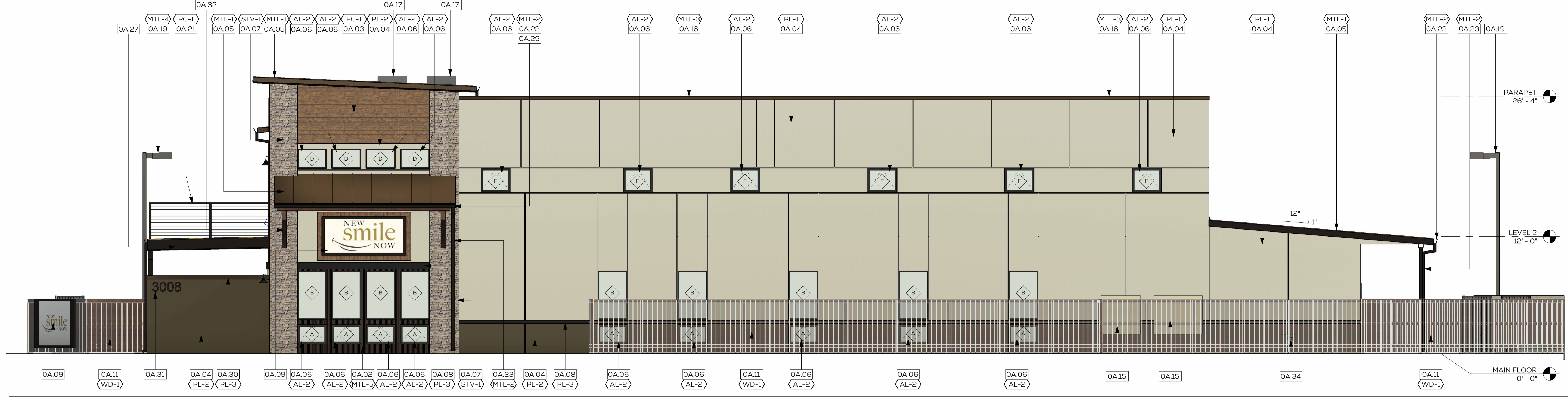
NEW SMILE NOW

SITE PLAN

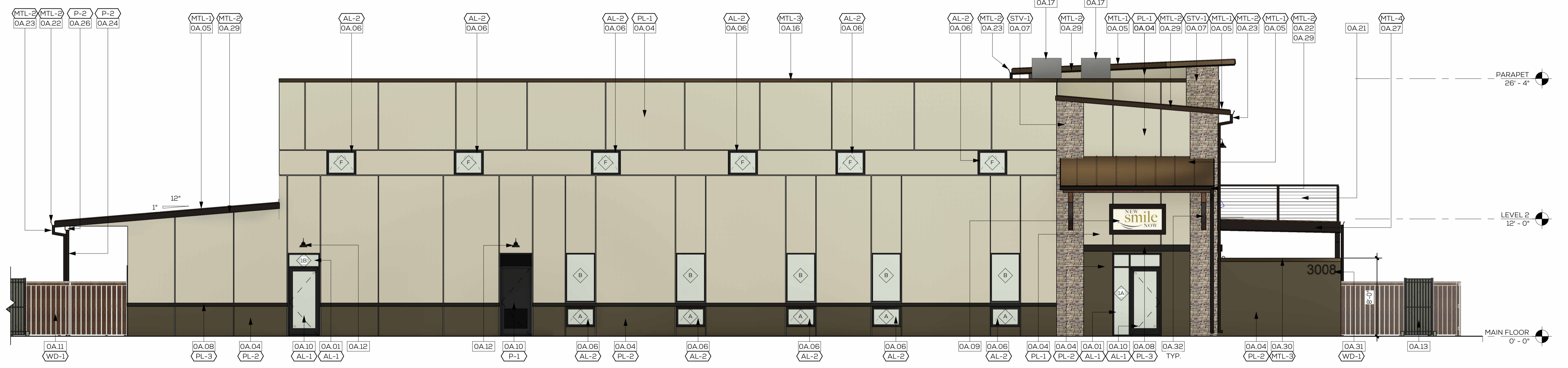
10/16/23

Attachment B

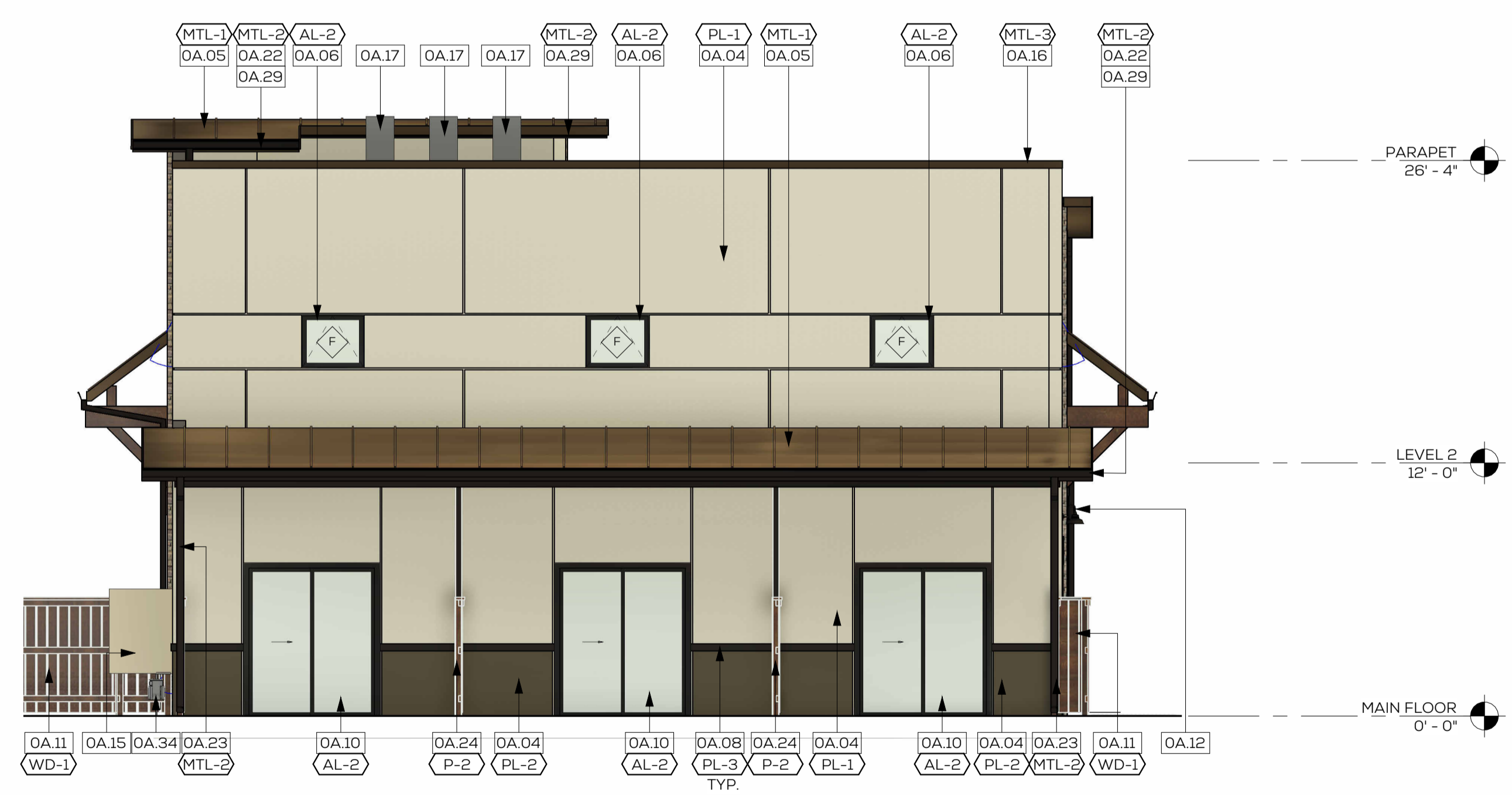
DRAWING SCALE: 1" = 10'-0"



1 - WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 - EAST ELEVATION
SCALE: 3/16" = 1'-0"



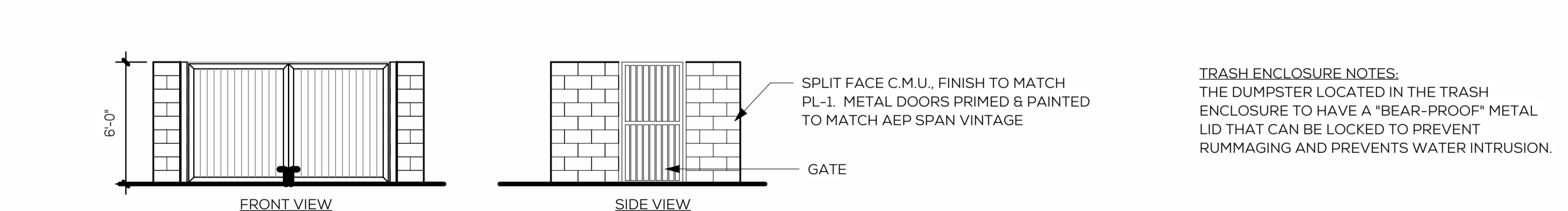
3 - SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



5 - TRASH ENCLOSURE ELEVATIONS
SCALE: 3/16" = 1'-0"



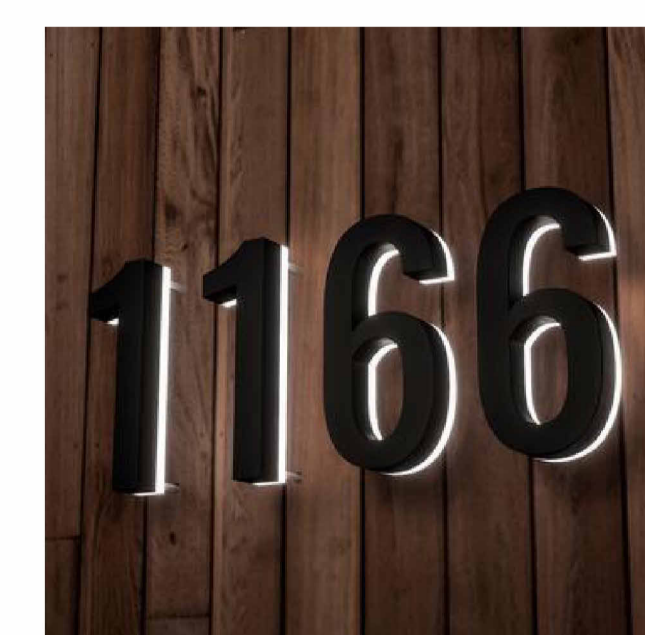
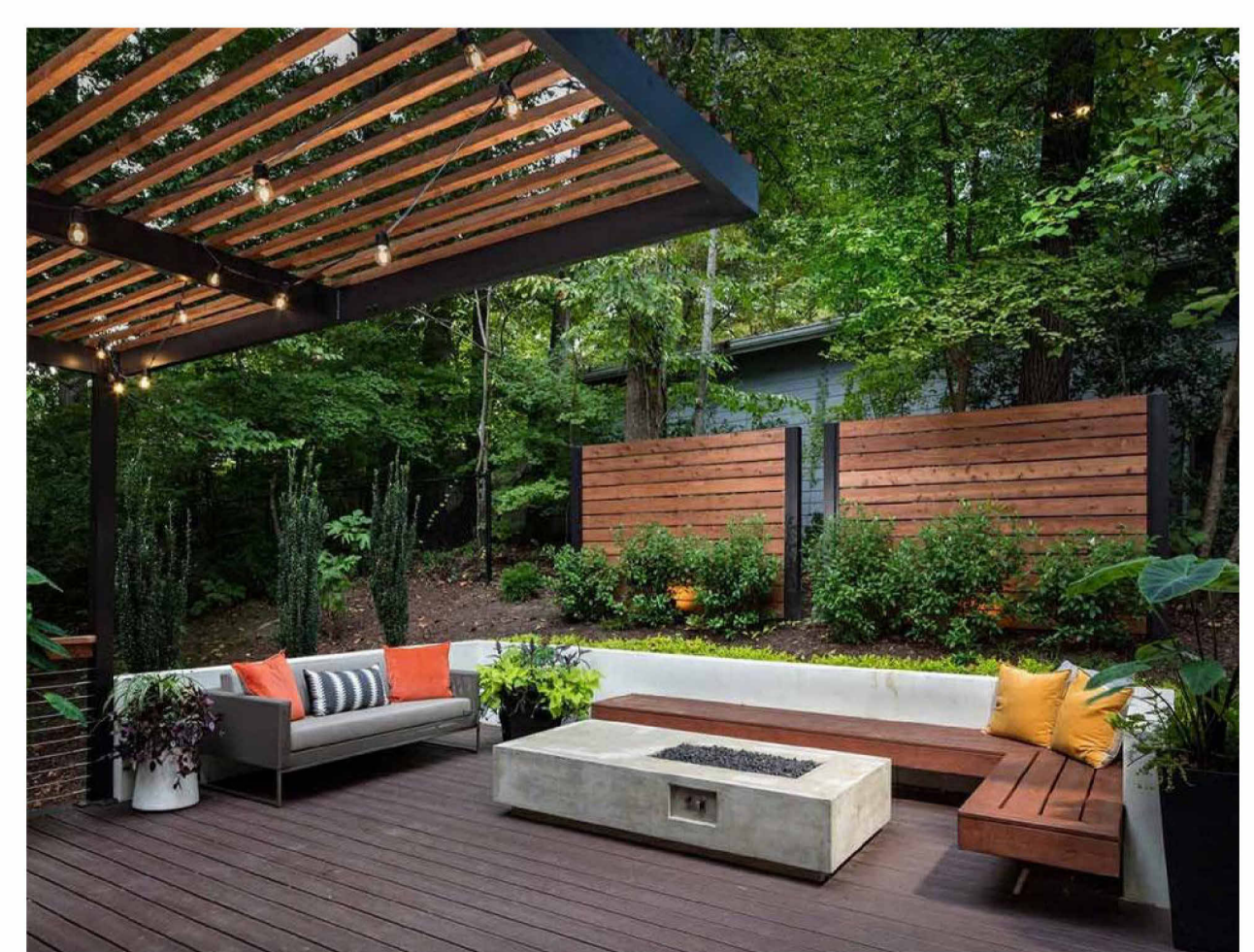
4 - NORTH ELEVATION
SCALE: 3/16" = 1'-0"



6 - TRASH ENCLOSURE NOTES & DETAILING
SCALE: 3/16" = 1'-0"

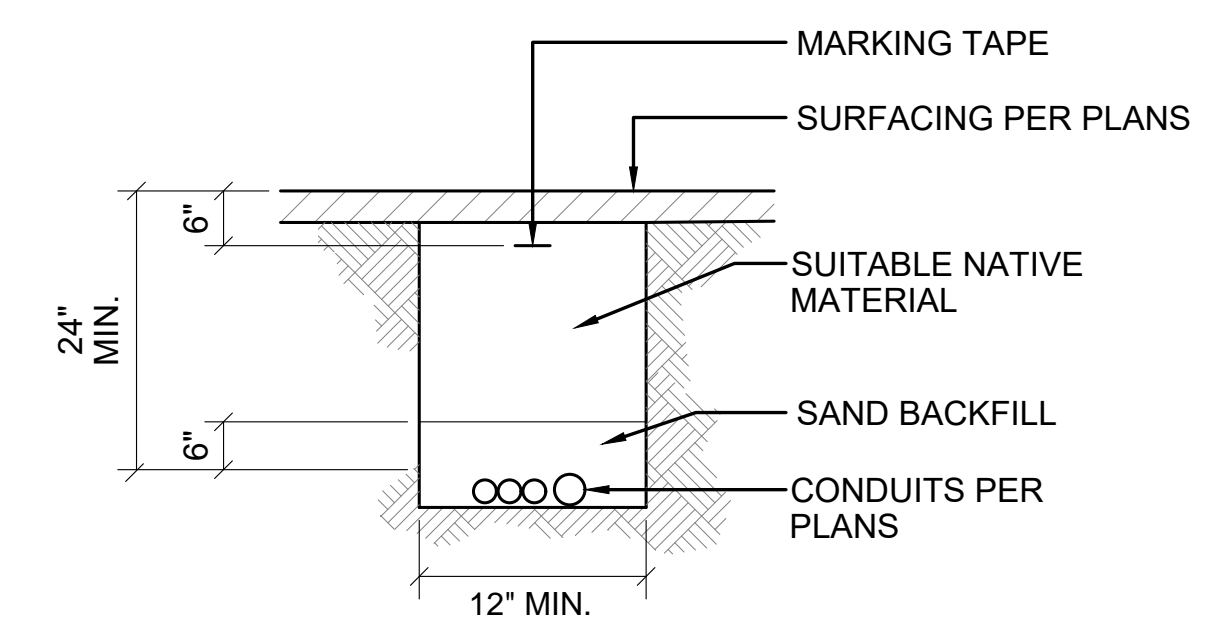
KEYNOTES	
OA.01	STOREFRONT WINDOW, SEE SCHEDULE
OA.02	VERTICAL METAL SIDING
OA.03	HORIZONTAL FIBER CEMENT SIDING
OA.04	PLASTER SYSTEM
OA.05	STANDING SEAM METAL ROOF
OA.06	WINDOW, SEE SCHEDULE
OA.07	STONE VENEER
OA.08	TRIM BOARD
OA.09	SIGN LOCATION
OA.10	DOOR PER SCHEDULE
OA.11	PRIVACY SCREENING/FENCE
OA.12	EXTERIOR LIGHT
OA.13	GATE
OA.14	FIREPLACE
OA.15	ELECTRICAL PANEL & MPOE LOCATED BEHIND FENCE. PAINT TO MATCH MAIN COLOR OF BUILDING.
OA.16	PARAPET CAP
OA.17	MECHANICAL ROOF TOP UNIT
OA.19	EXTERIOR POLE LIGHT, TBD
OA.21	CABLE RAILING
OA.22	GUTTER
OA.23	DOWNSPOUT
OA.24	SUPPORT COLUMN
OA.26	STRUCTURAL BEAM
OA.27	DECK TRIM
OA.28	SOFFIT
OA.29	FASCIA
OA.30	WALL CAP
OA.31	ADDRESS LOCATION
OA.32	HEAVY TIMBERS, STAIN TO MATCH FINISH ON FIBER CEMENT SIDING
OA.33	TILE SURROUND AT FIREPLACE
OA.34	GAS METER LOCATED BEHIND FENCE

FINISH DEFINITIONS:	
AL-1	STOREFRONT, BLACK ALUMINUM WINDOWS & SLIDING DOORS, MILGARD BLACK
AL-2	
FC-1	FIBER CEMENT, NICHHA - VINTAGE WOOD, CEDAR
MTL-1	STANDING SEAM METAL ROOF, AEP SPAN - DARK BRONZE
MTL-2	GUTTER/DOWNSPOUT/FASCIA: MATCH MTL-1
MTL-3	PARAPET CAP/WALL CAP, MATCH MTL-1
MTL-4	DECK TRIM/SOFFIT, MATCH MTL-1
MTL-5	VERTICAL METAL SIDING, AEP SPAN - VINTAGE
P-1	HOLLOW METAL DOORS, PRIME AND PAINT - SW 6990 CAVIAR
P-2	COLUMNS & BEAMS, PRIME AND PAINT - SW 7675 SEAL SKIN
PC-1	CABLE RAIL, POWDER COAT, DRYLAC, DARK BRONZE ANODIZED EFFECT
PL-1	EXTERIOR PLASTER SYSTEM, SMOOTH FINISH - OMEGAFLEX FINE ACRYLIC TOP COAT - INT COLOR, SW 7637 OYSTER WHITE
PL-2	EXTERIOR PLASTER SYSTEM, SMOOTH FINISH - OMEGAFLEX FINE ACRYLIC TOP COAT - INT COLOR, SW 7046 ANONYMOUS
PL-3	EXTERIOR PLASTER SYSTEM, SMOOTH FINISH - OMEGAFLEX FINE ACRYLIC TOP COAT - INT COLOR, SW 7048 URBANE BRONZE
PT-1	TILE, EMSER, HANGAR COLOR, ASH SATIN FINISH, 12X24
STV-1	STONE VENEER, CORONADO STONE, ECHO RIDGE - COUNTRY LEDGESTONE
WD-1	WOOD FENCE, SHERWIN WILLIAMS - WOODSCAPES, SEMI-TRANSPARENT POLYURETHANE - SW 3524 CHESTNUT



THESE ELECTRICAL DRAWINGS ARE A DESIGN BUILD SET OF DRAWINGS DESIGNED AND PRODUCED BY EGAN ELECTRIC FOR INSTALLATION SOLELY BY EGAN ELECTRIC. THESE DRAWINGS ARE NOT FOR REPRODUCTION AND USE BY ANY OTHER CONTRACTOR OR ENTITY AND ARE NOT TRANSFERABLE.

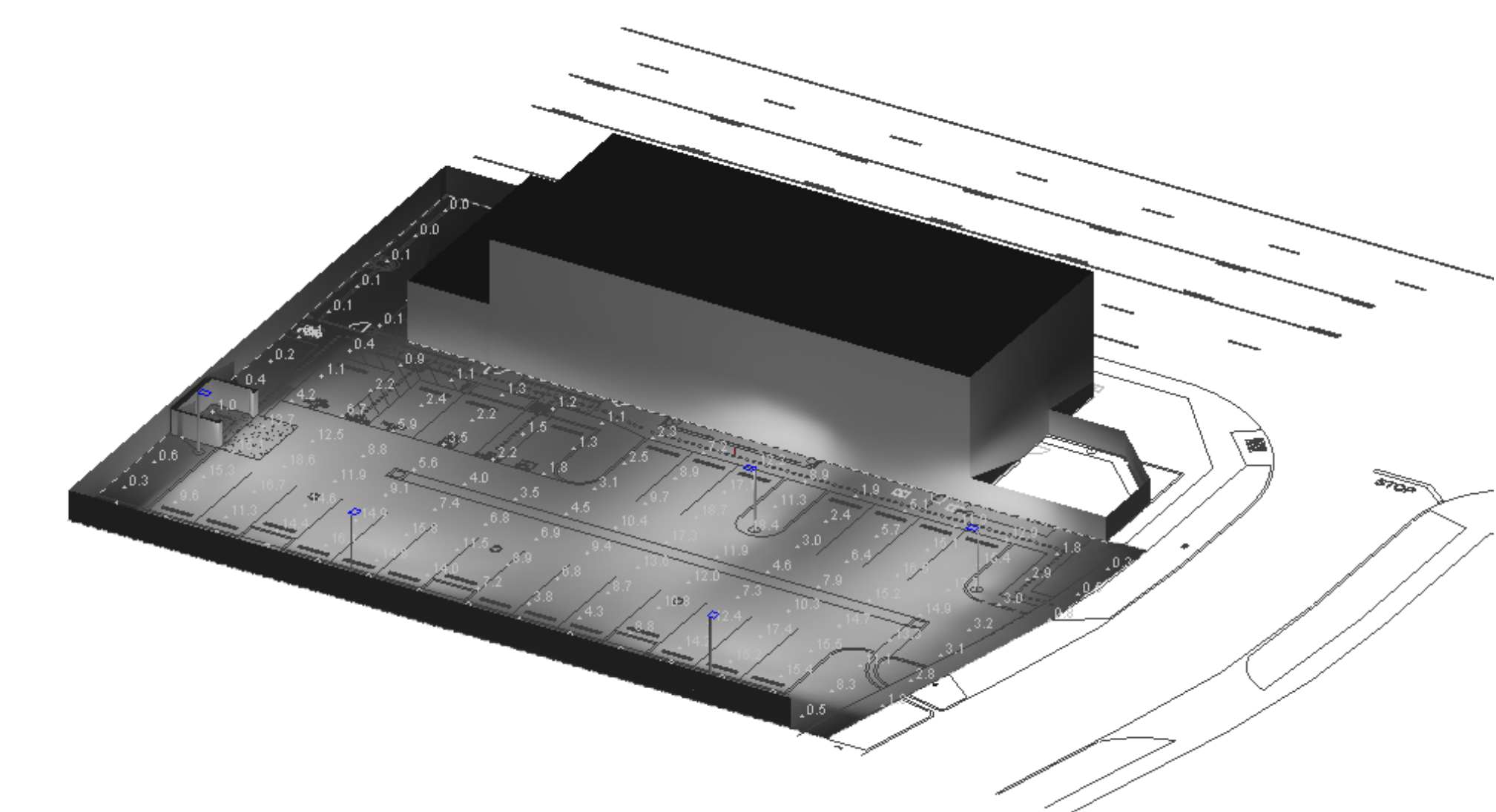
Revision:	Date:	By:
△	07/05/2023	



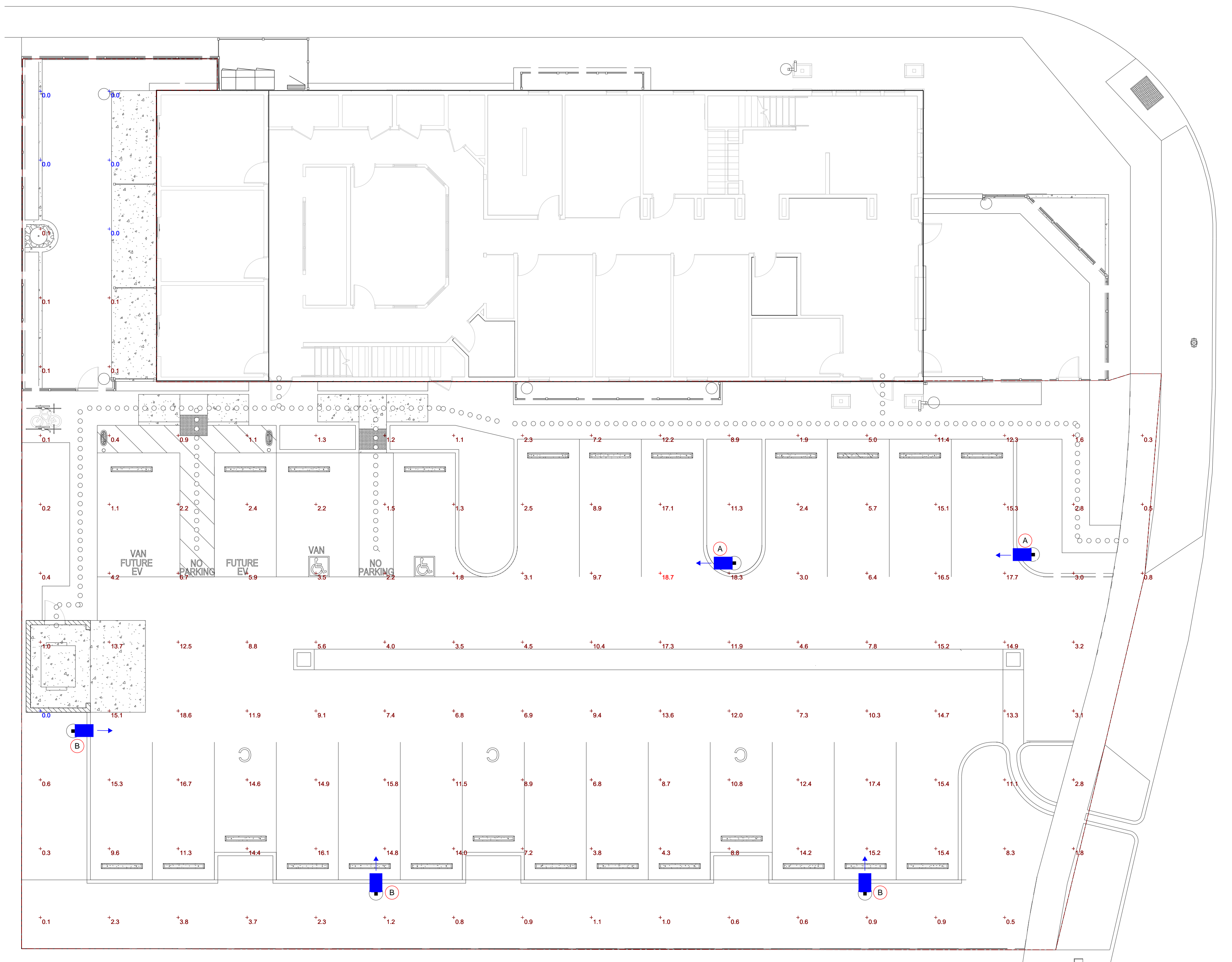
ELECTRICAL TRENCH DETAIL
Scale = None

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
■	A		2	Lithonia Lighting	DSX2 LED P3 40K 80CRI 1704 MVOLT SPA PIR EGSR OBLXD	D-Series Size 2 Area Luminaire P3 Performance Package 4000K CCT 80 CRI Type 2 Medium External Glass Shield and Motion Sensor.	1	22258	1	219.4011	Max: 20219cd
■	B		3	Lithonia Lighting	DSX2 LED P3 40K 80CRI 1704 MVOLT SPA PIR EGSR OBLXD	D-Series Size 2 Area Luminaire P3 Performance Package 4000K CCT 80 CRI Type 4 Extreme Backlight Control External Glass Shield and Motion Sensor.	1	18664	1	219.4	Max: 17871cd

ELECTRICAL SITE LIGHTING LUMINAIRE SCHEDULE

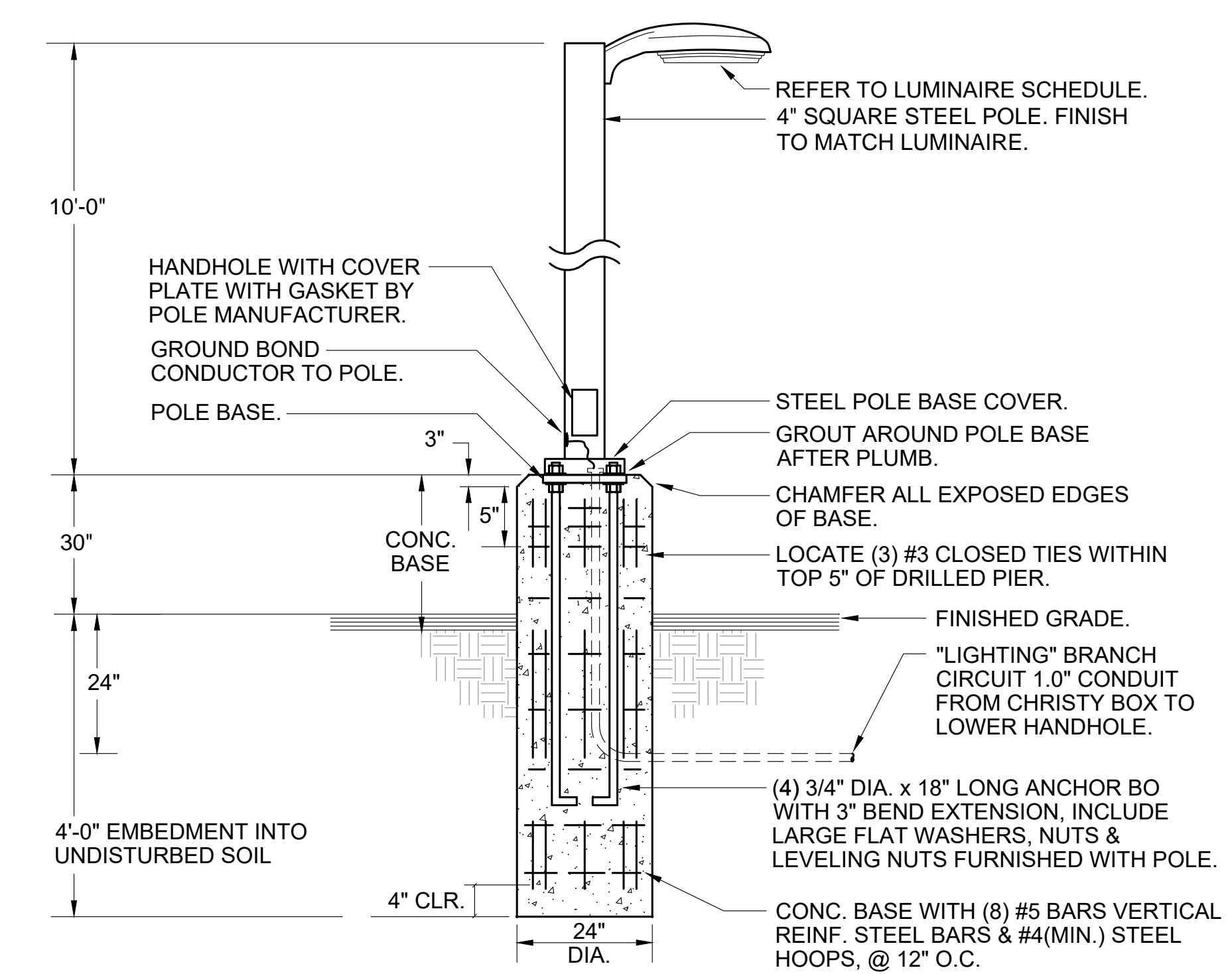


LIGHTING PHOTOMETRICS - PERSPECTIVE PLAN
Scale = None



Plan View
Scale - 1" = 10ft

SITE LIGHTING AND PHOTOMETRICS
Scale 1" = 10'-0"



LIGHT POLE BASE DETAIL
Scale = None

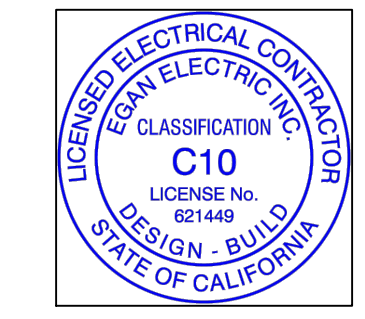


EGAN ELECTRIC INC

2625 AZTEC DRIVE
SUITE C
CHICO, CA. 95928

530-345-7264
www.eganelectric.com

LIC. C10 #621449

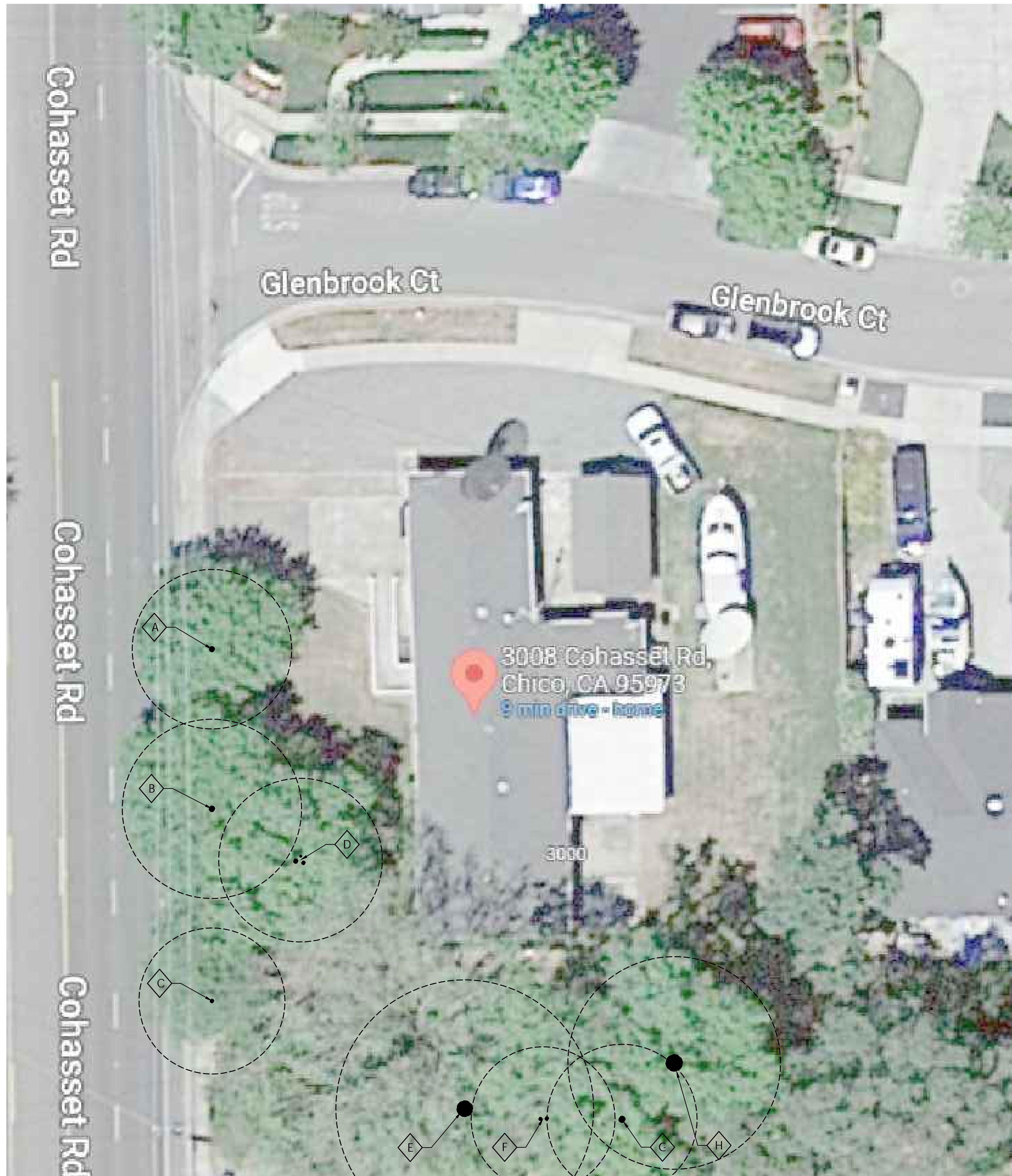


Philip Egan
4/29/2023

SITE LIGHTING / PHOTOMETRICS

Date: 4/17/2023
Reviewed:
Drawn:
Job: KREMER DENTAL, 2023
Sheet:

E3.3



TREE MITIGATION TABLE

TREE ID NUMBER	TREE SPECIES	DIAMETER (DBH)	REMOVE/RETAIN	MITIGATION REQUIREMENT	REMARKS
A	CHINESE PISTACHE	13"	REMOVE		CITY OF CHICO STREET TREES. MITIGATION TO BE DETERMINED BY THE CITY OF CHICO URBAN FORESTER. DBH FOR THESE TREES IS NOT INCLUDED IN THESE CALCULATIONS DETERMINING TOTAL DBH OF TREES TO BE REMOVED.
B	CHINESE PISTACHE	14"	REMOVE		
C	CHINESE PISTACHE	9"	REMOVE		
D	MODESTO ASH	11", 9", 5"	REMOVE	YES	78 INCH AGGREGATE CIRCUMFERENCE
E	MODESTO ASH	40"	REMOVE	YES	
F	CAMPHOR	9", 8"	REMOVE	YES	56 INCH AGGREGATE CIRCUMFERENCE
G	CHINESE PISTACHE	8"	REMOVE	NC	LESS THAN 18" DBH
H	MODESTO ASH	42"	REMOVE	YES	
TOTAL DBH OF QUALIFYING TREES REMOVED		124"	21 REPLACEMENT TREES OR IN-LIEU FEES AMOUNTING TO \$12,978 (\$618/ 6" DBH TO BE REMOVED)		

TREE REMOVAL NOTES

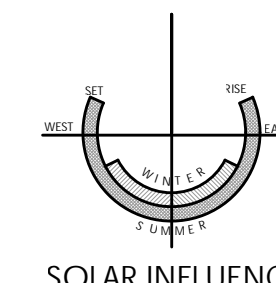
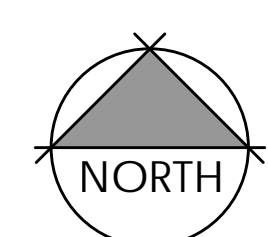
1. THIS TREE REMOVAL PLAN HAS BEEN PREPARED IN ACCORDANCE WITH CMC 16.66.
2. PLEASE NOTE REMOVAL OF STREET TREES WILL TRIGGER MITIGATION UNDER CMC 14.40 STREET TREE LAW.
3. PLEASE CONTACT URBAN FOREST MANAGER RICHARD.BAMLET@CHICOCA.GOV FOR TREE REMOVAL PERMIT AND WITH ANY QUESTIONS.

NEW SMILE NOW

TREE REMOVAL PLAN

(PAGE 1 OF 4)

PREPARED FOR:
RUSSELL GALLAWAY ASSOCIATES
 115 MEYERS STREET, ST #110
 CHICO, CALIFORNIA 95928



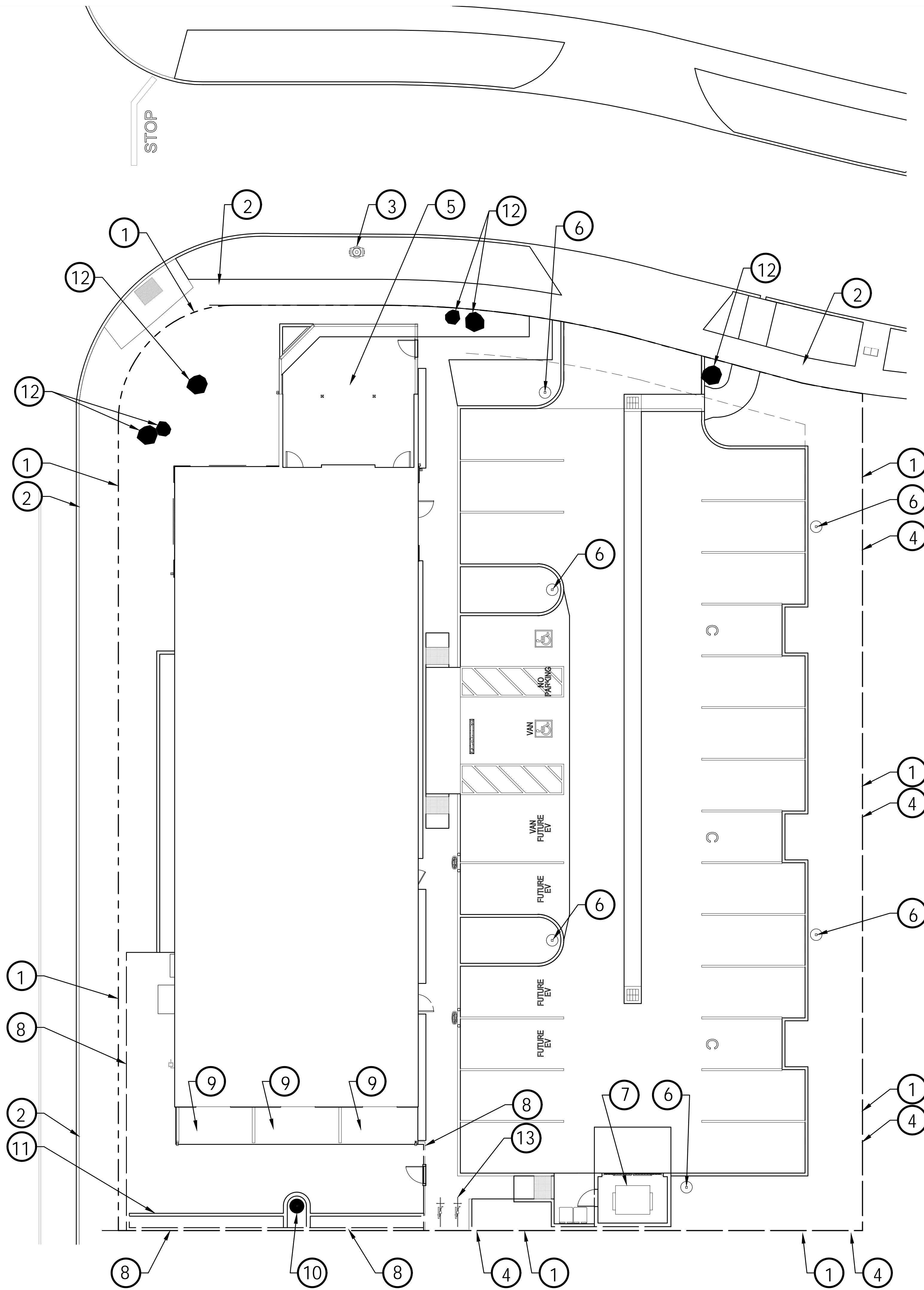
PREPARED BY:



BRIAN FIRTH LANDSCAPE ARCHITECT, INC.
 627 BROADWAY, SUITE 220, CHICO, CALIFORNIA 95928
 PHONE: (530) 899-1130
www.BFLAdesign.com www.facebook.com/BFLAdesign

BFLA PROJECT NUMBER: 2335
 RGA PROJECT NUMBER: 22-700
 DATE: 10-13-2023

Attachment E



PLAN LEGEND

SYMBOL	DESCRIPTION
①	PROPERTY LINE
②	EXISTING CITY SIDEWALK
③	EXISTING FIRE HYDRANT (TO REMAIN)
④	6 FOOT HIGH WOOD FENCE WITH CAP (STEP DOWN TO 3' AS REQUIRED TO COMPLY WITH CMC 19.60.060).
⑤	PATIC
⑥	AREA LIGHT. LED 'SHOEBOX' STYLE. 12' HEIGHT WITH GLARE CUT-OFF SHIELDS AS REQUIRED TO PREVENT LIGHT SPILLAGE ONTO ADJACENT PROPERTIES. SEE PRELIMINARY DESIGN DEVELOPMENT SHEET
⑦	TRASH ENCLOSURE (PER ARCHITECT)
⑧	6 FOOT HIGH MASONRY WALL (TO COMPLY WITH CMC 19.60.060).
⑨	WOODEN DECKING
⑩	SURGERY ROOM POINT OF INTEREST. SEE PRELIMINARY DESIGN DEVELOPMENT SHEET. (PRIVATE GARDEN AREA. NOT ACCESSIBLE TO PUBLIC)
⑪	RAISED MASONRY PLANTER. 3 FOOT HEIGHT.
⑫	30'- 36" DIAMETER MOSS AND LICHEN COVERED FIELDSTONE BOULDERS
⑬	BICYCLE RACKS (4 BIKE CAPACITY). SEE PRELIMINARY DESIGN DEVELOPMENT SHEET

NEW SMILE NOW

PRELIMINARY SITE PLAN

(PAGE 2 OF 4)

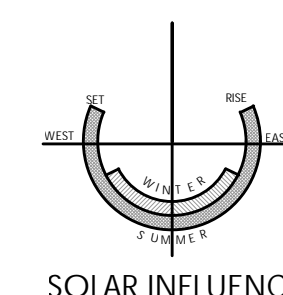
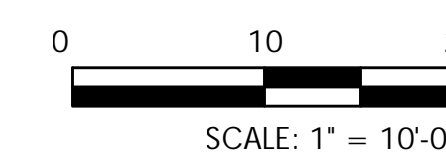
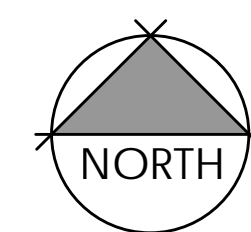
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 DATE: 10-13-2023

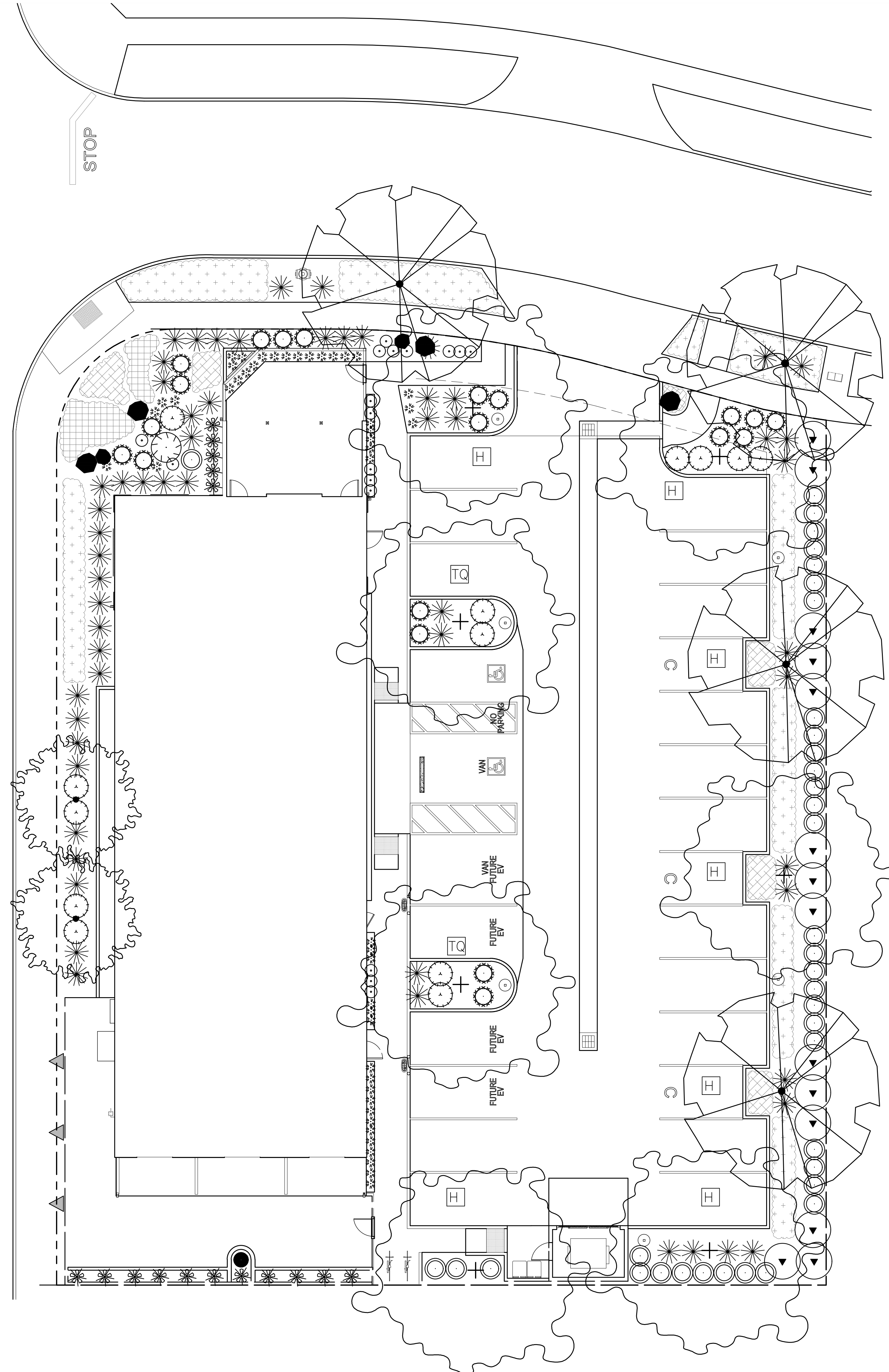
PREPARED BY:

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PREPARED FOR:

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 115 MEYERS STREET, ST #110
 CHICO, CALIFORNIA 95928





SHADE CALCULATIONS

DESCRIPTION	SHADE AREA	QUANTITY	TOTAL	PERCENT
TOTAL PARKING AND BACK-UP AREA			7,444 SF	
35 FOOT DIAMETER TREES				
Q	240 SF	C	C	C
H	481 SF	7	3,367 SF	45%
TC	721 SF	2	1,442 SF	19%
F	962 SF	C	C	C
20 FOOT DIAMETER TREES				
Q	78 SF	C	C	C
H	157 SF	C	C	C
TC	235 SF	C	C	C
F	314 SF	C	C	C
TOTAL SHADE AREA PROVIDED			4,809 SF	64%

PARKING LOT LANDSCAPE

DESCRIPTION	AREA	PERCENT
PARKING LOT PAVING	7,444 SF	
PARKING LOT LANDSCAPE	381 SF	5%

SEE PRELIMINARY DESIGN DEVELOPMENT SHEET (SHEET 4 OF 4) FOR PLANT IMAGES

PLANT LIST

SYMBOL	LATIN NAME/ COMMON NAME	SIZE	QUANTITY
TREES			
	CELTIS SINENSIS CHINESE HACKBERRY	15 GAL	4
	ZELKOVA SERRATA 'SCHMIDTLOW' WIRELESS ZELKOVA	15 GAL	7
	MAGNOLIA GRANDIFLORA 'LITTLE GEM' LITTLE GEM MAGNOLIA	15 GAL	2
SHRUBS AND GRASSES			
	PENNISETUM ALOPECUROIDES 'HAAMELN' FOUNTAIN GRASS	1 GAL	47
	NANDINA NANA PURPUREA DWARF HEAVENLY BAMBOO	1 GAL	17
	BERBERIS THUNBERGII 'CRIMSON PYGMY' (ATROPURPUREA NANA) CRIMSON PYGMY DWARF JAPANESE BARBERRY	1 GAL	20
	PHYLLOSTACHYS AUREA FISHPOLE BAMBOO	1 GAL	16
	NANDINA DOMESTICA 'COMPACTA' COMPACT HEAVENLY BAMBOO	5 GAL	37
	PINUS MUGO VAR. PUMILIC DWARF MUGO PINE	5 GAL	13
	DIETES IRIDOIDES AFRICAN IRIS	5 GAL	60
	MAHONIA AQUIFOLIUM OREGON GRAPE	5 GAL	14
	PICEA PUNGENS 'GLAUCA PROSTRATA' PROSTRATE COLORADO BLUE SPRUCE	5 GAL	
VINES			
	PARTHENOCISSUS TRICUSPIDATA BOSTON IVY	1 GAL	3
GROUND COVER			
	VERBENA PERUVIANA PERUVIAN VERBENA	1 GAL	183 SF
	ARCTOSTAPHYLOS UVA URSI KINNICK KINNICK	1 GAL	953 SF
	JUNIPERUS CONFERTA 'BLUE PACIFIC' BLUE PACIFIC SHORE JUNIPER	1 GAL	129 SF

NEW SMILE NOW

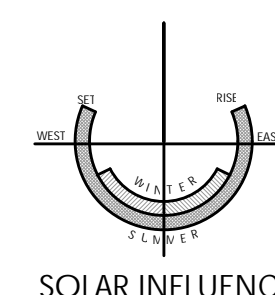
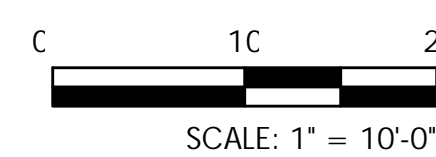
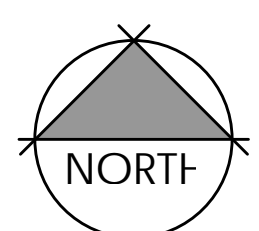
PRELIMINARY SITE PLAN

(PAGE 3 OF 4)

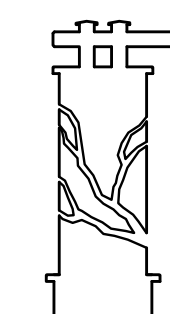
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RGA PROJECT NUMBER: 22-70C
DATE: 10-13-2023

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Attachment E

MODERN BICYCLE RACK



3/4" LAVA ROCK TOP DRESSING (MIXED COLORS)



AREA LIGHT



CELTIS SINENSIS
CHINESE HACKBERRY



ZELKOVA SERRATA
'SCHMIDTLOW'
WIRELESS ZELKOVA



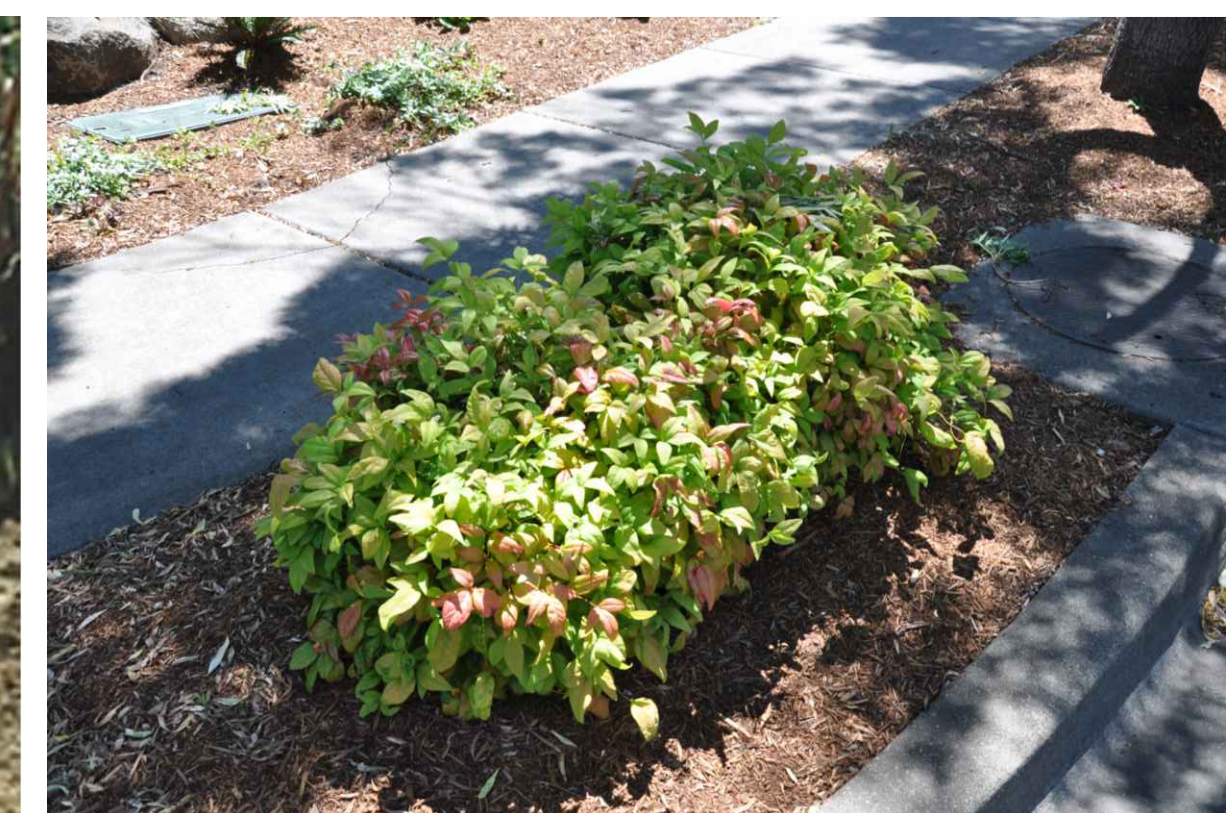
MAGNOLIA GRANDIFLORA 'LITTLE GEM'
LITTLE GEM MAGNOLIA



PENNISETUM ALOPECUROIDES 'HAMELN'
FOUNTAIN GRASS



NANDINA NANA PURPUREA
DWARF HEAVENLY BAMBOO



BERBERIS THUNBERGII 'CRIMSON PYGMY'
(ATROPURPUREA NANA)
CRIMSON PYGMY DWARF JAPANESE BARBERRY



PHYLLOSTACHYS AUREA
FISHPOLE BAMBOO



NANDINA DOMESTICA
HEAVENLY BAMBOO



PINUS MUGO VAR. PUMILIC
DWARF MUGO PINE



DIETES IRIDOIDES
AFRICAN IRIS



MAHONIA AQUIFOLIUM
OREGON GRAPE



PICEA PUNGENS 'GLAUCA PROSTRATA'
PROSTRATE COLORADO BLUE SPRUCE



VERBENA PERUVIANA
PERUVIAN VERBENA



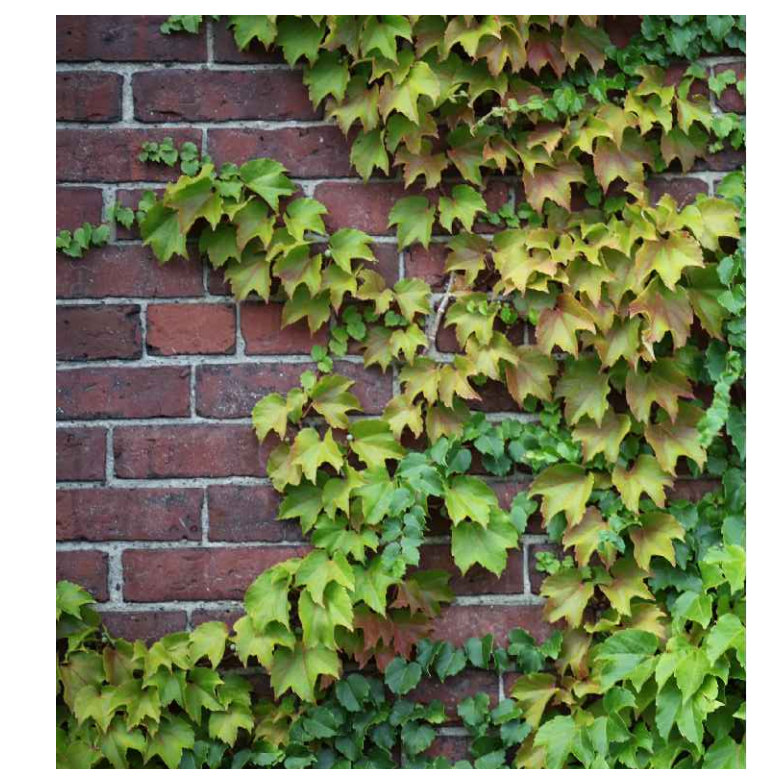
ARCTOSTAPHYLOS UVA URSI
KINNICK KINNICK



JUNIPERUS CONFERTA 'BLUE PACIFIC'
BLUE PACIFIC SHORE JUNIPER



PARTHENOCISSUS TRICUSPIDATA
BOSTON IVY



NEW SMILE NOW

PRELIMINARY SITE PLAN

(PAGE 4 OF 4)

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Attachment E