



Architectural Review and Historic Preservation Board Agenda Report

Meeting Date 4/21/21

DATE: April 9, 2021

Files: AR 21-02

TO: Architectural Review and Historic Preservation Board

FROM: Molly Marcussen, Associate Planner (molly.marcussen@chicoca.gov)
Community Development Department

RE: AR 21-02 (NVADG) – APN 047-560-076 & 047-560-125, 1.26-acre site located
south of Lockheed Avenue, between Marauder Street and Fortress Street

RECOMMENDATION

Staff recommends that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve the project, subject to conditions.

Proposed Motion

I move that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve 21-02 (NVADG), subject to conditions.

BACKGROUND

The proposed project is located on an approximately 1.26-acre site located south of Lockheed Avenue, between Marauder Street and Fortress Street (**Attachment A**, location map). The site is designated Commercial Mixed Use (CMU) on the City of Chico General Plan Diagram and is zoned Airport Commercial (AC) with an AOB2 overlay zone.

The proposed project is comprised of a new single-story metal building approximately 18,400 square feet in size. The building will serve as the headquarters for North Valley Animal Disaster Group (NVADG), replacing temporary facilities currently located at 20th Street and Locust. NVADG utilizes the resources of volunteers to respond during disasters, be it fire, flood or other, to rescue and care for animals in temporary facilities until permanent homes are found or restored. No animals will be housed on-site. The floor plan (**Attachment C**, floor plan) includes space for a large training/meeting room with adjacent food prep area and a smaller conference room. Office space for two to three staff is proposed with a shared work area. Restrooms will include showers. Two larger warehouse-type spaces will house “dry” supplies/equipment and command center/specialized vehicles (**Attachment I**, Architects Description).

NVADG was founded in the late 1990’s and has grown to a volunteer base of over 350 people and has agreements with multiple Community Animal Response Teams across the north state for mutual aid. As natural disasters become more and more common, the need for permanent warehouse, headquarter and training facility has become more prevalent. In 2017, NVADG responded to over nine fires and in 2018 NVADG spent over 78 days caring for over 10,000 animals during the Camp Fire.

Parking and Site Design

Access to the site will be taken from Lockheed Avenue with driveway ingress and egress being shared with properties to the east and west (**see recommended Condition #2**). The proposed building would be situated with the primary public entrances facing toward the northeast parking lot. (**Attachment B**, over all site plan). There will be a covered “breakout” space that faces Lockheed Avenue that will be used during trainings and will also serve as an entrance to the training room. The two warehouse spaces that will be used to store “dry” supplies and house the command center and specialized vehicles will be situated on the southernly portion of the project site.

Parking will be located to both the east and west of the building. The primary use of this space will be office space and warehouse use. Volunteer trainings happen periodically throughout the year and generally take place in the evening outside of normal working business hours. Ample parking is provided throughout the site and off-site parking is included to ensure there is adequate parking during training exercises. The adjacent property to the east is owned by NVADG and will be utilized for excess parking when needed. Bicycle parking is proposed resulting in a total of 10 covered spaces located at the front entrance under the covered exterior area of the building.

Architecture Design

The project complies with all development standards including site coverage, setbacks and building height. The proposed building would be approximately 18,400 square feet in size and with the highest roof pitch being 34 feet. The architecture type is modern and simple, made interesting by the use of materials, colors and functional elements (**Attachment E**, elevations and **Attachment F**). The one-story metal structure is proposed to have exterior walls composed of corrugated metal siding, ground face block, steel columns and aluminum storefront windows. The intent is to emulate agricultural building forms given the organization’s animal-related focus. Colors will be primary cool grays, with red highlights at exposed structural steel (**Attachment D**, colors and materials). The building will have sloped gable roofs with both light and ventilation lanterns to create accents and agricultural architecture references.

Lighting and Landscaping

Project lighting would include eleven parking lot lights with a finished height of 15 feet, wall-mounted downlights, recessed downlights in the covered breezeway areas and pathway lighting (**Attachment F**, Renderings and **Attachment H**, Photometrics). A covered trash enclosure is proposed along the west side of the site mirroring the design and colors of the building, (**Attachment E**, elevations).

The landscape plan shows generous landscape treatment throughout the site (**Attachment G**, landscaping plan). Parking lot shading is calculated to meet 52 percent and would be provided by several types of tree species which include Chinese pistache, crape myrtle, hilly oak, red oak and saw leaf zelkova. A total of 18 new trees will be planted onsite. While the landscape plan generally looks fine, staff added a condition to replace the crape myrtle trees

with a different ornamental species of similar size (**see recommended condition #4**) A bioswale and landscaped walkway is proposed in front of the “breakout” area enhancing the visual appeal from Lockheed Avenue. A variety of colorful shrubs having very low to low water needs would be used throughout including near building entrances further enhancing the aesthetic appeal of the site.

DISCUSSION

Chapter 19.18 (*Site Design and Architectural Review*) is adopted to promote the general health, safety, welfare and economy of the residents of the community. The purpose of the chapter is to promote orderly and harmonious development of the City, enhance desirability of living conditions upon the immediate site or adjacent areas and promote visual environments which are of high aesthetic quality and variety which at the same time are considerate of each other.

Design Guidelines Consistency

The City’s Design Guidelines Manual is adopted to lend predictability in the design review process. Design Guidelines (DGs) are intended to guide the aesthetic qualities of development in Chico and maintain its dignified visual character by integrating timeless architectural design with the natural beauty of the surrounding environment. By utilizing colors and design elements associated with NVADG, the project is consistent with DGs that call for incorporating recognizable cultural motifs and referencing cultural ties to the community (DG 1.1.11, 1.1.34, and 1.2.21). Building placement on the site reinforces a pedestrian friendly environment (DG 1.1.15), reinforces pedestrian-friendly paths of travel with walkways inviting the public into the site, including through a covered breezeway (DG 1.1.13) and provides safe pedestrian connections (DG 2.1.21). Covered “break-out” space and natural open areas are provided on site (DG 4.1.45), covered open space in project will be utilized both passively and actively (DG 1.1.42) and the project reinforces a sense of place agriculture architecture references (DG 1.1.34). Design Guideline consistency is further enhanced by the trash enclosure to match the main building, as well as proper screening of HVAC units behind rooftop parapet walls, as called-for by DG 2.1.36.

General Plan Consistency

Through its design, architectural style, location, and size, the project is consistent with General Plan goals and policies that promote land use compatibility, creation of community serving elements and promote infill. The proposal is consistent with General Plan goals and policies that encourage architectural designs that exhibit timeless character and create a culturally relevant sense of place (CD-3.1 and CD-4.1.3). The project’s location would be compatible with surrounding land uses and enhance the commercial services available at this location, consistent with General Plan goals and policies to promote compatible infill development (LU-2.4, 4.2, 4.4) The native, drought tolerant species selections for the proposed landscaping are consistent with sustainability policies that promote water conservation, energy efficiency and emphasizing landscape as a fundamental design component (SUS-4.2 and CD 1.1.2).

REQUIRED FINDINGS FOR APPROVAL

Environmental Review

The project has been determined to be categorically exempt under CMC Section 1.40.220 and pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15332 (Infill Development Projects). Consistent with this exemption, the project site is less than five acres, surrounded by urban uses and can be adequately served by all required utilities and public services. The proposal is consistent with the General Plan policies and regulations for the AC zoning district.

Architectural Review

According to the Chico Municipal Code Section 19.18.060, the Architectural Review and Historic Preservation Board shall determine whether or not a project adequately meets adopted City standards and design guidelines, based upon the following findings:

1. *The proposed development is consistent with the General Plan, any applicable specific plan, and any applicable neighborhood or area plans.*

Through its design, architectural style, location, and size, the project is consistent with General Plan goals and policies that promote land use compatibility, creation of community serving elements and promote infill. The proposal is consistent with General Plan goals and policies that encourage architectural designs that exhibit timeless character and create a culturally relevant sense of place (CD-3.1 and CD-4.1.3). The project's location would be compatible with surrounding land uses and enhance the commercial services available at this location, consistent with General Plan goals and policies to promote compatible infill development (LU-2.4, 4.2, 4.4). The native, drought tolerant species selections for the proposed landscaping are consistent with sustainability policies that promote water conservation, energy efficiency and emphasizing landscape as a fundamental design component (SUS-4.2 and CD 1.1.2). No specific, area, or neighborhood plans apply to the project.

2. *The proposed development, including the character, scale, and quality of design are consistent with the purpose/intent of this chapter and any adopted design guidelines.*

By utilizing colors and design elements associated with NVADG, the project is consistent with Design Guidelines (DGs) that call for incorporating recognizable cultural motifs and referencing cultural ties to the community (DG 1.1.11, 1.1.34, and 1.2.21). Building placement on the site reinforces a pedestrian friendly environment (DG 1.1.15), reinforces pedestrian-friendly paths of travel with walkways inviting the public into the site, including through a covered breezeway (DG 1.1.13) and provides safe pedestrian connections (DG 2.1.21). Design Guideline consistency is further enhanced by the trash enclosure to match the main building, as well as proper screening of HVAC units behind rooftop parapet walls, as called-for by DG 2.1.36.

3. *The architectural design of structures, including all elevations, materials and colors are visually compatible with surrounding development. Design elements, including screening*

of equipment, exterior lighting, signs, and awnings, have been incorporated into the project to further ensure its compatibility with the character and uses of adjacent development.

The design, materials and colors of the proposed new building(s) are visually compatible with existing and proposed surrounding commercial development. Exterior color and material treatment are applied equally to all buildings and all elevations. Exterior equipment will be properly screened from view by roof parapets. Site and parking lot light poles would be directed downward, reducing light spillage and glare to adjacent neighbors.

- 4. The location and configuration of structures are compatible with their sites and with surrounding sites and structures, and do not unnecessarily block views from other structures or dominate their surroundings.*

Structures are thoughtfully placed on the site to provide logical pedestrian connects while activating the entire project site. Placement of the building on the site engages Lockheed Avenue and massing of building elements, heights and setbacks vary to match surrounding sites and create interest.

- 5. The general landscape design, including the color, location, size, texture, type, and coverage of plant materials, and provisions for irrigation and maintenance, and protection of landscape elements, have been considered to ensure visual relief, to complement structures, and to provide an attractive environment.*

The landscape plan shows generous landscape treatment throughout the site with attention to each entrance and the outdoor “breakout” area. Private and public areas are provided equal and complementary treatment of trees, shrubs and groundcover resulting in a variety of seasonal color and interest. Landscape elements, such as bioswales, walking paths, and boulders are incorporated throughout the site. Tree and plant species are selected to reduce irrigation demands and ensure an attractive environment around the new buildings.

RECOMMENDED CONDITIONS OF APPROVAL

1. All approved building plans and permits shall note on the cover sheet that the project shall comply with AR 21-02 (NVADG).
2. Prior to the issuance of a certificate of occupancy, applicant shall secure cross access easements with adjacent properties for shared parking.
3. All wall-mounted utilities and roof or wall penetrations, including vent stacks, utility boxes, exhaust vents, gas meters and similar equipment, shall be screened by appropriate materials and colors. Adequate screening shall be verified by Planning staff prior to issuance of a certificate of occupancy.
4. Replace crape myrtle trees with a different ornamental tree species of similar size.

PUBLIC CONTACT

Public notice requirements are fulfilled by placing a notice on the project site and by posting of the agenda at least 10 days prior to the ARHPB meeting.

ATTACHMENTS

- A. Location Map
- B. Overall Site Plan
- C. Floor Plan
- D. Colors and Materials
- E. Elevations
- F. Renderings
- G. Landscaping plans
- H. Photometric
- I. Architects Description

DISTRIBUTION

Internal (2)

Molly Marcussen, Associate Planner

Mike Sawley, Principal Planner (Environmental Program Manager)

External (2)

Architect- Kurt Jorgensen, 555 Main Street, Suite 300 Chico, CA 95927

email: jorgensen@nvrdesign.com

Applicant: North Valley Animal Disaster Group, P.O Box 411, Chico CA 95927

email: john@nvadg.org

Files: AR 21-02



PROJECT CONTEXT MAP
NOT TO SCALE

PROJECT DATA

DESCRIPTION OF WORK:

The building will serve as the headquarters for NVADG, replacing temporary facilities currently located at 20th Street and Locust. NVADG utilizes the resources of volunteers to spring into action when a disaster of some sort occurs, be it fire, flood or other, to rescue and care for animals in temporary facilities until permanent homes are found or restored. No animals will be housed on-site.

The proposed building will contain office space, a training/conference room, and supply and vehicle storage. The area is 18,403 sf, including covered areas.

SITE & ZONING INFO:

ASSESSOR'S PARCEL NOS: 047-560-076 & 047-560-125

ZONING: AC "AIRPORT COMMERCIAL"

OVERLAY ZONE FOR THE SITE: "AOB2 'AIRPORT OVERFLIGHT/COMPATIBILITY ZONE B2'"

STREET ADDRESS: TBD LOCKHEED AVE, CHICO, CA 95973

PARCEL SIZE: 1.5 ACRES

USE: BUSINESS SUPPORT SERVICES (PERMITTED USE)

PROPOSED BUILDING INFORMATION:

OCCUPANCY: A-3, B AND S-2

STORIES: ONE

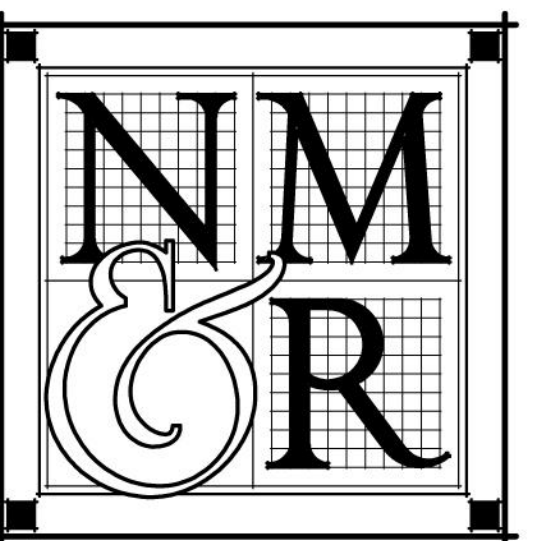
TOTAL AREA: 18,403 SF (INCLUDING UNENCLOSED COVERED AREAS)

CONST TYPE: TYPE V-B

FIRE PROTECTION: FULLY SPRINKLERED

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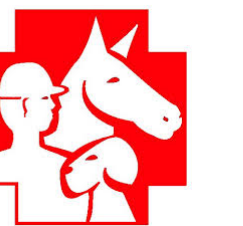
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CONSULTANTS

LICENSE STAMPS

PROJECT NAME



NORTH VALLEY
ANIMAL DISASTER
GROUP

Lockheed Ave
Chico, CA

SHEET TITLE

AREA MAP &
PROJECT DATA

DRAWING STATUS

ARHPB
SUBMITTAL

NOT FOR CONSTRUCTION

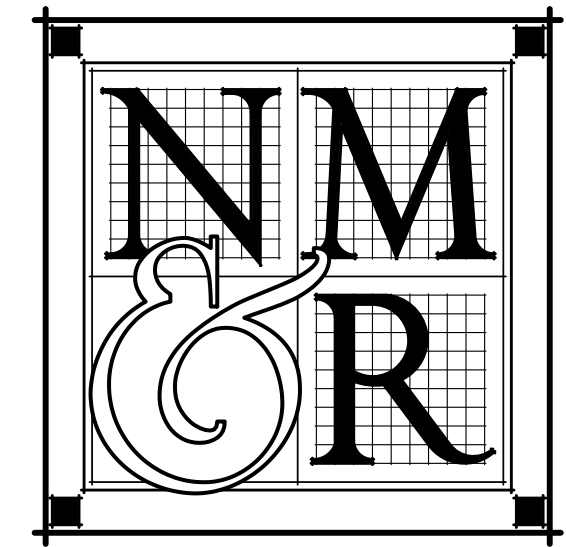
REVISIONS

Sym.	Description	Date

Drawn By	KAJ
Date Issued	2021-01-29
Scale	N/A
Project No.	20-5824

SHEET No.

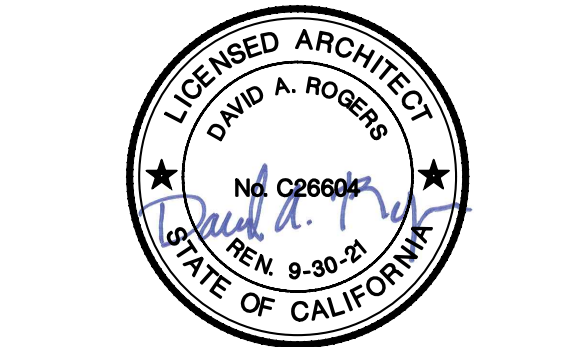
A002



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LICENSE STAMPS



PROJECT NAME



**NORTH VALLEY
ANIMAL DISASTER
GROUP**

Lockheed Ave
Chico, CA

SHEET TITLE

SITE PLAN

DRAWING STATUS

ARHPB
SUBMITTAL

NOT FOR CONSTRUCTION

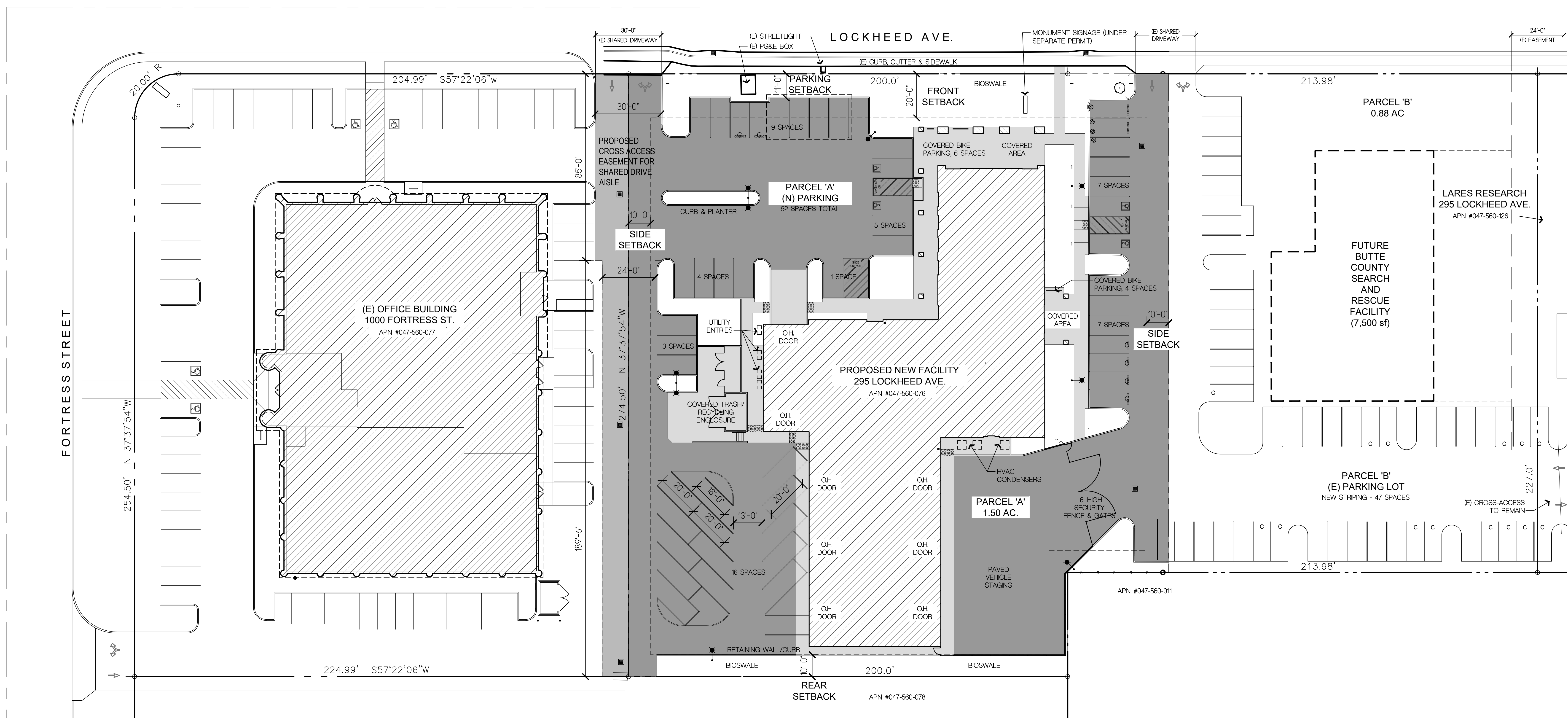
REVISIONS		
Sym.	Description	Date

Drawn By	KAJ
Date Issued	2021-01-29
Scale	1" = 20'-0"
Project No.	20-5824

SHEET No.

A101

Attachment B



SITE PLAN
SCALE: 1" = 20'-0"

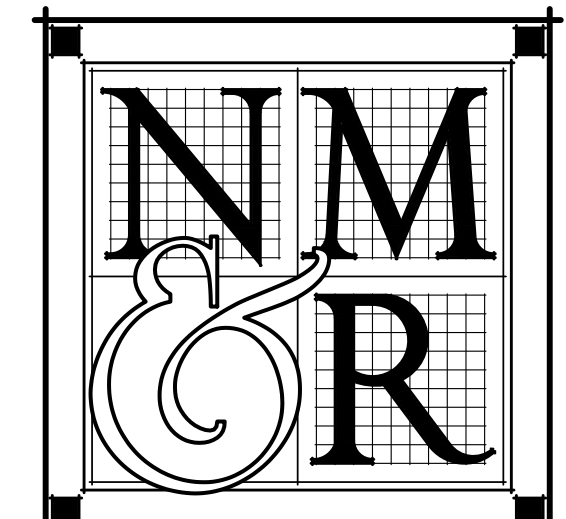
VEHICLE PARKING

NARRATIVE
ASSEMBLY FUNCTION RARELY USED. ADJACENT PROPERTIES WITH CROSS-ACCESS EASEMENTS HAVE EXCESS PARKING, PARTICULARLY IN EVENINGS WHEN ASSEMBLY USE WILL PREDOMINANTLY OCCUR (AFTER NORMAL WORKING HOURS).
REQUIRED PARKING BY CALCULATION
ASSEMBLY USES PARKING REQUIREMENT PER 19.70.040 TABLE 5-4: 42 GSF/SPACE, 3,182 SF/42 = 75 SPACES.
OFFICES AND ADMINISTRATIVE USES PARKING REQUIREMENT PER 19.70.040 TABLE 5-4: 375 GSF/SPACE, 976 SF/375 = 3 SPACES.
WAREHOUSES AND STORAGE BLDG USES PARKING REQUIREMENT: 1,875 SF/SPACE, 9618 SF/1875 = 5 SPACES.
TOTAL SUM OF PARKING SPACES REQ'D: 75 + 3 + 5 = 83 SPACES.
PARKING PROVIDED ON SITE
52 SPACES, NOT INCLUDING RESCUE VEHICLE STAGING AREA OR GARAGE SPACES

BICYCLE PARKING

CALCULATION
ASSEMBLY USES BIKE PARKING REQUIREMENT PER 19.70.040 TABLE 5-4: 10% OF VEHICLE SPACES, 75/10 = 8 SPACES
OFFICES AND ADMINISTRATIVE USES BIKE PARKING REQUIREMENT PER 19.70.040 TABLE 5-4: 10% OF VEHICLE SPACES, 1/10 = 1 SPACE
WAREHOUSES AND STORAGE BLDG USES BIKE PARKING REQUIREMENT: 5% OF VEHICLE SPACES, 5/20 = 1 SPACE
TOTAL SUM OF PARKING SPACES REQ'D: 8 + 1 + 1 = 10 SPACES
BIKE PARKING PROVIDED ON SITE
10 SPACES, ALL COVERED

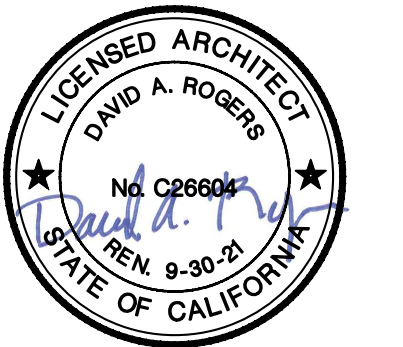
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User: David A. Roberts
Title: ARHPB SUBMITTAL



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CONSULTANTS

LICENSE STAMPS



PROJECT NAME



**NORTH VALLEY
ANIMAL DISASTER
GROUP**

Lockheed Ave
Chico, CA

SHEET TITLE

FLOOR PLAN

DRAWING STATUS

**ARHPB
SUBMITTAL**

NOT FOR CONSTRUCTION

REVISIONS		
Sym.	Description	Date

Drawn By	KAJ
Date Issued	2021-01-29
Scale	1/8" = 1'-0"
Project No.	20-5824

SHEET No.

A201

Attachment C



PROJECT

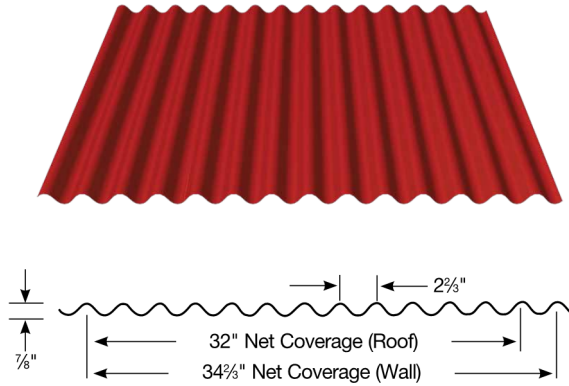
FLOOR PLAN

SCALE: 1/8" = 1'-0"

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 Print Date: January 28, 2021 - 2:02 pm
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 Plot Date: 1/27/2021 2:02:58 PM ARHPB

NVADG Headquarters Color Board
 NMR Architects

Siding Type A—Vertical, exposed fastener
 (AEP Span)

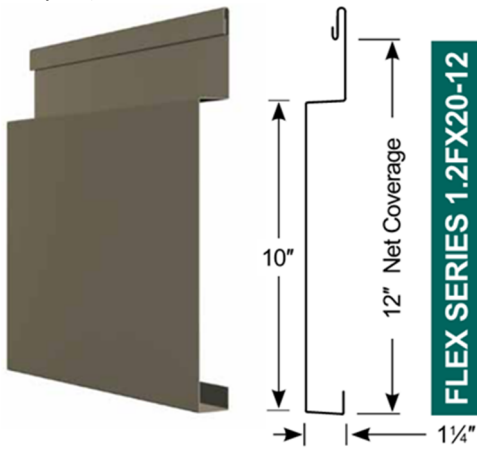


Proposed Color 'A':



Cool OLD TOWN GRAY
 SRI: 43 • LRV: 27 • GA: 24 & 22

Siding Type B—Horizontal, concealed fastener
 (AEP Span)

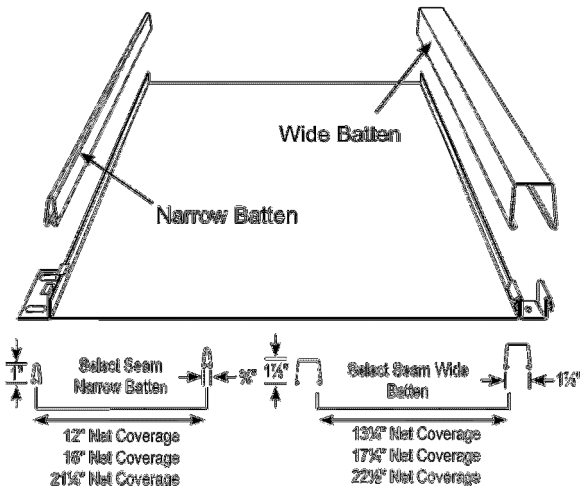


Proposed Color 'B':



Cool SLATE GRAY
 SRI: 33 • LRV: 12 • GA: 24 & 22

Standing Seam Roofing—concealed fastener
 (AEP Span)



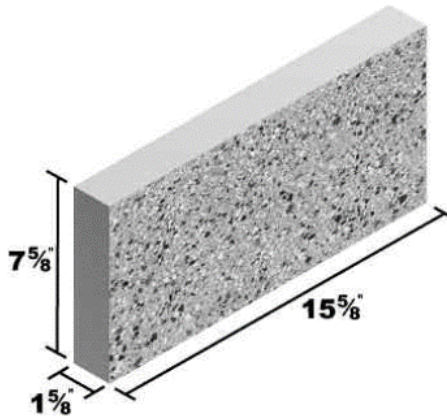
Proposed Color 'C':



Cool METALLIC SILVER¹
 SRI: 65 • LRV: 50 • GA: 24 & 22

NVADG Color Chart continued:

Ground Face Concrete Masonry Wainscot
(Basalite)



Proposed Color 'D':

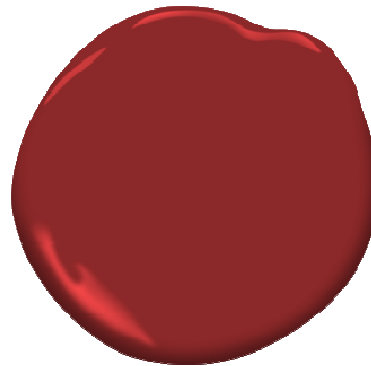


Standard Color 389

Exposed Steel, Entry Doors, Window Frames
(Benjamin Moore Semi-gloss Paint)

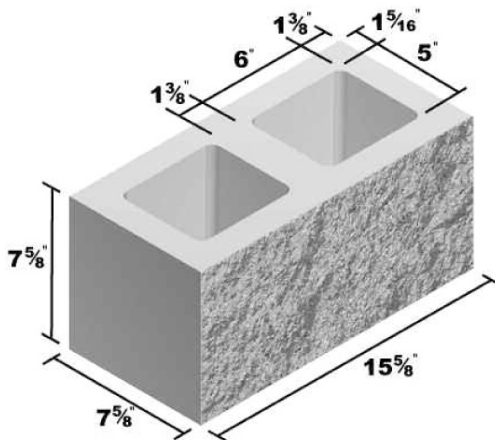


Proposed Color 'E':



AF-290 "Caliente"

Split Face Concrete Masonry Wainscot
(Basalite)



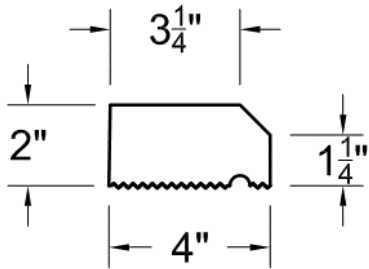
Proposed Color 'F':



Standard Color 580

NVADG Color Chart continued:

Precast Concrete Sill
(CDI)



Proposed color 'G':

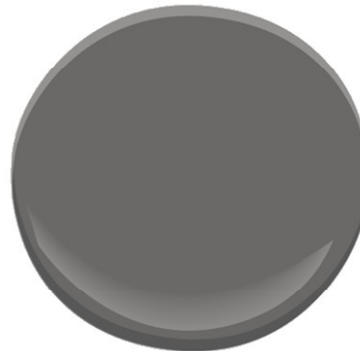


GS60 "Smoke"

Utility/Service Doors
(Benjamin Moore Semi-gloss Paint)

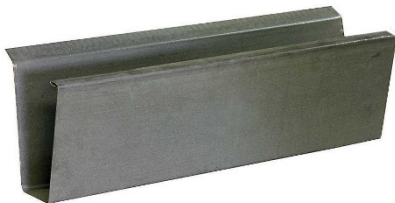


Proposed Color—Match 'A'

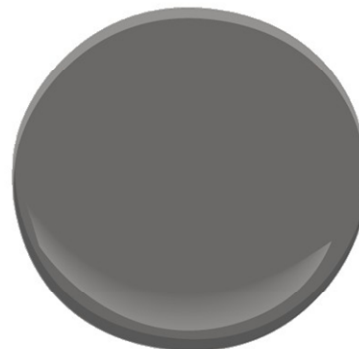


CC-544 "Overcoat"

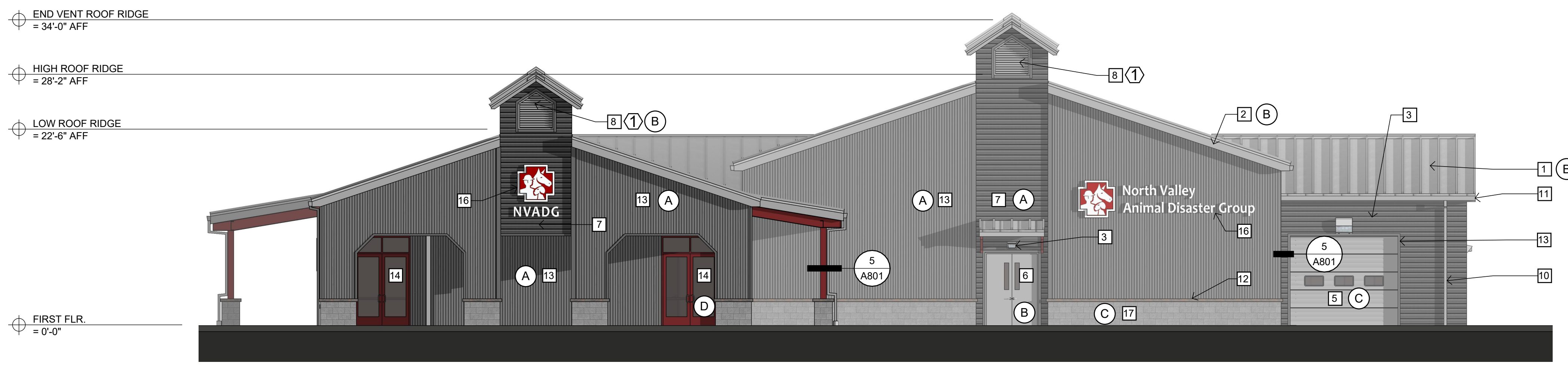
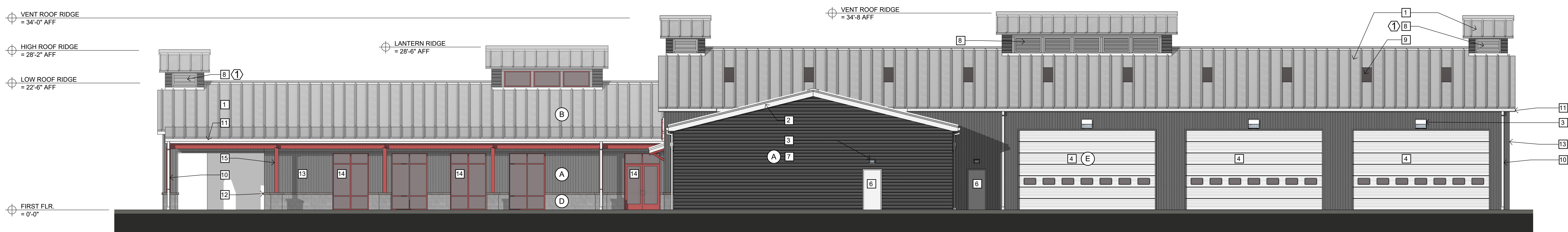
Misc. Galvanized Metal Trim, Gutters,
Downspouts, Trash Enclosure Steel



Proposed Color—Match 'A'



CC-544 "Overcoat"



KEY NOTES NOT ALL KEYNOTES ARE USED ON EVERY SHEET

- KEYNOTES ARE TYPICAL, NOT ALL OCCURANCES ARE CALLED OUT.
- 1 STANDING SEAM METAL ROOF - COLOR 'C'
 - 2 SHEET METAL FASCIA - MATCH COLOR 'A'
 - 3 EXTERIOR LIGHT FIXTURE - CUT-OFF
 - 4 24'-0" WIDE x 14'-0" HIGH MANUAL OVERHEAD ROLL-UP DOOR - COLOR 'H'
 - 5 12'-0" WIDE x 12'-0" HIGH MANUAL OVERHEAD ROLL-UP DOOR - COLOR 'H'
 - 6 GALVANIZED STEEL DOOR & FRAME - COLOR AS INDICATED
 - 7 CORRUGATED GALV. STEEL SIDING, HORIZ. ORIENTATION - COLOR 'B'
 - 8 PAINTED STEEL BEAM/STRUCTURE - COLOR 'E'
 - 9 TRANSLUCENT PANEL SKYLIGHT BY METAL BLDG. MANUF.
 - 10 3" x 4" G.I. DOWNSPOUT TO PAVEMENT OR PRECAST SPLASH BLOCK - COLOR 'A'
 - 11 6" G.I. RAIN GUTTER - COLOR 'A'
 - 12 PRECAST CONCRETE SILL - COLOR 'G'
 - 13 CORRUGATED GALV. STEEL SIDING, VERTICAL ORIENTATION - COLOR 'A'
 - 14 STOREFRONT DOOR OR WINDOW - COLOR 'E'
 - 15 PAINTED STEEL COLUMN - COLOR 'E'
 - 16 PROPOSED SIGNAGE LOCATION - UNDER A SEPARATE PERMIT
 - 17 GROUND FACE CMU - COLOR 'D'
 - 18 SPLIT FACE CMU (ON EXTERIOR FACE) - COLOR 'F'
 - 19 STEEL GATE WITH CORRUGATED DECK SURFACE - MATCH COLOR 'A'
 - 20 STEEL FENCE - PAINT GLOSS BLACK
 - 21 STEEL ROOF STRUCTURE WITH STEEL DECK SURFACE - MATCH COLOR 'A'

MATERIALS LEGEND

- A** COLOR 'A': "OLD TOWN GRAY" BY AEP SPAN, AT ITEM INDICATING COLOR 'A', PAINT TO MATCH
- B** COLOR 'B': "COOL SLATE GRAY" BY AEP SPAN, AT ITEM INDICATING COLOR 'A', PAINT TO MATCH
- C** COLOR 'C': "COOL METALLIC SILVER" BY AEP SPAN
- D** GROUND FACE CMU
COLOR 'D': #389 BY BASALITE
- E** COLOR 'E': "CALIENTE" AF-290 BENJAMIN MOORE
- F** SPLIT FACE CMU
COLOR 'F': #580 BY BASALITE
- G** COLOR 'G': "SMOKE" GS60 BY CDI
- H** COLOR 'H': WHITE, MANUF. STANDARD COLOR ROLL-UP DOOR
- ◇** WINDOW TYPE, COLOR 'A'
SEE A145 FOR SIZES
- ⬠** MECHANICAL VENT TYPE, COLOR 'A'
SEE DET. ___/A___ FOR SIZES; COLOR AS INDICATED

GENERAL NOTES

1. ALL FLASHING AND ROOF TOP PENETRATIONS TO BE PAINTED TO MATCH ADJACENT ROOF, WALL OR TRIM COLOR AS APPLICABLE. NO UNPAINTED, GALVANIZED FLASHING OR VENTS TO BE VISIBLE.
2. SEE ELEC'L DWGS FOR EXT. LIGHTING
3. ELEV. 0'-0" IS FOR BUILDING REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL FLOOR ELEVATIONS.
4. SEE ROOF PLAN FOR ATTIC VENTILATION REQUIREMENTS, SLOPES AND OVERBUILDS.
5. SEE CIVIL, PLUMBING AND ELEC'L DWGS FOR LOCATIONS OF EXTERIOR-MOUNTED UTILITIES AND METER BANKS.
6. G.C. TO COORDINATE LOCATIONS OF ALL VENTS, UTILITIES AND OTHER ROOF-MOUNTED ITEMS WITH OWNER-DESIGNATED 3RD PARTY SOLAR ENERGY SYSTEM.
7. EXT. UTILITY ENCLOSURE CABINETS TO BE PER UTILITY'S REQUIREMENTS. FINISH OF ENCLOSURES TO MATCH ADJACENT WALL FINISH(ES).
8. AT ELEC'L AND OTHER UTILITY PENETRATIONS PROVIDE FLASHINGS AND FILLERS AS REQUIRED TO PREVENT WATER & PEST INTRUSION.

LICENSE STAMPS

PROJECT NAME



2XX Lockheed Ave
 Chico, CA 95973

SHEET TITLE
EXTERIOR ELEVATIONS

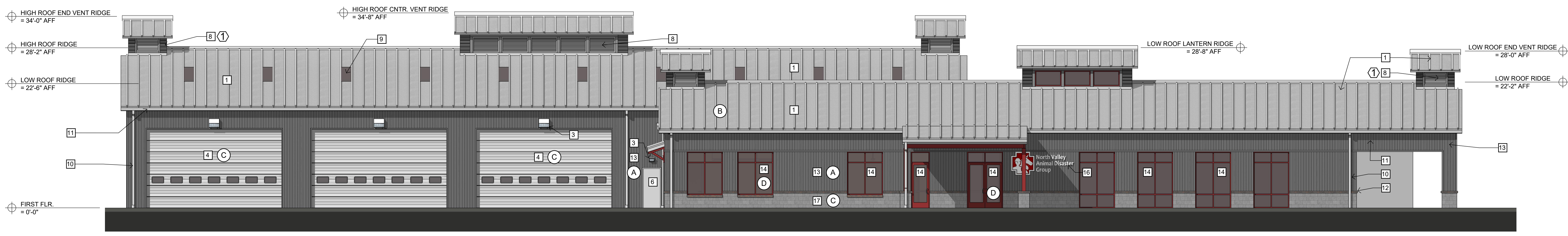
DRAWING STATUS
ARHPB SUBMITTAL

NOT FOR CONSTRUCTION

REVISIONS	
Sym.	Description

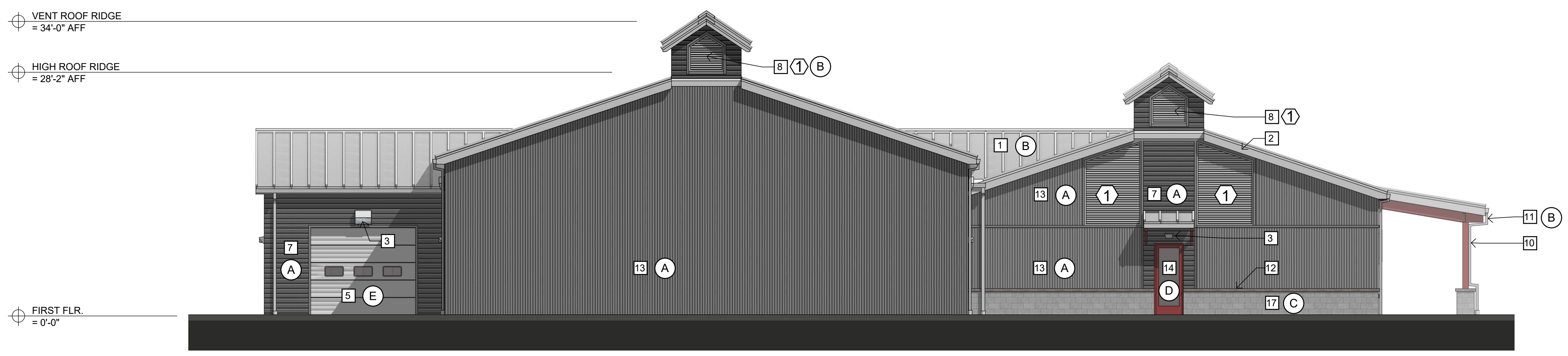
Drawn By	KAJ
Date Issued	2021-01-29
Scale	1/8" = 1'-0"
Project No.	20-5824

SHEET No.
A301

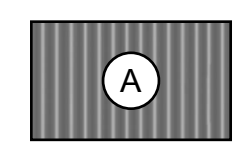
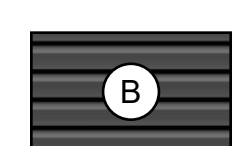
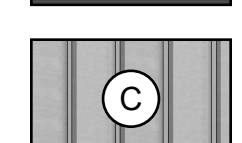
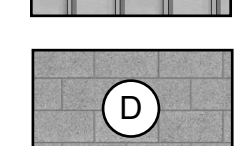
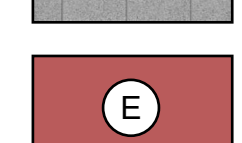
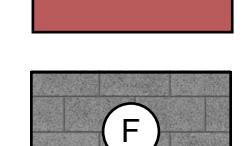


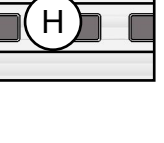
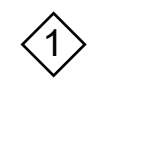


1 EAST ELEVATION
 SCALE: 1/8"=1'-0"

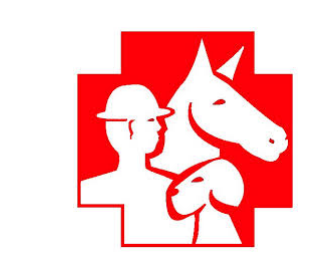
LICENSE STAMPS



2 SOUTH ELEVATION
 SCALE: 1/8"=1'-0"

KEY NOTES	NOT ALL KEYNOTES ARE USED ON EVERY SHEET	MATERIALS LEGEND
1	STANDING SEAM METAL ROOF - COLOR 'C'	 COLOR 'A': "OLD TOWN GRAY" BY AEP SPAN. AT ITEM INDICATING COLOR 'A', PAINT TO MATCH
2	SHEET METAL FASCIA - MATCH COLOR 'A'	 COLOR 'B': "COOL SLATE GRAY" BY AEP SPAN. AT ITEM INDICATING COLOR 'A', PAINT TO MATCH
3	EXTERIOR LIGHT FIXTURE - CUT-OFF	 COLOR 'C': "COOL METALLIC SILVER" BY AEP SPAN
4	24'-0" WIDE x 14'-0" HIGH MANUAL OVERHEAD ROLL-UP DOOR - COLOR 'H'	 GROUND FACE CMU COLOR 'D': #389 BY BASALITE
5	12'-0" WIDE x 12'-0" HIGH MANUAL OVERHEAD ROLL-UP DOOR - COLOR 'H'	 COLOR 'E': "CALIENTE" AF-290 BENJAMIN MOORE
6	GALVANIZED STEEL DOOR & FRAME - COLOR AS INDICATED	 SPLIT FACE CMU COLOR 'F': #580 BY BASALITE
7	CORRUGATED GALV. STEEL SIDING, HORIZ. ORIENTATION - COLOR 'B'	 COLOR 'G': "SMOKE" GS60 BY CDI
8	PAINTED STEEL BEAM/STRUCTURE - COLOR 'E'	 COLOR 'H': WHITE, MANUF. STANDARD COLOR ROLL-UP DOOR
9	TRANSLUCENT PANEL SKYLIGHT BY METAL BLDG. MANUF.	 WINDOW TYPE, COLOR 'A' SEE A145 FOR SIZES
10	3" x 4" G.I. DOWNSPOUT TO PAVEMENT OR PRECAST SPLASH BLOCK - COLOR 'A'	 MECHANICAL VENT TYPE, COLOR 'A' SEE DET. __/A__ FOR SIZES; COLOR AS INDICATED
11	6" G.I. RAIN GUTTER - COLOR 'A'	
12	PRECAST CONCRETE SILL - COLOR 'G'	
13	CORRUGATED GALV. STEEL SIDING, VERTICAL ORIENTATION - COLOR 'A'	
14	STOREFRONT DOOR OR WINDOW - COLOR 'E'	
15	PAINTED STEEL COLUMN - COLOR 'E'	
16	PROPOSED SIGNAGE LOCATION - UNDER A SEPARATE PERMIT	
17	GROUND FACE CMU - COLOR 'D'	
18	SPLIT FACE CMU (ON EXTERIOR FACE) - COLOR 'F'	
19	STEEL GATE WITH CORRUGATED DECK SURFACE - MATCH COLOR 'A'	
20	STEEL FENCE - PAINT GLOSS BLACK	
21	STEEL ROOF STRUCTURE WITH STEEL DECK SURFACE - MATCH COLOR 'A'	
		GENERAL NOTES
		1. ALL FLASHING AND ROOF TOP PENETRATIONS TO BE PAINTED TO MATCH ADJACENT ROOF, WALL OR TRIM COLOR AS APPLICABLE. NO UNPAINTED, GALVANIZED FLASHING OR VENTS TO BE VISIBLE.
		2. SEE ELEC'L DWGS FOR EXT. LIGHTING
		3. ELEV. 0'-0" IS FOR BUILDING REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL FLOOR ELEVATIONS.
		4. SEE ROOF PLAN FOR ATTIC VENTILATION REQUIREMENTS, SLOPES AND OVERBUILDS.
		5. SEE CIVIL, PLUMBING AND ELEC'L DWGS FOR LOCATIONS OF EXTERIOR-MOUNTED UTILITIES AND METER BANKS.
		6. G.C. TO COORDINATE LOCATIONS OF ALL VENTS, UTILITIES AND OTHER ROOF-MOUNTED ITEMS WITH OWNER-DESIGNATED 3RD PARTY SOLAR ENERGY SYSTEM.
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		8. AT ELEC'L AND OTHER UTILITY PENETRATIONS PROVIDE FLASHINGS AND FILLERS AS REQUIRED TO PREVENT WATER & PEST INTRUSION.

PROJECT NAME



**NORTH VALLEY
ANIMAL DISASTER
GROUP**

2XX Lockheed Ave
Chico, CA 95973

SHEET TITLE
**EXTERIOR
ELEVATIONS**

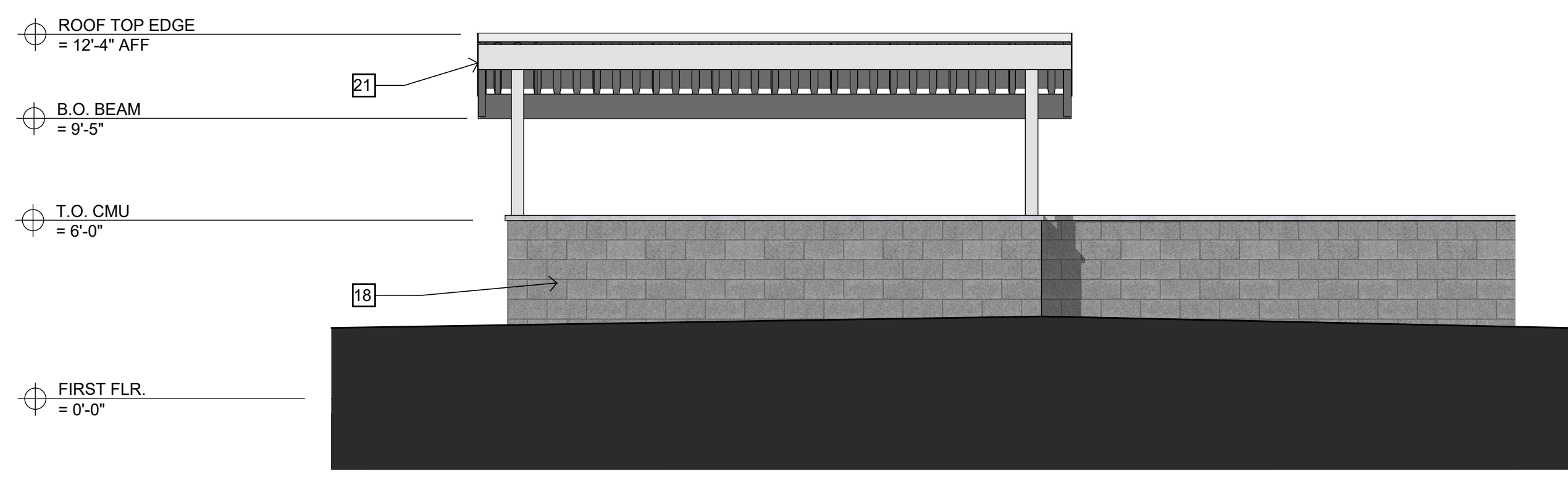
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**ARHPB
SUBMITTAL**

NOT FOR CONSTRUCTION

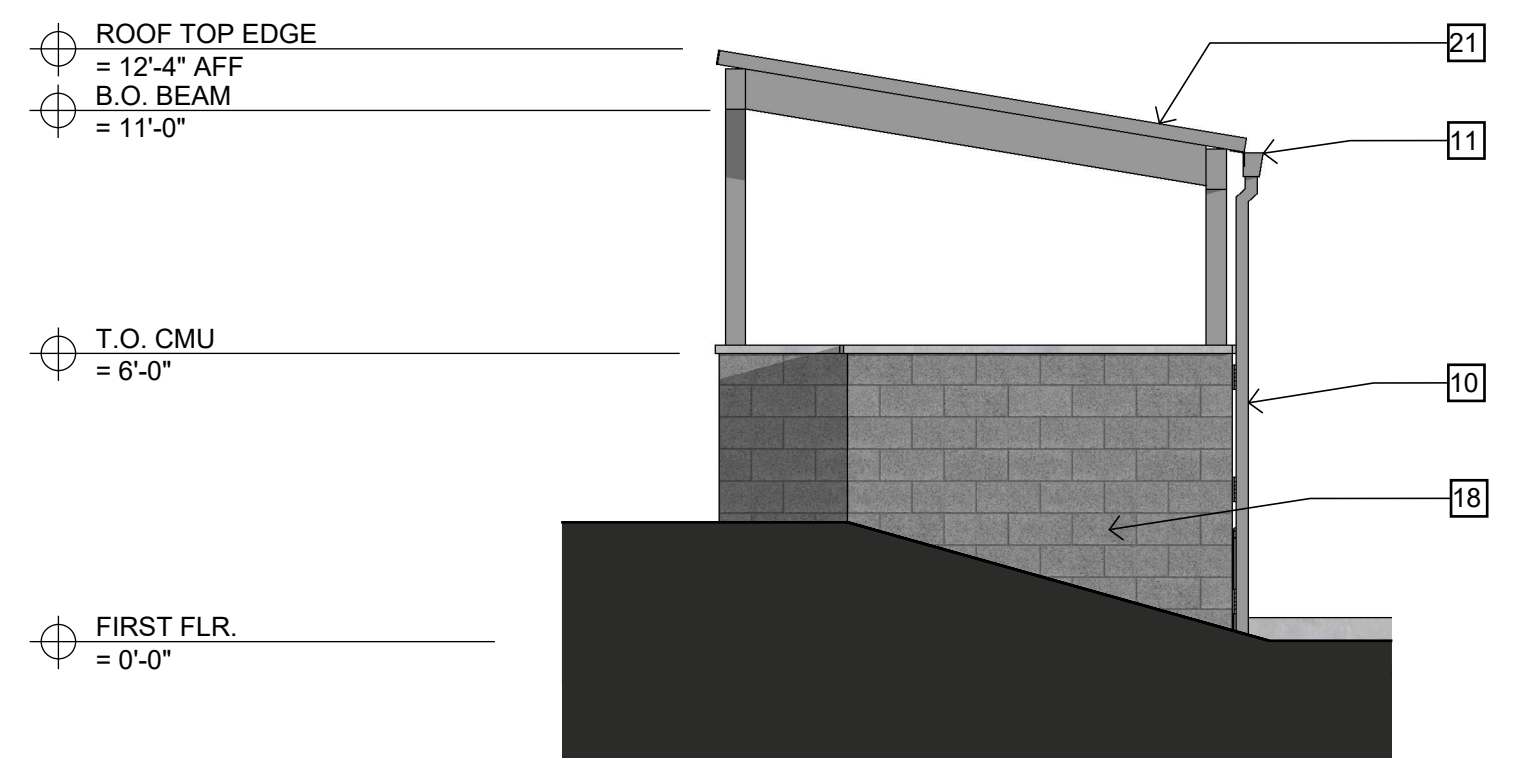
REVISIONS	
Sym.	Description Date

Drawn By: KAJ
 Date Issued: 2021-01-29
 Scale: 1/8" = 1'-0"
 Project No.: 20-5824

SHEET No.
A302



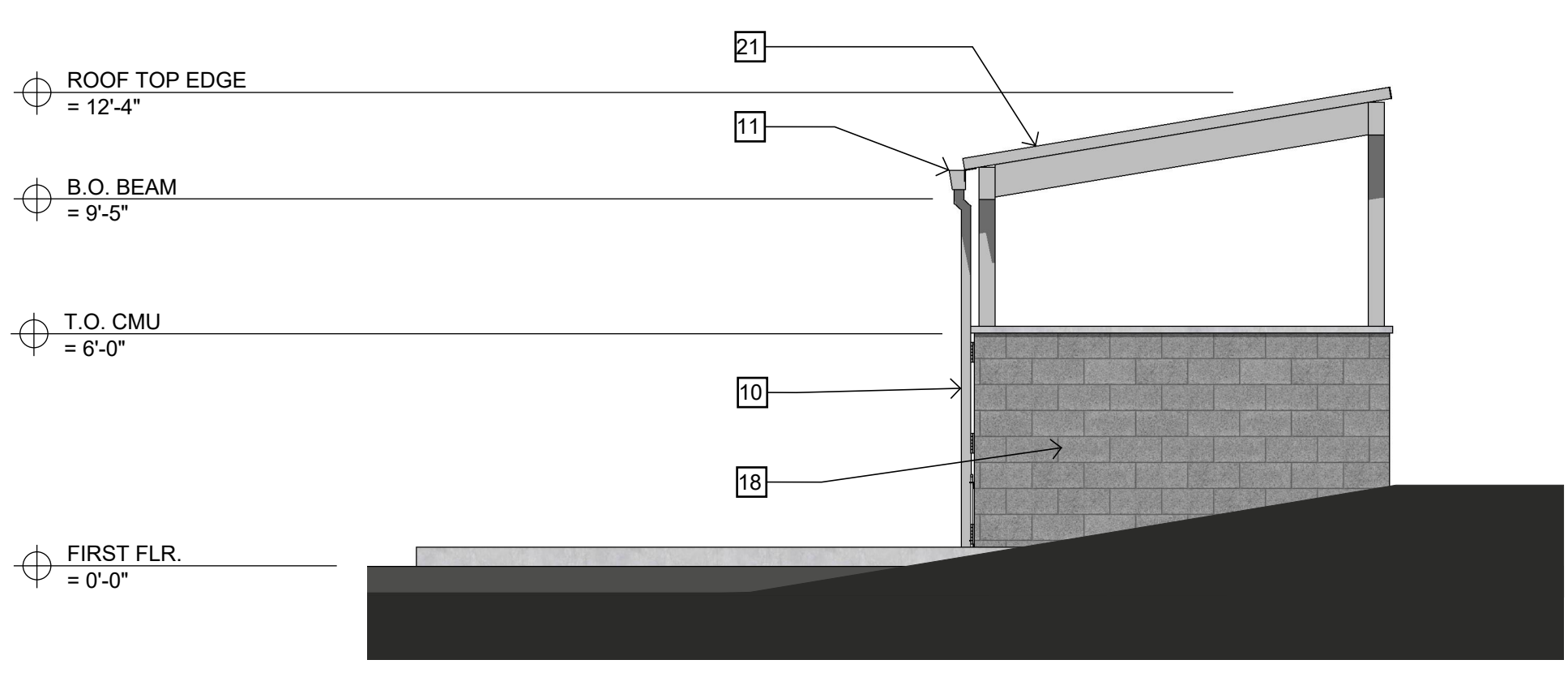
1 EAST ELEVATION
 SCALE: 1/4"=1'-0"



2 NORTH ELEVATION
 SCALE: 1/4"=1'-0"



3 WEST ELEVATION
 SCALE: 1/4"=1'-0"



4 SOUTH ELEVATION
 SCALE: 1/4"=1'-0"

KEY NOTES	NOT ALL KEYNOTES ARE USED ON EVERY SHEET	MATERIALS LEGEND
KEYNOTES ARE TYPICAL, NOT ALL OCCURANCES ARE CALLED OUT.		
1 STANDING SEAM METAL ROOF - COLOR 'C'		A COLOR 'A': "OLD TOWN GRAY" BY AEP SPAN. AT ITEM INDICATING COLOR 'A', PAINT TO MATCH
2 SHEET METAL FASCIA - MATCH COLOR 'A'		B COLOR 'B': "COOL SLATE GRAY" BY AEP SPAN. AT ITEM INDICATING COLOR 'A', PAINT TO MATCH
3 EXTERIOR LIGHT FIXTURE - CUT-OFF		C COLOR 'C': "COOL METALLIC SILVER" BY AEP SPAN
4 24'-0" WIDE x 14'-0" HIGH MANUAL OVERHEAD ROLL-UP DOOR - COLOR 'H'		D GROUND FACE CMU COLOR 'D': #389 BY BASALITE
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7 CORRUGATED GALV. STEEL SIDING, HORIZ. ORIENTATION - COLOR 'B'		G COLOR 'G': "SMOKE" GS60 BY CDI
8 PAINTED STEEL BEAM/STRUCTURE - COLOR 'E'		H COLOR 'H': WHITE, MANUF. STANDARD COLOR ROLL-UP DOOR
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11 6" G.I. RAIN GUTTER - COLOR 'A'		
12 PRECAST CONCRETE SILL - COLOR 'G'		
13 CORRUGATED GALV. STEEL SIDING, VERTICAL ORIENTATION - COLOR 'A'		
14 STOREFRONT DOOR OR WINDOW - COLOR 'E'		
15 PAINTED STEEL COLUMN - COLOR 'E'		
16 PROPOSED SIGNAGE LOCATION - UNDER A SEPARATE PERMIT		
17 GROUND FACE CMU - COLOR 'D'		
18 SPLIT FACE CMU (ON EXTERIOR FACE) - COLOR 'F'		
19 STEEL GATE WITH CORRUGATED DECK SURFACE - MATCH COLOR 'A'		
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1. ALL FLASHING AND ROOF TOP PENETRATIONS TO BE PAINTED TO MATCH ADJACENT ROOF, WALL OR TRIM COLOR AS APPLICABLE. NO UNPAINTED, GALVANIZED FLASHING OR VENTS TO BE VISIBLE.		
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LICENSE STAMPS

PROJECT NAME



**NORTH VALLEY
ANIMAL DISASTER
GROUP**

2XX Lockheed Ave
 Chico, CA 95973

SHEET TITLE
**EXTERIOR
ELEVATIONS -
TRASH ENCLOSURE**

DRAWING STATUS
**ARHPB
SUBMITTAL**

NOT FOR CONSTRUCTION

REVISIONS	
Sym. Description	Date

Drawn By	KAJ
Date Issued	2021-01-29
Scale	1/4" = 1'-0"
Project No.	20-5824

SHEET No.
A303



1 PERSPECTIVE
LOOKING SOUTHWEST FROM PARKING LOT



2 PERSPECTIVE
LOOKING EAST FROM PARKING LOT

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CONSULTANTS

LICENSE STAMPS

PROJECT NAME



**NORTH VALLEY
ANIMAL DISASTER
GROUP**

Lockheed Ave
Chico, CA

SHEET TITLE
**EXTERIOR
VIEWS**

DRAWING STATUS
**ARHPB
SUBMITTAL**

NOT FOR CONSTRUCTION

REVISIONS

Sym.	Description	Date

Drawn By	KAJ
Date Issued	2021-01-29
Scale	1/8" = 1'-0"
Project No.	20-5824

SHEET No.
A402

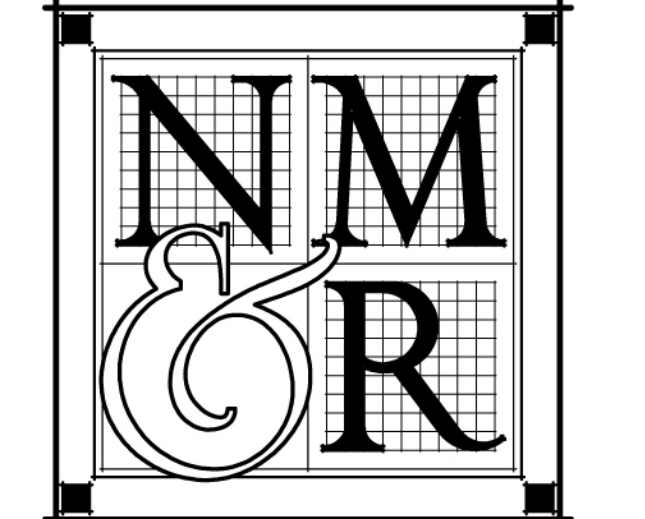


1 PERSPECTIVE
OVERVIEW LOOKING SOUTH



2 PERSPECTIVE
OVERVIEW LOOKING EAST

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PROJECT NAME



**NORTH VALLEY
ANIMAL DISASTER
GROUP**

Lockheed Ave
Chico, CA

SHEET TITLE
**EXTERIOR
VIEWS**

DRAWING STATUS
**ARHPB
SUBMITTAL**

NOT FOR CONSTRUCTION

REVISIONS

Sym.	Description	Date

Drawn By	KAJ
Date Issued	2021-01-29
Scale	1/8" = 1'-0"
Project No.	20-5824

SHEET No.
A403



1 PERSPECTIVE
OVERVIEW LOOKING NORTH



2 PERSPECTIVE
OVERVIEW LOOKING WEST

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CONSULTANTS

LICENSE STAMPS

PROJECT NAME

 NORTH VALLEY
 ANIMAL DISASTER
 GROUP

Lockheed Ave
 Chico, CA

SHEET TITLE
 EXTERIOR
 VIEWS

DRAWING STATUS
 ARHPB
 SUBMITTAL

NOT FOR CONSTRUCTION

REVISIONS

Sym.	Description	Date

Drawn By	KAJ
Date Issued	2021-01-29
Scale	1/8" = 1'-0"
Project No.	20-5824

SHEET No.
A404



January 29, 2021

Architectural Review and Historic Preservation Board
City of Chico Community Development Department
411 Main Street
Chico, CA 95928

RE: North Valley Animal Disaster Group (NVADG)
New Headquarters Building
TBD Lockheed Avenue
APNs: 047-560-076 & 047-560-125

Architectural Review and Historic Preservation Board Members,

We are pleased to submit this project for your review. It's our intent that the design is consistent with the City of Chico Design Guidelines. The proposed building will contain office space, a training/conference room, and supply and vehicle storage. The area is 18,403 sf, including covered areas.

The building will serve as the headquarters for NVADG, replacing temporary facilities currently located at 20th Street and Locust. NVADG utilizes the resources of volunteers to spring into action when a disaster of some sort occurs, be it fire, flood or other, to rescue and care for animals in temporary facilities until permanent homes are found or restored. No animals will be housed on-site.

Spaces will include a larger training/meeting room with adjacent snack/food prep area and a smaller conference room. The office will include space for two to three staff, and a work area. Restrooms will include showers. Two larger warehouse-type spaces will house "dry" supplies/equipment and command center/specialized vehicles. A covered, exterior "break-out" space will be located off the large meeting room facing the street.

Parking will be located to both the east and west of the building, but the building will front the street as described above. Driveway ingress and egress will be shared with properties to the east and west, as well as parking spaces, to minimize construction of new spaces. Parking spaces will primarily be at a premium in the evenings when trainings occur, not during business hours. Adjacent properties are amenable to sharing parking.

Exterior Architecture

The one-story, metal structure is proposed to have exterior walls composed of corrugated metal siding, ground face block, steel columns and aluminum storefront windows. The intent is to emulate



agricultural building forms given the organization's animal-related focus. Colors will be primary cool grays, with red highlights at exposed structural steel.

The building will have sloped gable roofs with both light and ventilation lanterns to create accents and agricultural architecture references. We're aiming for a simple, modern building made interesting not by decoration but imaginative use of materials and colors, and skillfully detailed, functional elements.

Landscape Features

The building is arranged to address the street, while providing ample offstreet parking for volunteers and specialized vehicles. Native and drought tolerant trees and plants will be added to the site.

Green Features

"Green Building" standards will include photovoltaic rooftop panels, energy-efficient appliances, high-efficiency plumbing fixtures, EnergyStar Low-E double pane windows, radiant barriers, energy savings light fixtures, tankless water heaters, "hardwood" laminate floors, zero VOC interior paint, low VOC adhesives and sealants, and ceiling fans.

Design Guidelines

The project will incorporate the following design elements:

- Reinforce pedestrian-friendly paths of travel with walkways inviting the public into the site, including through a covered breezeway. DG 1.1.13
- Project to be landscaped with drought-tolerant plants. DG 1.1.32 and 1.1.33
- Reinforce sense of place with agricultural architecture references. DG 1.1.34
- Covered open space in project will be utilized both passively and actively. DG 1.1.42
- Buildings maintain a pedestrian scale that doesn't overwhelm neighborhood. DG 1.2.11-12
- Lighting to be downwash or under covered areas. DG 1.3.57
- Awnings to be utilized that fit the building's architecture. DG 1.3.74
- Parking lot lighting to be 15 ft high cutoff fixtures. Pedestrian pathway lighting to be night sky friendly. DG 1.5.13-15.
- No pole signs to be utilized; all signage to be building mounted or on pedestrian-scaled monument signs. DG 1.6.14-16
- Deciduous shade trees will be utilized on south and west sides. DG 1.7.13
- Roof overhangs and shading devices will be used to optimize passive solar heating and cooling. DG 1.7.14
- Bike parking will be provided near the main building entrance. DG 3.1.34
- A screened trash enclosure will be added, and utilities will be screened/hidden from view. DG 3.1.35
- Covered porches, walkways and windows will face the street to reinforce sense of community. DG 4.1.11
- Massing of building elements, heights and setbacks vary to create interest. DG 4.1.14-15



- Massing is varied to create non-institutional appearance. DG 4.1.23
- Covered "break-out" space and natural open areas are provided on site. DG 4.1.45
- Building utilizes fenestration to define entries and porches, has thoughtful material changes, and staggered/offset units to provide interest to façade. DG 4.2.11
- Project utilizes a "kit of parts" approach that provides variety while tying together all buildings and facades into a unified whole. DG 4.2.22

We trust that this development will be an enhancement to both the neighborhood and the wider Chico community.

Thank you for your thoughtful consideration,

Kurt A. Jorgensen AIA, Senior Associate Architect
Nichols, Melburg & Rossetto