



Architectural Review and
Historic Preservation Board
Agenda Report

Meeting Date 04/21/2021

DATE: April 8, 2021

File: AR 21-03

TO: Architectural Review and Historic Preservation Board

FROM: Kelly Murphy, Planner. 530-879-6535, kelly.murphy@chicoca.gov

RE: Architectural Review 21-03 (B20 Mixed Use Project); 1993 Bruce Road, APN 018-390-021

RECOMMENDATION

Staff recommends that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve the proposed project, subject to the recommended conditions.

Proposed Motion

I move that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve Architectural Review 21-03 (B20 Mixed Use Project), subject to the recommended conditions therein.

BACKGROUND

The applicant proposes to construct a new vertical mixed-use project on an undeveloped 2.5-acre site located on the northeast corner of Bruce Road and E. 20th Street at 1993 Bruce Road (see **Attachment A**, Location Map). The site is designated Neighborhood Commercial on the City of Chico General Plan Land Use Diagram and zoned CN (Neighborhood Commercial).

The proposed project is comprised of a three-story, L-shaped building with a footprint of 20,469 square feet, containing 60 affordable senior housing units and three commercial suites with approximately 10,000 square feet of commercial space (see **Attachment B**, Project Description and **Attachment C**, Site Plan). The site is currently vacant. Surrounding land uses include residential uses to the north and east and vacant land to the west and south.

ANALYSIS

Residential units would include 52 one-bedroom units and 8 two-bedroom units. Multi-family residential uses are allowed in the CN zoning district on the second floor and above. A use permit is required for ground-level occupancy, except for accessible units required by the Building Code, which are allowed by right. Per California Building Code 1102A.3.1, at least 10-percent of multi-story dwellings in apartment buildings are required to be accessible. The project proposes 6 accessible units on the ground floor, consistent with these requirements.

The residential density range allowed in the CN zoning district is 6 to 22 dwelling units per gross acre. The project parcel has a net area of 2.5 acres and a gross area of 3.46 acres, allowing up to 76 dwelling units. The project proposes a total of 60 units, within the allowable density range for the CN zone.

Pursuant to Chico Municipal Code 19.44.020 Table 4-6, the CN zoning district allows for a variety of retail uses, per the following area constraints:

- Drug stores/pharmacies 4,000s.f. or less
- Furniture, furnishings, and equipment, 2,500s.f. or less
- Grocery stores, 4,000s.f. or less
- Retail stores – general merchandise, 2,500s.f. or less

Additional allowed land uses include restaurants less than 5,000 square feet, and service uses such as financial, medical, and professional offices.

Commercial suites accommodating retail, office and service uses would be located on the ground floor of the building fronting Bruce Road (see **Attachment D**, Floor Plan). Suites 2 and 3 would be connected via a breezeway, enhancing pedestrian access and circulation from Bruce Road to the site's interior. A variety of other features associated with the residential aspect of the project would be located on the first floor, including a community room, fitness room, utility room, communal kitchen, office and storage space. The second and third floors of the building would be dedicated to residential units.

In addition to several indoor amenities, senior residents would enjoy outdoor community-centered spaces including a dog park, fenced garden area, bocce court and patio. The commercial suites also benefit from designated outdoor terraces.

Parking

Pursuant to CMC Section 19.70.040, senior housing projects are required to provide one off-street parking space per every two dwelling units, of which half shall be covered. The residential component of the project proposes a total of 60 affordable multi-family senior housing units, requiring at least 30 off-street vehicle parking spaces. The project would provide 36 parking spaces for the residential use in a separate parking array along the northern property line, 15 of which would be covered. This parking area has two access points, one from Bruce Road and one from Belgium Avenue, and a designated drop-off area for senior residents.

The commercial parking area would provide an additional 66 off-street parking spaces accessible from Belgium Avenue. The number of vehicle parking spaces required for specific uses is subject to CMC Section 19.70.040. Restaurant parking is calculated at a rate of one space per 94 square feet of customer floor area, including outside dining. Certain retail and service uses, as specified on the site plan, are required to provide one space per every 375 square feet of gross floor area. The project has accounted for 4,606 square feet of restaurant floor area (resulting in 49 required parking spaces), and 6,300 square feet of gross floor area for retail and service uses (resulting in 17 required parking spaces).

Both parking areas will include shade canopies supporting photoelectric solar panels. Per CMC 19.60.100, if solar collectors are proposed for any new development, exterior surfaces of the collectors and related equipment shall have a matte finish and shall be color-coordinated to harmonize with the materials and other dominant colors of the structure. As noted on the site plan, the project proposes a matte finish in Color 'A' "Dovetail", consistent with the stucco color on the building.

Covered bicycle parking is proposed under the breezeway between commercial suites two and three, while additional uncovered bike parking is located interior to the site near the entrance to commercial suite two. The project proposes a total of ten bicycle parking spaces, meeting requirements. Existing eight-foot wide sidewalks along Belgium would be continued along the project's east side to 20th Street, encouraging pedestrian and bicycle circulation. The existing transit stop on Bruce Road would be enhanced with a bus pullout pocket, further improving access to and from the site.

Architectural Design

The project complies with all development standards including lot size, site coverage, setbacks and building height. The proposed three-story, wood-framed structure would reflect a sleek, modern architectural design with a neutral color palette using shades of gray and beige stucco, accented by vertical metal panels and trim in an inky blue and horizontal metal panels and trim in a red cedar finish (see **Attachment E**, Color Elevations/Colors and Materials and **Attachment F**, Color Renderings). Elevations have been enlivened with balconies, masses with a variety of planes, heights, materials and colors. The design does well in differentiating upper floor residential units from the ground level commercial spaces and drawing the eye to particular locations of focus. The structure would have a height of 35 feet and a flat roof with both corniced and simple parapets extending to 41 feet, consistent with building height requirements for the CN zoning district. The project also proposes a covered CMU trash enclosure utilizing colors and materials to match the building.

In addition to the photovoltaic panels atop carports and on the roof of the building, "green" design features include energy-efficient appliances, high-efficiency plumbing fixtures, double pane windows, radiant barriers, energy saving light fixtures, tankless water heaters, zero VOC interior paint, low VOC adhesives and sealants, and ceiling fans.

Lighting and Landscaping

The building is arranged to provide areas for residents to recreate in various capacities, including a bocce ball court, patio space and a fenced garden with raised planter boxes and fruit trees. The landscape plan proposes a variety of native and drought tolerant trees and plants (see **Attachment G**, Landscape Plan). A total of 64 new trees would be planted onsite, including oak, pistache, maple, palm and elm trees. A selection of shrubs having vibrant colors would be planted near building entrances and along the street frontage, further enhancing the aesthetic appeal of the site. Parking lot shading is estimated by the landscape architect to reach 50 percent at tree maturity, with the solar-equipped carport structures also contributing to this calculation consistent with CMC Section 19.70.60.E(2). Exterior lighting would include twelve parking lot lights with a finished height of 14 feet, wall-mounted downlights, downlighting on the underside of the solar canopies, recessed downlights in the covered breezeway areas and pathway lighting (see **Attachment H**, Lighting Details).

DISCUSSION

General Plan Goals, Policies and Actions

The Neighborhood Commercial land use designation accommodates a mix of business, office, and residential uses that support the needs of residents living in the surrounding neighborhoods. The project is consistent with several policies and actions under Land Use (LU) Goals LU-2 and LU-4 to promote compatible infill development that includes a mix and

distribution of uses, as it would provide missing neighborhood elements such as retail, enhanced architectural quality, and circulation improvements for pedestrians, bicycles and vehicles (Action LU-2.3.3 and LU-2.3.4; Policy LU-2.4, LU-4.2 and LU-4.4). Goal LU-3 of the General Plan is to enhance existing neighborhoods with walkable access to recreation, places to gather, jobs, daily shopping needs, and other community services. The project is consistent with policies developed under this goal to encourage the development of complete neighborhoods and neighborhood serving centers with a mix of land uses intended to reduce auto trips and support walking, biking and transit use (Policy LU-3.1 and LU-3.2).

The project design includes several energy efficient features and solar canopies in the parking area, consistent with Sustainability Policy SUS-5.2, and implements Community Design (CD) Policy 3.1 (Lasting Design and Materials), Policy 3.2 (Bicycle and Pedestrians) and Goal CD-5 (Compatible Infill Development). Additionally, the project is consistent with goals and policies of the Housing Element to encourage the creation of housing for persons with special needs (H.4), promote a mix of dwelling types and sizes throughout the City (H.3.3), and provide housing that is affordable for individuals and families with low incomes (H.2.1).

Consistency with Design Guidelines Manual

The Mixed-Use Neighborhood Commercial project type accommodates businesses, institutions, and service organizations serving the daily needs of nearby residents. Consistent with this project type, the proposed development would accommodate retail, small-scale financial, business, and personal services, and small-scale restaurant uses on the ground floor, with residential units above. The project is consistent with several Design Guidelines (DGs), including those that call for screening parking views from the public street, providing pedestrian and bicycle amenities, and attractive architecture that creates a sense of place.

A pedestrian-friendly environment is achieved by placing the building near the public sidewalk and existing bus stop on Bruce Road (DGs 1.1.13 and 1.1.15) and providing covered and uncovered bicycle parking, wide sidewalks, pedestrian crossings and public transit options to/from the site (DGs 2.1.21, 2.1.22, 2.1.23, 2.1.24, 2.1.31, 2.1.32 and 4.2.14). The building uses appropriate massing, fenestration, articulation and materials (DG 2.2.11), incorporates varied building depth and shadow (DGs 2.2.22 and 2.2.31), and offers continuity throughout all four elevations in both colors and materials (DGs 1.2.22 and 3.2.33).

Parking views are minimized with landscaping and by locating vehicle parking interior to the site (DGs 1.1.14, 2.1.25, 2.1.26 and 2.1.27). Building entrances are well defined by awnings and wall recesses (DGs 2.2.23 and 2.2.24), lending to easy wayfinding for residents and visitors (DG 4.1.31). Pedestrians are provided easy access to common spaces (DG 4.1.42) and covered, shaded area under the breezeway connecting the building wings (DG 2.1.35).

REQUIRED FINDINGS FOR APPROVAL

Environmental Review

The project has been determined to be categorically exempt under CMC Section 1.40.220 and pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15332 (In-Fill Development Projects). Consistent with this exemption, the project is: consistent with the applicable General Plan designation, zoning regulations, and General Plan policies; is less than five acres in size, substantially surrounded by urban uses; has no habitat value for special status species; will not result in any significant impacts regarding traffic, noise, air quality, or

water quality; and can be adequately served by all required utilities and public services.

Architectural Review

According to Chico Municipal Code Section 19.18.060, the Architectural Review and Historic Preservation Board shall determine whether or not a project adequately meets adopted City standards and design guidelines, based upon the following findings:

1. *The proposed development is consistent with the General Plan, any applicable specific plan, and any applicable neighborhood or area plans.*

The proposal is consistent with several General Plan goals and policies, including those that encourage architectural designs that promote compatible infill development that includes a mix and distribution of uses and encourage the development of complete neighborhoods and neighborhood serving centers with a mix of land uses intended to reduce auto trips and support walking, biking and transit use (Goals LU-2, LU-3 and LU-4; Policies LU-2.4, LU-3.1, LU-3.2, LU-4.2 and LU-4.4; Actions LU-2.3.3, LU-2.3.4).

The project design includes energy efficient features and solar canopies in the parking area, consistent with Sustainability Policy SUS-5.2, and implements Community Design (CD) Policy 3.1 (Lasting Design and Materials), Policy 3.2 (Bicycle and Pedestrians) and Goal CD-5 (Compatible Infill Development). Additionally, the project is consistent with several goals, policies, and actions of the Housing Element (Goal H-4; Actions H.3.3 and H.2.1). The site is not located within the bounds of a Neighborhood Plan or area plan.

2. *The proposed development, including the character, scale, and quality of design are consistent with the purpose/intent of this chapter and any adopted design guidelines.*

A pedestrian-friendly environment is achieved by placing the building near the public sidewalk and existing bus stop on Bruce Road (DGs 1.1.13 and 1.1.15) and providing covered and uncovered bicycle parking, wide sidewalks, pedestrian crossings and public transit options to/from the site (DGs 2.1.21, 2.1.22, 2.1.23, 2.1.24, 2.1.31, 2.1.32 and 4.2.14). The building uses appropriate massing, fenestration, articulation and materials (DG 2.2.11), incorporates varied building depth and shadow (DGs 2.2.22 and 2.2.31), and offers continuity throughout all four elevations in both colors and materials (DGs 1.2.22 and 3.2.33). Parking views are minimized with landscaping and by locating vehicle parking interior to the site (DGs 1.1.14, 2.1.25, 2.1.26 and 2.1.27). Building entrances are well defined by awnings and wall recesses (DGs 2.2.23 and 2.2.24), lending to easy wayfinding for residents and visitors (DG 4.1.31). Pedestrians are provided easy access to common spaces (DG 4.1.42) and covered, shaded area under the breezeway connecting the building wings (DG 2.1.35).

3. *The architectural design of structures, including all elevations, materials and colors are visually compatible with surrounding development. Design elements, including screening of equipment, exterior lighting, signs, and awnings, have been incorporated into the project to further ensure its compatibility with the character and uses of adjacent development.*

The proposed mixed-use project represents an opportunity for a development that would be neighborhood-serving and provide missing neighborhood elements such as

retail, restaurant, or office space, as well as contribute towards senior housing needs. The materials and colors of the new building, complemented by vibrant and diverse landscaping, will create an attractive development on a prominent corner site at the intersection of two main streets. The project has been conditioned to ensure that all exterior equipment will be properly screened from view by roof parapets and screen walls. All exterior lighting shall be shielded and directed downward to avoid spillage onto adjacent properties, while providing sufficient onsite lighting.

4. *The location and configuration of structures are compatible with their sites and with surrounding sites and structures, and do not unnecessarily block views from other structures or dominate their surroundings.*

The proposed structure is consistent with the development standards for main buildings in the CN zoning district and would be compatible with the scale and design of surrounding development, which includes the three-story Willow Oak Villas apartments to the north. Though land west and south of the project site has not yet been developed, the building will not unnecessarily block views or dominate its surroundings. Rather, the project will accommodate both existing and future development in the surrounding area by providing neighborhood serving elements such as retail, office and/or restaurant uses.

5. *The general landscape design, including the color, location, size, texture, type, and coverage of plant materials, and provisions for irrigation and maintenance, and protection of landscape elements, have been considered to ensure visual relief, to complement structures, and to provide an attractive environment.*

The proposed landscaping will provide a variety of seasonal color, while minimizing irrigation demands. Native plantings are appropriately located to ensure visual relief and provide an attractive environment around the new building. Appropriate attention is given to areas surrounding outdoor amenities, including a bocce court and fenced garden area with raised planter boxes and fruit trees for residents as well as outdoor terraces and patio space for commercial tenants and customers. A total of 64 new trees would be planted onsite and a selection of shrubs having vibrant colors would be planted near building entrances and along the street frontage, enhancing the aesthetic appeal of the site.

RECOMMENDED CONDITIONS OF APPROVAL

1. The front page of all approved building plans shall note in bold type face that the project shall comply with Architectural Review 21-03 (B20 Mixed Use Project). No building permits related to this approval shall receive final approval without prior authorization of Community Development Department Planning staff.
2. All development shall comply with all other State and local Code provisions, including those of the City of Chico Community Development and Public Works Departments. The permittee is responsible for contacting these offices to verify the need for compliance.
3. All approved building plans and permits shall note that wall-mounted utilities and roof or wall penetrations, including vent stacks, utility boxes, exhaust vents, gas meters and similar equipment, shall be screened by appropriate materials and

colors. All parapet caps and other metal flashing shall be painted, consistent with the approved building colors. Adequate screening shall be verified by Planning staff prior to issuance of a certificate of occupancy.

4. All exterior lighting shall be shielded and directed downward to avoid light spillage onto adjacent properties.
5. Consistent with CMC 19.60.100, if solar collectors are proposed for any new development, exterior surfaces of the collectors and related equipment shall have a matte finish and shall be color-coordinated to harmonize with the materials and other dominant colors of the structure.
6. All new electric, telephone, and other wiring conduits for utilities shall be placed underground in compliance with CMC 19.60.120.
7. The applicant shall defend, indemnify, and hold harmless the City of Chico, its boards and commissions, officers and employees against and from any and all liabilities, demands, claims, actions or proceedings and costs and expenses incidental thereto (including costs of defense, settlement and reasonable attorney's fees), which any or all of them may suffer, incur, be responsible for or pay out as a result of or in connection with any challenge to or claim regarding the legality, validity, processing or adequacy associated with: (i) this requested entitlement; (ii) the proceedings undertaken in connection with the adoption or approval of this entitlement; (iii) any subsequent approvals or permits relating to this entitlement; (iv) the processing of occupancy permits and (v) any amendments to the approvals for this entitlement. The City of Chico shall promptly notify the applicant of any claim, action or proceeding which may be filed and shall cooperate fully in the defense, as provided for in Government code section 66474.9.

PUBLIC CONTACT

Public notice requirements are fulfilled by mailing a 10-day public hearing notice to all landowners and residents within 500 feet of the site, by placing a notice on the project site and by posting of the agenda at least 10 days prior to the ARHPB meeting. As of the date of this report no comments have been received in response to the public notice.

DISTRIBUTION

Internal (3)

Mike Sawley, Senior Planner
Kelly Murphy, Project Planner
File: AR 21-03

External (2)

K&M Development, Attn: Allen Knott, 1011 Parkview Avenue, Redding, CA 96001, Email: aknott@k2dci.com

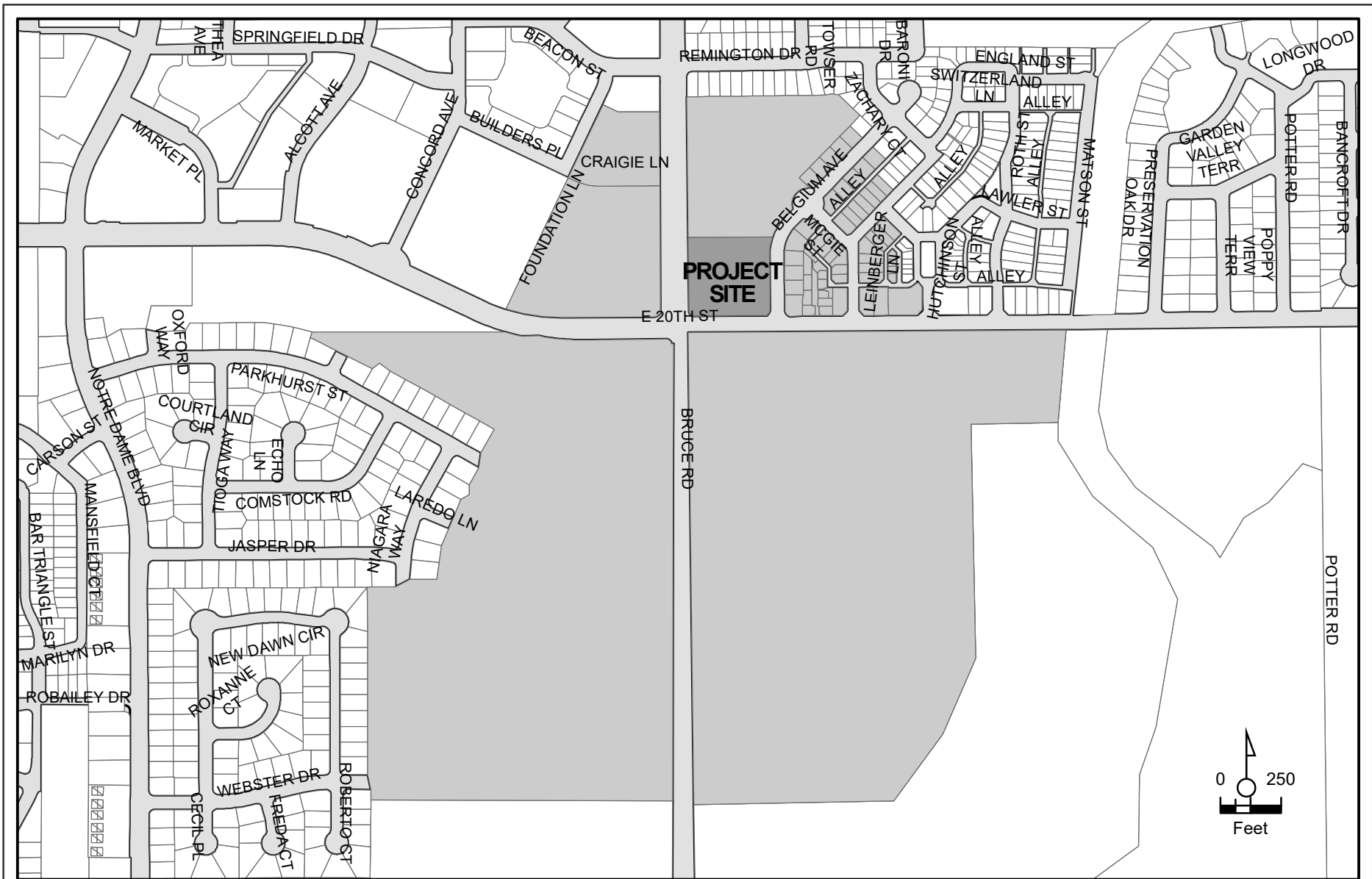
Nichols, Melburg & Rosetto Architects & Engineers, Attn: Kurt Jorgensen, 555 Main Street, Suite 300, Chico, CA 95928, Email: jorgensen@nmrdesign.com

James E. O'Bannon & Susie C. O' Bannon, 1751 Hooker Oak Avenue, Chico, CA

ATTACHMENTS

- A. Location Map
- B. Architect's Narrative

- C. Site Plan
- D. Floor Plan
- E. Color Elevations/Colors and Materials
- F. Color Renderings
- G. Landscaping Plan
- H. Lighting Details



AR 21-03 (B20 Mixed Use Project)
 1993 Bruce Rd.
 APN 018-390-021





February 4, 2021

Architectural Review and Historic Preservation Board
City of Chico Community Development Department
411 Main Street
Chico, CA 95928

RE: New Mixed-Use Building
1993 Bruce Road, NE Corner of Bruce Road and E 20th Street
APN: 018-390-021-000

Architectural Review and Historic Preservation Board Members,

We are pleased to submit this project for your review. It's our intent that the design is consistent with the City of Chico Design Guidelines. The proposed building will contain both residential and commercial spaces in a single, three-story structure at the corner of Bruce Road and E 20th Street. The gross area is projected to be just short of 70,000 sf, including attached covered areas.

The development will serve seniors aged 62 and older with income levels between 30%-50% of AMI. The proposal is for a single, L-shaped, three-story building that includes two upper floors of housing with the ground floor facing Bruce Road dedicated to commercial, possibly retail, office or restaurant space. The project is situated on 2.5 acres and will have a total of 60 units of housing, indoor and outdoor community spaces for residents, and about 9,000 sf of commercial space. Unit mix will be 52 one-bedroom units and 8 two-bedroom units.

The community-centered spaces will include a larger activity room with attached kitchen, a smaller meeting room, also serving as quiet space for computers and a library, and laundry room. The senior apartment's office space will include space for two administrative offices and a work area. The manager's leasing office will also be in this area. There will also be space reserved for maintenance and trash/recycling.

Residential parking will be arrayed along the north property line while a commercial parking area complying with zoning requirements will be located in the SE corner. Please note that a majority of the residents will not own any vehicles; this is reflected in the zoning ordinance requirements. Both parking areas will include shade canopies supporting photoelectric solar panels.

Exterior Architecture

The 3-story, wood-framed structure is proposed to have exterior walls composed of stucco, cementitious paneling and siding, and metal siding and panels. The elevations will be enlivened with



balconies, masses with a variety of planes, heights, materials and colors, differentiation between the ground level commercial and upper level residential, variations of window sizes and configurations, and shaded areas, both protruding and inset. The intent is to break up the mass and draw the eye to particular locations of focus.

The building will have a flat roof with both corniced and simple parapets. We're aiming for a simple, modern building made interesting not by decoration but imaginative use of materials and colors, and skillfully detailed, functional elements.

Landscape Features

The building is arranged to provide area for residents to recreate in various capacities, such as playing bocce ball, gardening, or socializing on a patio, with clear demarcation between public and private space. The building will address the major streets, having been shifted away from the smaller scale, single family residences along Belgium. Native and drought tolerant trees and plants will be added to the site.

Green Features

"Green Building" standards will include photovoltaic panels atop carports and on the roof of the building, energy-efficient appliances, high-efficiency plumbing fixtures, EnergyStar Low-E double pane windows, radiant barriers, energy savings light fixtures, tankless water heaters, hardwood laminate floors, zero VOC interior paint, low VOC adhesives and sealants, and ceiling fans.

Design Guidelines

The project will incorporate the following design elements:

- Reinforce pedestrian-friendly paths of travel with walkways inviting the public into the site, including through a covered breezeway. DG 1.1.13
- Locate parking along side or shielded behind a wing of the building or landscaping. DG 1.1.13
- Existing 8' wide sidewalk along Belgium that also accommodates bicycles to be continued along the project's east side, ending at 20th Street. DG 1.1.24
- Existing transit stop to be enhanced with bus pullout pocket (and right turn, de-cel lane) on land contributed by the project. DG 1.1.27
- Project to have landscaped courtyard, resident garden, barbecue area and bocce ball court. DG 1.1.32 and 1.1.33
- Courtyard open space in project will be utilized both passively and actively. DG 1.1.42
- Building façades will relate to both residential neighborhoods and more urban, recently erected buildings in Meriam Park with materials, scale, fenestration and detailing. DG 1.2.21
- Parking lot lighting to be 15 ft high cutoff fixtures. Pedestrian pathway lighting to be night sky friendly. DG 1.5.13-15.
- No pole signs to be utilized; all signage to be building mounted or on pedestrian-scaled monument signs. DG 1.6.14-16

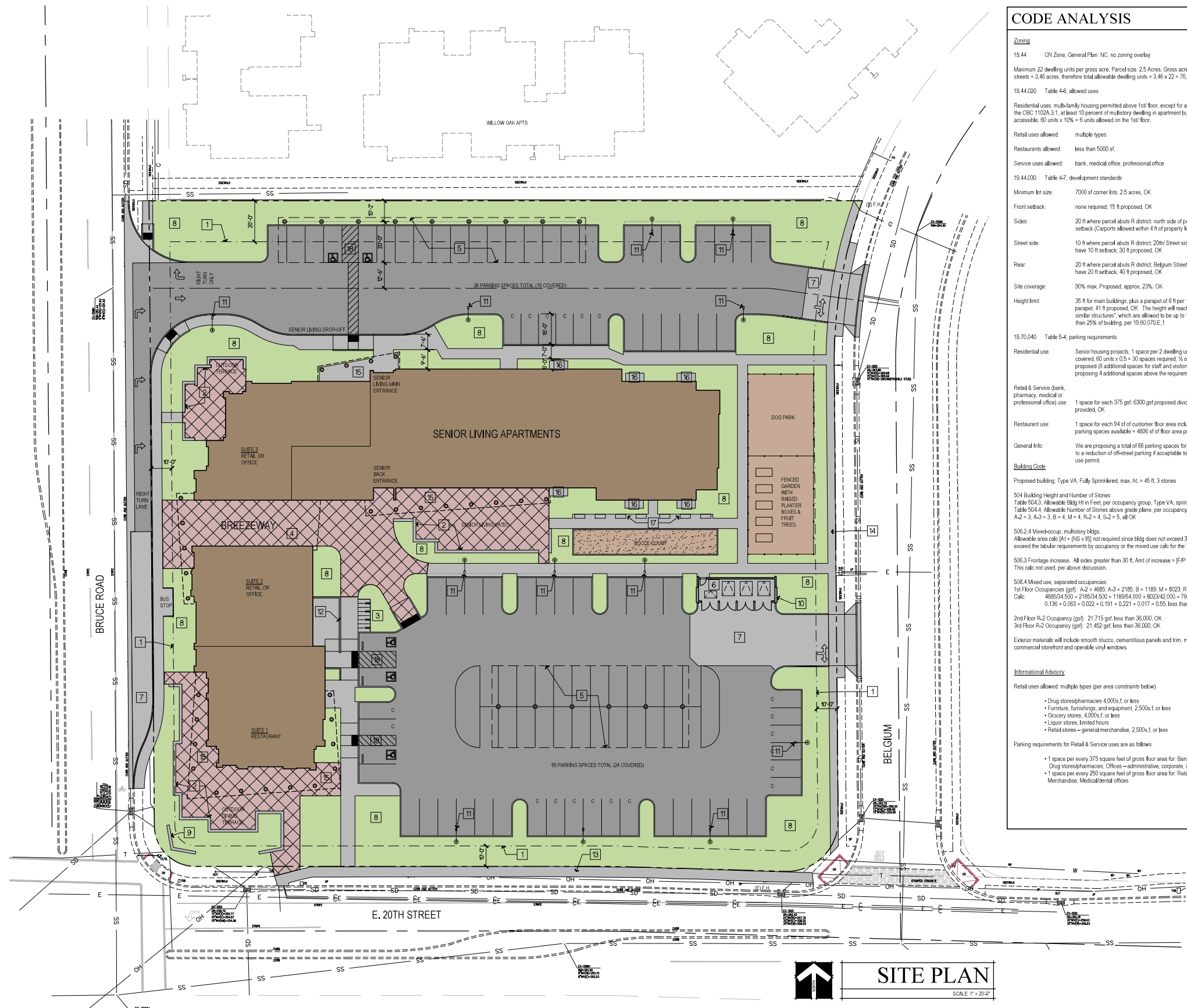


- Deciduous shade trees will be utilized on south and west sides. DG 1.7.13
- Roof overhangs and shading devices will be used to optimize passive solar heating and cooling. DG 1.7.14
- Parking areas will be located behind the building and screened with landscaping. DG 3.1.24
- Bike parking will be provided near the main building entrance. DG 3.1.34
- A screened trash enclosure will be added, and utilities will be screened/hidden from view. DG 3.1.35
- Porches, balconies and windows will face the street to reinforce sense of community. DG 4.1.11
- Massing of building elements, heights and setbacks vary to create interest. DG 4.1.14-15
- Views from residential unit windows, porches and balconies look out on both the street and internal open spaces. DG 4.1.21
- Massing is varied to create non-institutional appearance. DG 4.1.23
- Convenient pedestrian access provided from all residential units to common open space areas and amenities. DG 4.1.41
- Community garden, picnic table/BBQ area, sport court (bocce ball), natural open area with benches are all provided on site. DG 4.1.45
- Building utilizes fenestration to define entries and porches, has thoughtful material changes, and staggered/offset units to provide interest to façade. DG 4.2.11
- Project utilizes a "kit of parts" approach that provides variety while tying together all buildings and facades into a unified whole. DG 4.2.22

We trust that this development will be an enhancement to both the neighborhood and the wider Chico community.

Thank you for your thoughtful consideration,

Kurt A. Jorgensen AIA, Senior Associate Architect
Nichols, Melburg & Rossetto



CODE ANALYSIS

Zoning
 19.44 CN Zone, General Plan: NC, no zoning overlay
 Maximum 22 dwelling units per gross acre. Parcel size: 2.5 Acres. Gross acreage to centerline of bounding streets = 3.46 acres, therefore total allowable dwelling units = 3.46 x 22 = 76.60 proposed, therefore OK.

19.44.020 Table 4-6, allowed uses
 Residential uses: multi-family housing permitted above 1st floor, except for accessible units req'd by code. Per the CDC 1029.3.1, at least 10 percent of multi-family dwelling in apartment buildings are required to be accessible. 60 units x 10% = 6 units allowed on the 1st floor.

Retail uses allowed: multiple types
 Restaurants allowed: less than 5000 sf.
 Service uses allowed: bank, medical office, professional office

19.44.030 Table 4-7, development standards
 Minimum lot size: 7000 sf corner lots, 2.5 acres, OK
 Front setback: none required; 15 ft proposed, OK
 Sides: 20 ft where parcel abuts R district, north side of property required to have 20 ft setback. (Garports allowed within 4 ft of property line)
 Street side: 10 ft where parcel abuts R district, 20th Street side of property required to have 10 ft setback, 30 ft proposed, OK
 Rear: 20 ft where parcel abuts R district, Belgium Street side of property required to have 20 ft setback, 40 ft proposed, OK

Site coverage: 90% max. Proposed, approx. 23%, OK
 Height limit: 35 ft for main buildings, plus a parapet of 6 ft per 19.60.070.E.3 = 41 ft to top of parapet, 41 ft proposed, OK. The height will reach 45 ft high at "penthouses and similar structures" which are allowed to be up to 15 ft higher than allowable ht, if less than 25% of building, per 19.60.070.E.1

19.70.040 Table 5-4, parking requirements
 Residential use: Senior housing projects, 1 space per 2 dwelling units; half the spaces shall be covered, 60 units x 0.5 = 30 spaces required, 1/2 of them covered, 36 spaces proposed (8 additional spaces for staff and visitors), 15 of them covered, OK. We are proposing 4 additional spaces above the requirement for visitors and staff.

Retail & Service (bank, pharmacy, medical or professional office) use: 1 space for each 375 sq ft, 6300 sq ft proposed divided by 375 = 17 spaces required, 17 provided, OK
 Restaurant use: 1 space for each 94 sq ft of customer floor area including outside dining, 94 sq ft x 49 parking spaces available = 4606 sq ft of floor area proposed, OK

General Info: We are proposing a total of 66 parking spaces for the commercial lot. We are open to a reduction of off-street parking if acceptable to the city and if it doesn't involve a use permit.

Building Code
 Proposed building: Type VA, Fully Sprinklered, max. ht. = 45 ft, 3 stories

504 Building Height and Number of Stories
 Table 504.2, Allowable Bldg Ht in Feet, per occupancy group, Type VA, sprinklered: A, B, M, S, R-2 = 70 ft, OK
 Table 504.4, Allowable Number of Stories above grade plane, per occupancy group, Type VA, sprinklered: A-2 = 3, A-3 = 3, B = 4, M = 4, R-2 = 4, S-2 = 5, all OK

506.2.4 Mixed-occup. multistory bldgs.
 Allowable area calc [A1 + (NS x H)] not required since bldg does not exceed 3 stories nor does any individual story exceed the tabular requirements by occupancy or the mixed use calc; for the 1st floor (see below)

506.3 Frontage increase. All sides greater than 30 ft. Amt of increase = [F/P - 0.25]/N/30, or [(1/H) - 0.25]/30/30, or 0.75. This calc not used, per above discussion.

508.4 Mixed use, separated occupancies
 1st Floor Occupancies (gsf): A-2 = 4885; A-3 = 2185; B = 1189; M = 8023; R-2 = 7962; S-2 = 1053. Total = 26,107 gsf
 Calc: 4885/4,500 + 2185/4,500 + 1189/4,500 + 8023/4,200 + 7962/3,000 + 1053/4,000 = 0.136 + 0.063 + 0.022 + 0.191 + 0.221 + 0.017 = 0.56, less than 1, OK

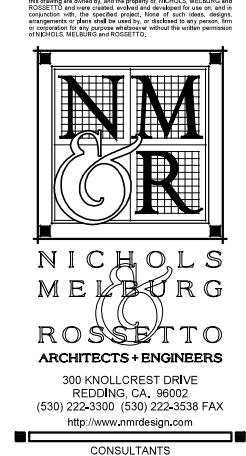
2nd Floor R-2 Occupancy (gsf): 21,715 gsf, less than 36,000, OK
 3rd Floor R-2 Occupancy (gsf): 21,422 gsf, less than 36,000, OK

Exterior materials will include smooth stucco, cementitious panels and trim, metal panels and trim, and both commercial storefront and operable vinyl windows.

Informational Advisory
 Retail uses allowed: multiple types (per area constraints below)
 • Drug stores/pharmacies 4,000 sq ft or less
 • Furniture, furnishings, and equipment 2,500 sq ft or less
 • Grocery stores 4,000 sq ft or less
 • Liquor stores, limited hours
 • Retail stores—general merchandise, 2,500 sq ft or less

Parking requirements for Retail & Service uses are as follows:
 • 1 space per every 375 square feet of gross floor area for: Banks and financial services, Drug stores/pharmacies, Offices—administrative, corporate, industrial
 • 1 space per every 250 square feet of gross floor area for: Retail stores—General Merchandise, Medical/dental offices

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CONSULTANTS

LICENSE STAMPS

PROJECT NAME
**MIXED-USE PROJECT
 BRUCE ROAD &
 EAST 20th STREET**
 FOR
**K&M BUTTE
 DEVELOPERS LLC**

1963 BRUCE ROAD
 CHICO, CA 95928

SHEET TITLE
SITE PLAN

DRAWING STATUS
ARHPB SUBMITTAL
 NOT FOR CONSTRUCTION

REVISIONS
 Sym. Description Date

Drawn By: KAJ
 Date Issued: 2021-03-11
 Scale: 1" = 20'-0"
 Project No.: 20-1785

SHEET No.
A101

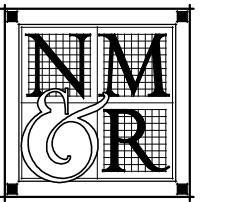
SITE KEYNOTES

1 BUILDING SETBACK	8 IRRIGATED PLANTER, SEE LANDSCAPE DRAWING	15 COVERED PORCH / PATIO
2 LOW RETAINING WALL WITH PRECAST CONCRETE CAP	9 LOW SIGNAGE WALL, SIGNAGE UNDER SEPARATE PERMIT	16 PRIVATE PATIO FOR 1ST FLOOR UNIT, WROUGHT IRON FENCE 4 FT HIGH
3 BIKE PARKING	10 PROPOSED SIGNAGE LOCATION, SIGNAGE UNDER SEPARATE PERMIT	17 FIXED SEATING BENCHES
4 BIKE PARKING - COVERED	11 POLE MOUNTED PARKING LIGHT FIXTURE WITH CUTOFF LENS, SEE PHOTOMETRIC PLAN	18 ACCESSIBLE ASBLE AT ACCESSIBLE PARKING SPACES
5 COVERED PARKING / PHOTO/VOLTAGE PANELS, PAINT IN MATTE FINISH COLOR 'X' SHERWIN WILLIAMS 'P-18' 'DOWETAL'	12 SCREEN WALL FOR MECH. EQUIP.	19 (N) GUARDRAIL & HANDRAIL AT EXT. STAIR, SEE 2/A302 NOTE 14.
6 COVERED TRASH / RECYCLING ENCLOSURE	13 5 FT WIDE SIDEWALK TO REPLACE EXISTING 4 FT WIDE SIDEWALK	20 (N) ACCENT LIGHT AT CARVED BEARS—HYDREL 4640 KMI WITH 14 WATT, 700 LUMEN LED
7 CONCRETE PAVING / APRON	14 EXISTING 4 FT SIDEWALK TO BE WIDENED BY 4 FT TO EXTEND BIKEWAY SOUTH ALONG BELGIUM TO E. 20TH STREET.	21 PUBLIC WAY

LEGEND

	ACCESSIBLE PARKING SPACE, SEE 16A005 FOR DETAILS
--	--

LUGN Name: MAT
 Per Date: March 11, 2021 10:52 am
 Project: 20-1785, 1963 Bruce Road, Chico, CA 95928
 SHEET TITLE: ARHPB SUBMITTAL (2021-03-11)
 PROJECT NO.: 20-1785



**NICHOLS
MELBURG
&
ROSSETTO**
ARCHITECTS + ENGINEERS
300 KNOLLCREST DRIVE
REDDING, CA, 96002
(530) 222-3300 (530) 222-3538 FAX
http://www.nmrdesign.com

CONSULTANTS



1ST FLOOR PLAN
SCALE 3/32" = 1'-0"

LICENSE STAMPS

PROJECT NAME

**MIXED-USE PROJECT
BRUCE ROAD &
EAST 20th STREET**

FOR
**K & M
DEVELOPMENT**

**1933 BRUCE RD.
CHICO, CA 95926**

SHEET TITLE

1ST FLOOR PLAN

DRAWING STATUS

ARHPB SUBMITTAL

NOT FOR CONSTRUCTION

REVISIONS

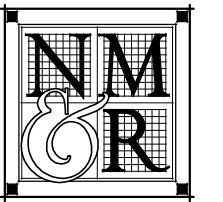
Sym.	Description	Date

Drawn By	KAJ
Date Issued	2021-03-11
Scale	3/32" = 1'-0"
Project No.	20-1785

SHEET No.

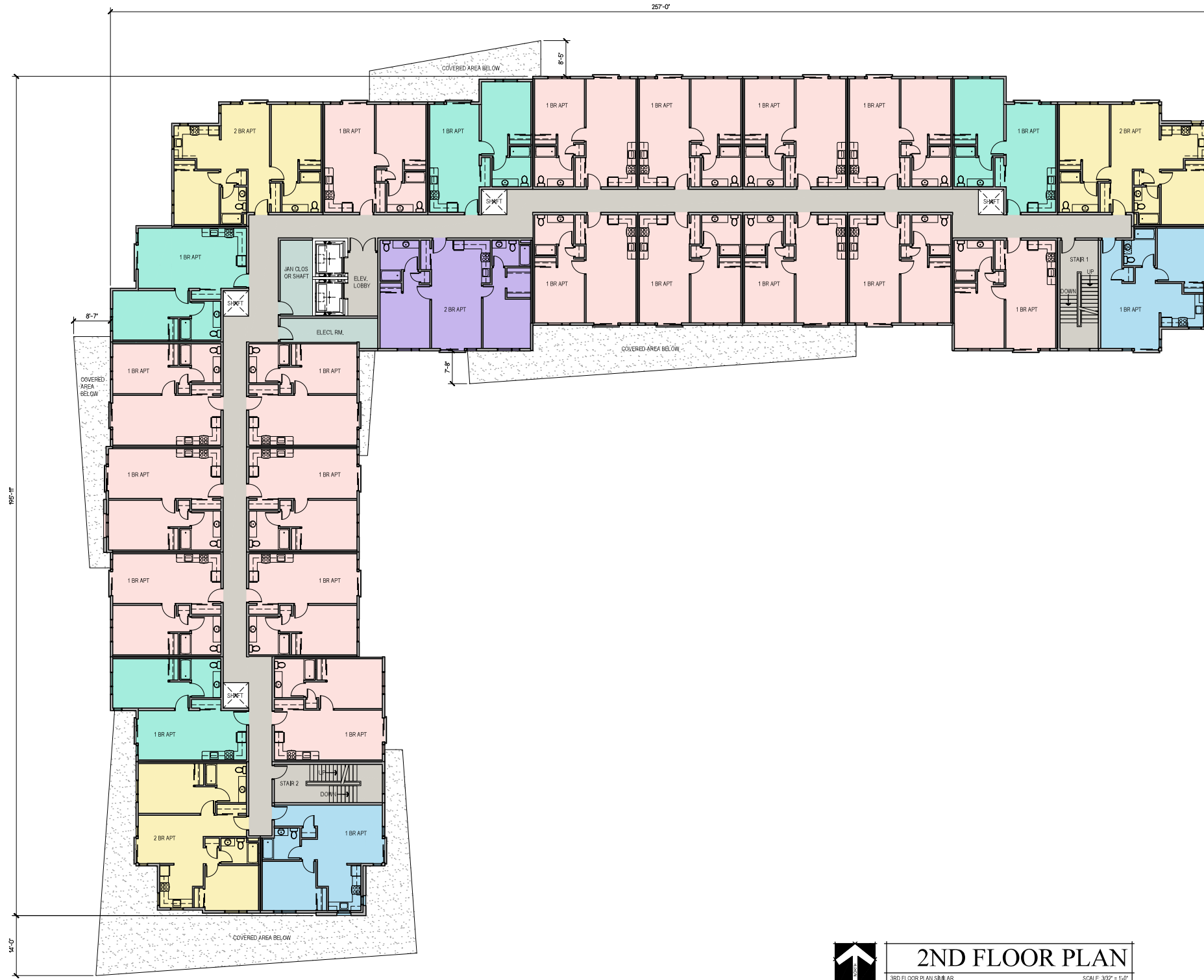
A201

Log# Name: 1/21
 Plot Date: February 01, 2021 - 8:55 am
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 Plot Size: 11.00 x 17.00
 Plot Scale: 1/8" = 1'-0"
 Plot Orientation: Landscape
 Plot Color: Black
 Plot Lineweight: 0.20
 Plot Linetype: Solid
 Plot Font: Arial, 10pt
 Plot Title: 1st Floor Plan
 Plot Sheet: 1 of 1



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CONSULTANTS



2ND FLOOR PLAN
3RD FLOOR PLAN SIMILAR SCALE 3/32" = 1'-0"

LICENSE STAMPS

PROJECT NAME

**MIXED-USE PROJECT
BRUCE ROAD &
EAST 20th STREET**

FOR
**K & M
DEVELOPMENT**

**1933 BRUCE RD.
CHICO, CA 95926**

SHEET TITLE

**2ND FLOOR
(THIRD FLOOR SIM)**

DRAWING STATUS

ARHPB SUBMITTAL

NOT FOR CONSTRUCTION

REVISIONS

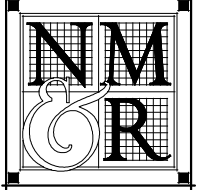
Sym.	Description	Date

Drawn By	KAJ
Date Issued	2021-03-11
Scale	3/32" = 1'-0"
Project No.	20-1785

SHEET No.

A202

Log# Name: 2021-1785-01-01
Rev: 01
Date: 2021-03-11
Scale: 3/32" = 1'-0"
Project No.: 20-1785



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http://www.nmrdesign.com

CONSULTANTS

LICENSE STAMPS



1 BRUCE ROAD (WEST) ELEVATION
SCALE: 1/8"=1'-0"



2 E 20TH ST. (SOUTH) ELEVATION
SCALE: 1/8"=1'-0"

PROJECT NAME

**MIXED-USE PROJECT
BRUCE ROAD &
EAST 20th STREET**

FOR
**K & M
DEVELOPMENT**

1993 Bruce Road
Chico, CA

SHEET TITLE

**EXTERIOR
ELEVATIONS**

DRAWING STATUS

**ARHPB
SUBMITTAL**

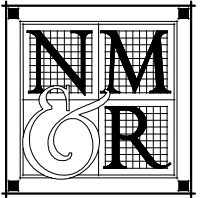
REVISIONS

Sym.	Description	Date

Drawn By	KAJ
Date Issued	2021-03-11
Scale	1/8" = 1'-0"
Project No.	20-1785

SHEET No.
A301

KEY NOTES	NOT ALL KEYNOTES ARE USED ON EVERY SHEET	MATERIALS LEGEND	GENERAL NOTES
<p>KEYNOTES ARE TYPICAL, NOT ALL OCCURANCES ARE CALLED OUT.</p> <p>1 VINYL WINDOW - FIXED, WHITE</p> <p>2 VINYL WINDOW - SINGLE HUNG, WHITE</p> <p>3 VINYL SLIDING GLASS DOOR, WHITE</p> <p>4 ALUMINUM STOREFRONT WINDOW AND/OR DOOR - COLOR 'G'</p> <p>5 PREFABRICATED, POWDER COATED STEEL RAILING - COLOR 'G'</p> <p>6 PREFABRICATED, GALVANIZED STEEL GRID CORNICE - COLOR 'G'</p> <p>7 EXTERIOR PLASTER - COLOR 'A'</p> <p>8 EXTERIOR PLASTER - COLOR 'B'</p> <p>9 FIBER CEMENT BOARD PANELING WITH REVEAL JOINTS - COLOR 'D'</p> <p>10 FLUSH METAL PANEL SILING 12" WIDTH, VERTICAL INSTALLATION - COLOR 'E'</p> <p>11 FLUSH METAL PANEL SILING 4" WIDTH, HORIZONTAL INSTALLATION - COLOR 'F'</p> <p>12 SHAPED FOAM TRIM BAND WITH PLASTER TOP COAT; MATCH ADJACENT PLASTER COLOR</p> <p>13 PAINTED STEEL CHANNEL EDGE AT COVERED ENTRIES, PATIOS - COLOR 'B'</p>	<p>14 PAINTED STEEL WIDE FLANGE COLUMN WITH STEEL TOP AND BASE PLATE ON ROUND CONCRETE BASES WITH BEVELED EDGE - COLOR 'B'</p> <p>15 ROLL-UP GLASS PANEL DOOR - COLOR 'G'</p> <p>16 PROPOSED SIGNAGE LOCATION (UNDER SEPARATE PERMIT)</p> <p>17 GALVANIZED STEEL DOOR - PAINT TO MATCH ADJACENT WALL</p> <p>18 EXTERIOR PLASTER - COLOR 'C'</p> <p>19 CORNICE - SHEET METAL CLADDING - COLOR 'G'</p> <p>20 WINDOW SHADING DEVICE WITH CABLE STAYS - COLOR 'G'</p> <p>21 CMU EQUIPMENT SCREEN WITH PLASTER COATING AND PRECAST CONCRETE CAP - COLOR 'A'</p> <p>22 DOWNSPOUT & SCUPPER, PAINT TO MATCH WALLMOUNTING SURFACE</p> <p>23 GROUND FACE CMU</p> <p>24 STEEL DECK ROOF OR GATE, PAINT AS INDICATED</p>	<p>SEE SEPARATE COLOR BOARD FOR MORE INFO.</p> <p>A COLOR 'A': SMOOTH STUCCO INTEGRAL COLOR, MATCH SHERWIN WILLIAMS 7018 'DOVETAIL'</p> <p>B COLOR 'B': SMOOTH STUCCO INTEGRAL COLOR OR PAINT TO MATCH SHERWIN WILLIAMS 7075 'WEB GRAY'</p> <p>C COLOR 'C': SMOOTH STUCCO INTEGRAL COLOR, MATCH SHERWIN WILLIAMS 6101 'SANDS OF TIME'</p> <p>D COLOR 'D': CEMENTITIOUS FIBERBOARD AND TRIM, MATCH SHERWIN WILLIAMS 9173 'SHITAKE'</p> <p>E COLOR 'E': VERTICAL METAL PANELS AND TRIM, MATCH SHERWIN WILLIAMS 9148 'INKY BLUE'</p> <p>F COLOR 'F': HORIZONTAL METAL PANELS AND TRIM, MATCH AEP SPAN 'RED CEDAR' PREPRINTED FINISH</p> <p>G COLOR 'G': DARK BRONZE ANODIZED ALUMINUM OR PAINT TO MATCH</p> <p>H COLOR 'H': SPLIT FACE CMU, BASALITE COLOR #421</p>	<p>1. ALL FLASHING AND ROOF TOP PENETRATIONS TO BE PAINTED TO MATCH ADJACENT ROOF, WALL OR TRIM COLOR AS APPLICABLE. NO UNPAINTED, GALVANIZED FLASHING OR VENTS TO BE VISIBLE.</p> <p>2. ELEV. 0'-0" IS FOR BUILDING REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL FLOOR ELEVATIONS.</p> <p>3. SEE ARCHITECTURAL, ELECTRICAL OR LANDSCAPE SITE PLANS FOR SITE ITEMS.</p> <p>4. SEE FLOOR PLANS FOR WINDOW & DOOR SYMBOLS.</p>



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 http://www.nmrdesign.com

CONSULTANTS

LICENSE STAMPS



1 BELGIUM (EAST) ELEVATION
 SCALE: 1/8"=1'-0"



2 INT. ROAD (NORTH) ELEVATION
 SCALE: 1/8"=1'-0"

PROJECT NAME
**MIXED-USE PROJECT
 BRUCE ROAD &
 EAST 20th STREET**

FOR
**K & M
 DEVELOPMENT**

1993 Bruce Road
 Chico, CA

SHEET TITLE
**EXTERIOR
 ELEVATIONS**

DRAWING STATUS
**ARHPB
 SUBMITTAL**

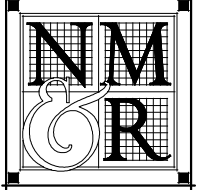
REVISIONS

Sym.	Description	Date

Drawn By	KAJ
Date Issued	2021-03-11
Scale	1/8" = 1'-0"
Project No.	20-1785

SHEET No.
A302

KEY NOTES	NOT ALL KEYNOTES ARE USED ON EVERY SHEET	MATERIALS LEGEND	GENERAL NOTES
<p>KEYNOTES ARE TYPICAL, NOT ALL OCCURANCES ARE CALLED OUT.</p> <p>1 VINYL WINDOW - FIXED, WHITE</p> <p>2 VINYL WINDOW - SINGLE HUNG, WHITE</p> <p>3 VINYL SLIDING GLASS DOOR, WHITE</p> <p>4 ALUMINUM STOREFRONT WINDOW AND/OR DOOR - COLOR 'G'</p> <p>5 PREFABRICATED, POWDER COATED STEEL RAILING - COLOR 'G'</p> <p>6 PREFABRICATED, GALVANIZED STEEL GRID CORNICE - COLOR 'G'</p> <p>7 EXTERIOR PLASTER - COLOR 'A'</p> <p>8 EXTERIOR PLASTER - COLOR 'B'</p> <p>9 FIBER CEMENT BOARD PANELING WITH REVEAL JOINTS - COLOR 'D'</p> <p>10 FLUSH METAL PANEL SISING 12" WIDTH, VERTICAL INSTALLATION - COLOR 'E'</p> <p>11 FLUSH METAL PANEL SISING 4" WIDTH, HORIZONTAL INSTALLATION - COLOR 'F'</p> <p>12 SHAPED FOAM TRIM BAND WITH PLASTER TOP COAT; MATCH ADJACENT PLASTER COLOR</p> <p>13 PAINTED STEEL CHANNEL EDGE AT COVERED ENTRIES, PATIOS - COLOR 'B'</p>	<p>14 PAINTED STEEL WIDE FLANGE COLUMN WITH STEEL TOP AND BASE PLATE ON ROUND CONCRETE BASES WITH BEVELED EDGE - COLOR 'B'</p> <p>15 ROLL-UP GLASS PANEL DOOR - COLOR 'G'</p> <p>16 PROPOSED SIGNAGE LOCATION (UNDER SEPARATE PERMIT)</p> <p>17 GALVANIZED STEEL DOOR - PAINT TO MATCH ADJACENT WALL</p> <p>18 EXTERIOR PLASTER - COLOR 'C'</p> <p>19 CORNICE - SHEET METAL CLADDING - COLOR 'G'</p> <p>20 WINDOW SHADING DEVICE WITH CABLE STAYS - COLOR 'G'</p> <p>21 CMU EQUIPMENT SCREEN WITH PLASTER COATING AND PRECAST CONCRETE CAP - COLOR 'A'</p> <p>22 DOWNSPOUT & SCUPPER, PAINT TO MATCH WALLMOUNTING SURFACE</p> <p>23 GROUND FACE CMU</p> <p>24 STEEL DECK ROOF OR GATE, PAINT AS INDICATED</p>	<p>SEE SEPARATE COLOR BOARD FOR MORE INFO.</p> <p>A COLOR 'A': SMOOTH STUCCO INTEGRAL COLOR, MATCH SHERWIN WILLIAMS 7018 'DOVETAIL'</p> <p>B COLOR 'B': SMOOTH STUCCO INTEGRAL COLOR OR PAINT TO MATCH SHERWIN WILLIAMS 7075 'WEB GRAY'</p> <p>C COLOR 'C': SMOOTH STUCCO INTEGRAL COLOR, MATCH SHERWIN WILLIAMS 6101 'SANDS OF TIME'</p> <p>D COLOR 'D': CEMENTITIOUS FIBERBOARD AND TRIM, MATCH SHERWIN WILLIAMS 9173 'SHITAKE'</p> <p>E COLOR 'E': VERTICAL METAL PANELS AND TRIM, MATCH SHERWIN WILLIAMS 9148 'INKY BLUE'</p> <p>F COLOR 'F': HORIZONTAL METAL PANELS AND TRIM, MATCH AEP SPAN 'RED CEDAR' PREPRINTED FINISH</p> <p>G COLOR 'G': DARK BRONZE ANODIZED ALUMINUM OR PAINT TO MATCH</p> <p>H COLOR 'H': SPLIT FACE CMU, BASALITE COLOR #421</p>	<p>1. ALL FLASHING AND ROOF TOP PENETRATIONS TO BE PAINTED TO MATCH ADJACENT ROOF, WALL OR TRIM COLOR AS APPLICABLE. NO UNPAINTED, GALVANIZED FLASHING OR VENTS TO BE VISIBLE.</p> <p>2. ELEV. 0'-0" IS FOR BUILDING REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL FLOOR ELEVATIONS.</p> <p>3. SEE ARCHITECTURAL, ELECTRICAL OR LANDSCAPE SITE PLANS FOR SITE ITEMS.</p> <p>4. SEE FLOOR PLANS FOR WINDOW & DOOR SYMBOLS.</p>



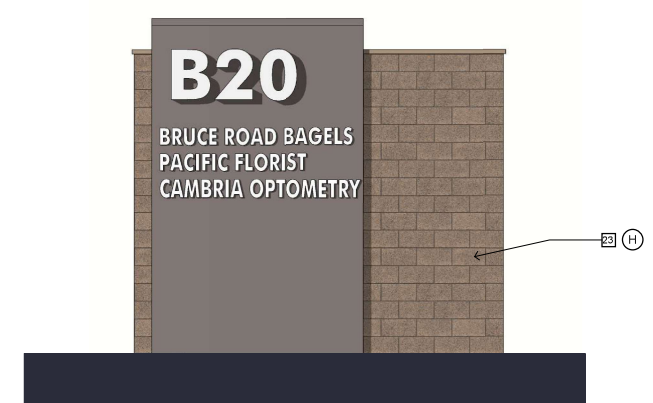
**NICHOLS
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CONSULTANTS

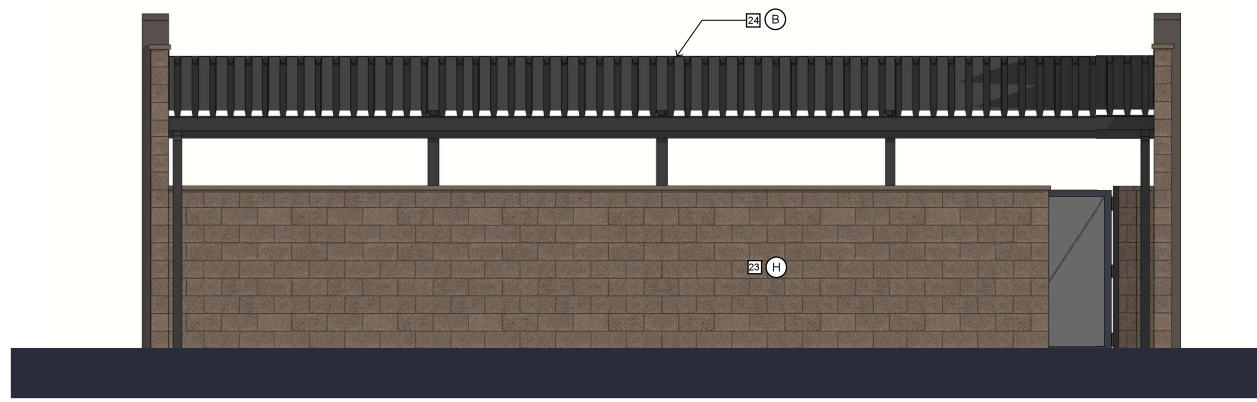
LICENSE STAMPS



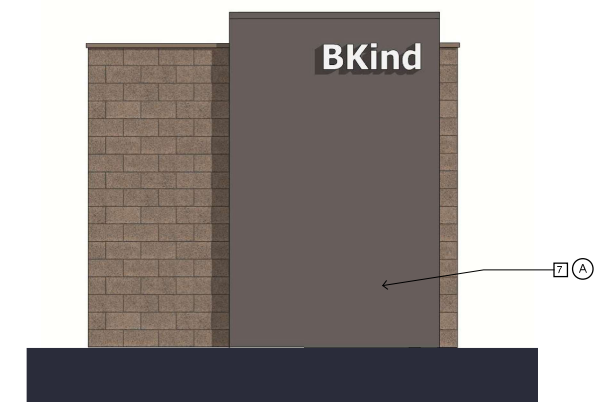
1 TRASH ENCL. SOUTH ELEVATION
SCALE: 3/8"=1'-0"



2 TRASH ENCL. EAST ELEVATION
SCALE: 3/8"=1'-0"



3 TRASH ENCL. NORTH ELEVATION
SCALE: 3/8"=1'-0"



4 TRASH ENCL. WEST ELEVATION
SCALE: 3/8"=1'-0"

PROJECT NAME

**MIXED-USE PROJECT
BRUCE ROAD &
EAST 20th STREET**

FOR
**K & M
DEVELOPMENT**

1993 Bruce Road
Chico, CA

SHEET TITLE

**EXTERIOR
ELEVATIONS -
TRASH ENCLOSURE**

DRAWING STATUS

**ARHPB
SUBMITTAL**

REVISIONS

Sym.	Description	Date

Drawn By	KAJ
Date Issued	2021-03-11
Scale	
Project No.	20-1785

SHEET No.
A303

KEY NOTES	NOT ALL KEYNOTES ARE USED ON EVERY SHEET	MATERIALS LEGEND	GENERAL NOTES
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Bruce Rd & E 20th Street Mixed-Use Building Color Board
NMR Architects

Exterior Stucco Plaster 1—smooth



Proposed Color 'A':



Exterior Stucco Plaster 2—smooth



Proposed Color 'B':



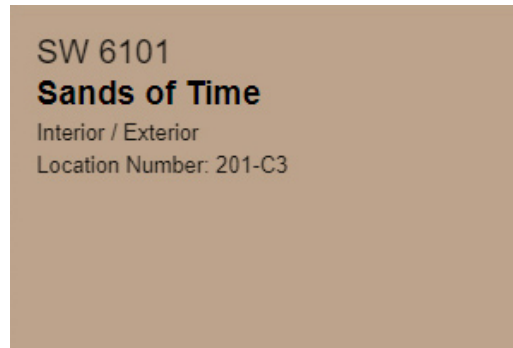
Exposed Steel and Misc. Metals at Canopies



Exterior Stucco Plaster 3—smooth



Proposed Color 'C':



Cementitious Fiberboard—smooth



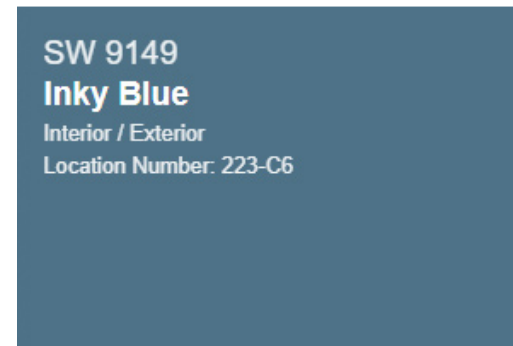
Proposed Color 'D':



Vertical Metal Siding
Prestige 1" Reveal by AEP Span



Proposed Color 'E':



**Bruce Rd & E 20th Street Mixed-Use Building
Color Board continued:**

Horizontal Metal Siding
Perception PC40-12 by AEP Span



Proposed Color 'F':



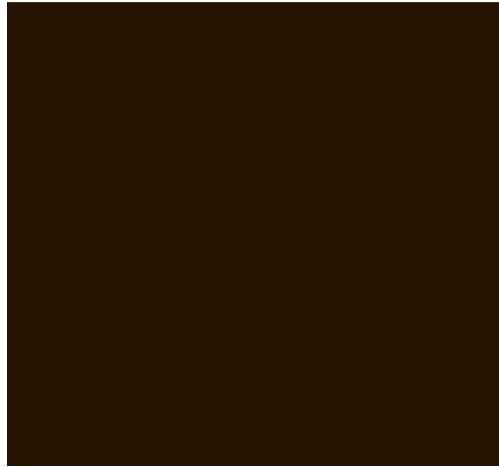
Red Cedar

SRI 37 • LRV 12

Entry Doors and Storefront Window Frames,
Louvered Shading Device, Cornice and "Crown"

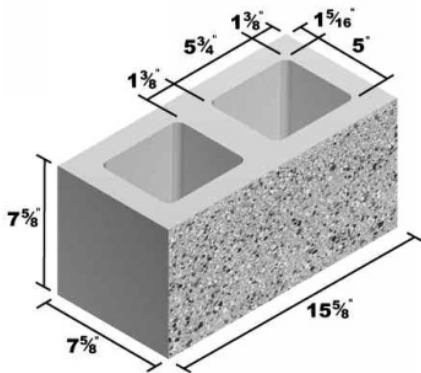


Proposed color 'G':



#40 "Dark Bronze" by Kawneer or paint to match

Ground Face Concrete Masonry Wainscot
(Basalite)

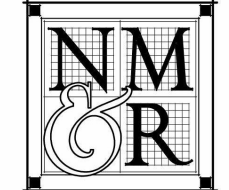


Proposed color 'H':



#421

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 &
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CONSULTANTS

LICENSE STAMPS

PROJECT NAME
**MIXED-USE PROJECT
 BRUCE ROAD &
 EAST 20th STREET**
 FOR
**K & M
 DEVELOPMENT**

1993 Bruce Road
 Chico, CA

SHEET TITLE
**EXTERIOR
 VIEWS**

DRAWING STATUS
**ARHPB
 SUBMITTAL**
 NOT FOR CONSTRUCTION

REVISIONS

Sym.	Description	Date

Drawn By	KAJ
Date Issued	2021-03-11
Scale	NTS
Project No.	20-1785

SHEET No.
A401



1 PERSPECTIVE
 LOOKING N.E. FROM BRUCE



2 PERSPECTIVE
 LOOKING NORTH FROM E. 20TH ST.



3 PERSPECTIVE
 LOOKING N.E. FROM INTERSECTION



1 PERSPECTIVE
LOOKING WEST FROM BELGIUM

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 MELBURG
 ROSSETTO
 ARCHITECTS + ENGINEERS
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2 PERSPECTIVE
LOOKING WEST FROM PARKING LOT

PROJECT NAME
**MIXED-USE PROJECT
 BRUCE ROAD &
 EAST 20th STREET**
 FOR
**K & M
 DEVELOPMENT**

1993 Bruce Road
 Chico, CA

SHEET TITLE
**EXTERIOR
 VIEWS**

DRAWING STATUS
**ARHPB
 SUBMITTAL**

NOT FOR CONSTRUCTION

REVISIONS

Sym.	Description	Date

Drawn By	KAJ
Date Issued	2021-03-11
Scale	NTS
Project No.	20-1785

SHEET No.
A402



1 **PERSPECTIVE**
PATIO AT CORNER OF BRUCE & E. 20TH ST.



2 **PERSPECTIVE**
VIEW OF CORNER FROM PARKING LOT



3 **PERSPECTIVE**
OVERVIEW LOOKING NORTH

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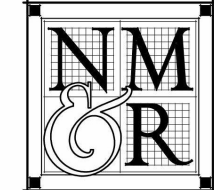
REVISIONS

Sym.	Description	Date

Drawn By	KAJ
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Scale	NTS
Project No.	20-1785

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1 PERSPECTIVE
 LOOKING NW. OVER GARDEN & DOG PARK



2 PERSPECTIVE
 LOOKING EAST AT APARTMENT PATIO



3 PERSPECTIVE
 LOOKING WEST AT BOCCIE COURT & PATIO



4 PERSPECTIVE
 LOOKING WEST AT NORTH SIDE OF APTS.

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**EXTERIOR
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REVISIONS

Sym.	Description	Date

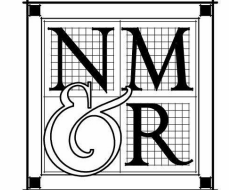
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Scale	NTS
Project No.	20-1785

SHEET No.
A404



1 PERSPECTIVE
LOOKING S.E. AT SENIOR APTS ENTRY

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A405



2 PERSPECTIVE
EVENING VIEW - APT. ENTRY LOOKING S.W.



3 PERSPECTIVE
EVENING VIEW - LOOKING S.E.



1 **PERSPECTIVE**
EVENING VIEW - LOOKING N.E.



2 **PERSPECTIVE**
EVENING VIEW - LOOKING N.W.

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REVISIONS

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Date Issued	2021-03-11
Scale	NTS
Project No.	20-1785

SHEET No.
A406

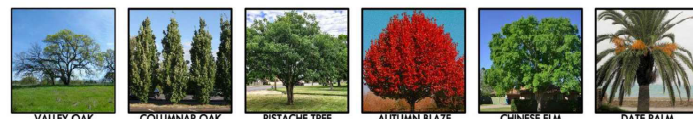
PLANT LIST

SYMBOL	LATIN NAME/ COMMON NAME	QUANTITY	CONTAINER SIZE	WATER USE
TREES				
	QUERCUS LOBATA VALLEY OAK	2	15 GAL	LOW
	QUERCUS ROBUR 'FASTIGIATA' COLUMNAR OAK	5	15 GAL	MEDIUM
	PISTACHE CHINENSIS PISTACHE TREE	11	15 GAL	LOW
	ACER X FREEMANII 'AUTUMN BLAZE' AUTUMN BLAZE MAPLE	6	15 GAL	MEDIUM
	ULMUS PARVIFOLIA CHINESE ELM	26	15 GAL	MEDIUM
	PHOENIX DACTYLIFERA DATE PALM	9	15 GAL	LOW
	VARIOUS FRUIT TREES	5	15 GAL	MEDIUM
SHRUBS				
	JUNCUS INFLEXUS BLUE ARROW JUNCUS	160	5 GAL	MEDIUM
	LOROPETALUM CHINENSE 'RAZZLEBERRI' MAJESTIC PURPLE RAZZLEBERRI FLOWER	34	5 GAL	MEDIUM
	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' TUSCAN BLUE ROSEMARY	17	1 GAL	LOW
	SALVIA CLEVELANDII CLEVELAND SAGE	3	5 GAL	LOW
	CALAMAGROSTIS X ACUTIFLORA 'AVALANCHE' AVALANCHE FEATHER REED GRASS	78	1 GAL	LOW
	VIBURNUM TINUS 'SPRING BOUQUET' SPRING BOUQUET VIBURNUM	28	1 GAL	LOW
	CHONDROPETALUM TECTORUM CAPE RUSH	91	1 GAL	LOW
	PODOCARPUS MACROPHYLLUS YEW PINE	9	1 GAL	MEDIUM
	FICUS PUMILA MINIMA CREEPING FIG	3	1 GAL	MEDIUM
	Buddleia MARRUBIIFOLIA WOOLLY BUTTERFLY BUSH	163	1 GAL	LOW
	JUNIPERUS CHINENSIS 'SKYROCKET' SKYROCKET JUNIPER	9	1 GAL	LOW
GROUNDCOVER - EQUALLY SPACED				
	CAREX OSHMINENSIS 'EVERGOLD' EVERGOLD SEDGE	2653 SF	1 GAL	LOW
	LIRIOPE MUSCARI 'VARIEGATA' VARIEGATED LILY TURF	2031 SF	1 GAL	MEDIUM
	JUNIPERUS HORIZONTALIS 'BLUE RUG' BLUE RUG JUNIPER	4923 SF	1 GAL	LOW
	LOROPETALUM CHINENSE 'DARUMA DWARF' DARUMA DWARF RAZZLEBERRI FRINGE FLOWER	230 SF	1 GAL	MEDIUM

INTERIOR PARKING LOT LANDSCAPE

DESCRIPTION	SQUARE FOOT	PERCENTAGE
TOTAL PARKING LOT AREA	34,159 SF	100 %
LANDSCAPE AREA PROVIDED	3,095 SF	9 %
NOTE: 5% MINIMUM REQUIRED		

TREE SPECIES COLOR SCHEMA



SELECTED SHRUBS AND GROUNDCOVER

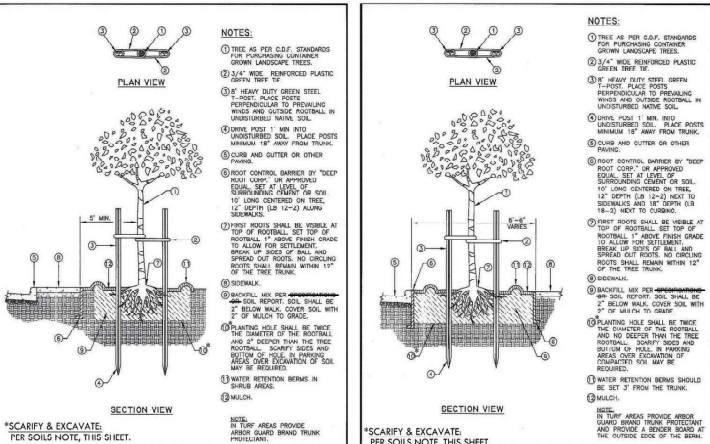


NOTES

- SOILS NOTE**
ALL PARKING LOT ISLANDS AND TREE PLANTING PITS WILL BE SCARIFIED TO A MINIMUM DEPTH OF 30" BY THE FULL LENGTH AND WIDTH OF THE PARKING LOT ISLAND OR 8' DIAMETER, CENTERED ON TREE PLANTING, SO AS TO DE-COMPACT SOILS. CONTRACTOR SHALL SOLICIT A SOILS REPORT FROM AN ANALYTICAL LABORATORY AND AMEND SOILS AS RECOMMENDED BY THE ANALYTICAL LABORATORY.
- IRRIGATION NOTE**
ALL LANDSCAPED AREAS SHALL BE IRRIGATED BY MEANS OF AN AUTOMATICALLY CONTROLLED, LOW VOLUME DRIP OR BUBBLER IRRIGATION SYSTEM. OVERHEAD IRRIGATION WILL NOT OCCUR WITHIN 24" OF ANY NON-PERMEABLE SURFACE. ALL SYSTEMS WILL FOLLOW MWVELO (MODEL WATER EFFICIENT LANDSCAPE ORDINANCE) STANDARDS. ALL TREES WILL BE ON SEPARATE HYDROZONES.
- SITE AMENITIES**
SEE ATTACHED SITE PLAN SHEET FOR ADDITIONAL SITE AMENITIES.
- LANDSCAPE FABRIC AND MULCH**
INORGANIC MULCH AND LANDSCAPE FABRIC NOT PERMITTED IN PUBLIC RIGHT-OF-WAY.

SHADE SYMBOLS

PROPOSED TREE - 25' DIAMETER	QTY.	AREA	TOTAL
HALF OF CANOPY AREA COUNTED	5	771 SF	3,855 SF
PROPOSED TREE - 40' DIAMETER			
QUARTER OF CANOPY AREA COUNTED	1	314 SF	314 SF
HALF OF CANOPY AREA COUNTED	1	628 SF	628 SF
THREE QUARTERS OF CANOPY AREA COUNTED	5	942 SF	4,710 SF
PROPOSED TREE - 65' DIAMETER			
HALF OF CANOPY AREA COUNTED	2	528 SF	1,056 SF
TOTAL TREE SHADE PROVIDED			10,563 SF



BACK OF WALK PLANTING LS-1 PARKWAY STRIP PLANTING LS-1

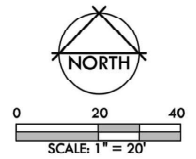


SHADE CALCULATIONS

DESCRIPTION (ALLEY NOT INCLUDED)	SQUARE FOOT	PERCENTAGE
TOTAL PARKING LOT AREA (NEW PARKING ONLY)	34,159 SF	100.0%
SHADE AREA PROVIDED (TREES, COVERED PARKING)	17,107 SF	50.0%
NOTE: 50% MINIMUM REQUIRED		

SITE SUMMARY

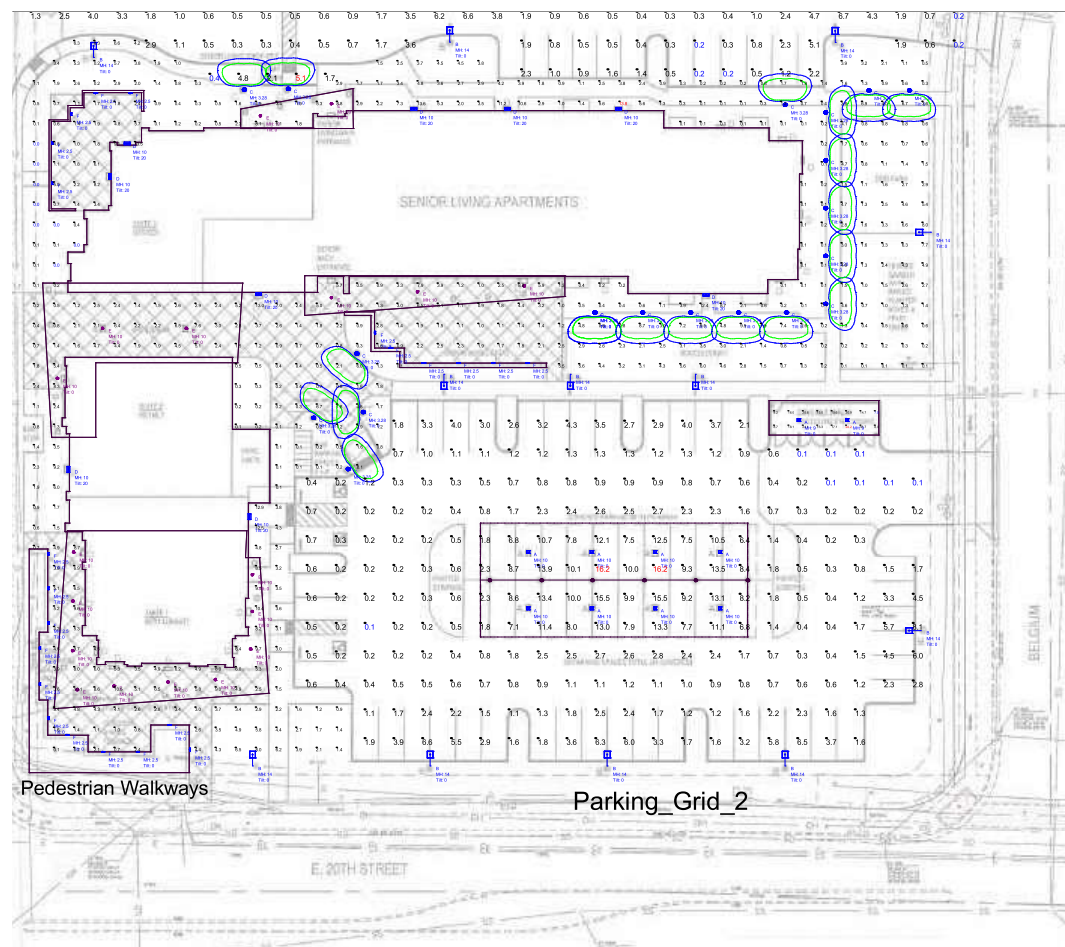
DESCRIPTION - INCLUDES EXISTING LANDSCAPE	SQUARE FOOT	PERCENTAGE
TOTAL SITE AREA	108,916 SF	100%
TOTAL BUILDING FOOTPRINT	20,469 SF	19%
TOTAL PARKING LOT AREA	34,159 SF	31%
TOTAL LANDSCAPE AREA	27,562 SF	25%
TOTAL SIDEWALKS, CURBS & MISC	26,726 SF	25%



B20 MIXED USE PRELIMINARY LANDSCAPE MASTER PLAN



PREPARED FOR:
K & M DEVELOPMENT
CHICO, CA



TYPE A



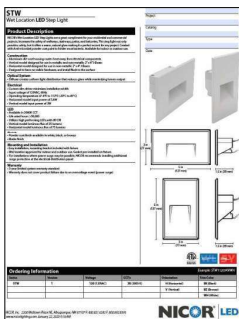
TYPE B



TYPE C



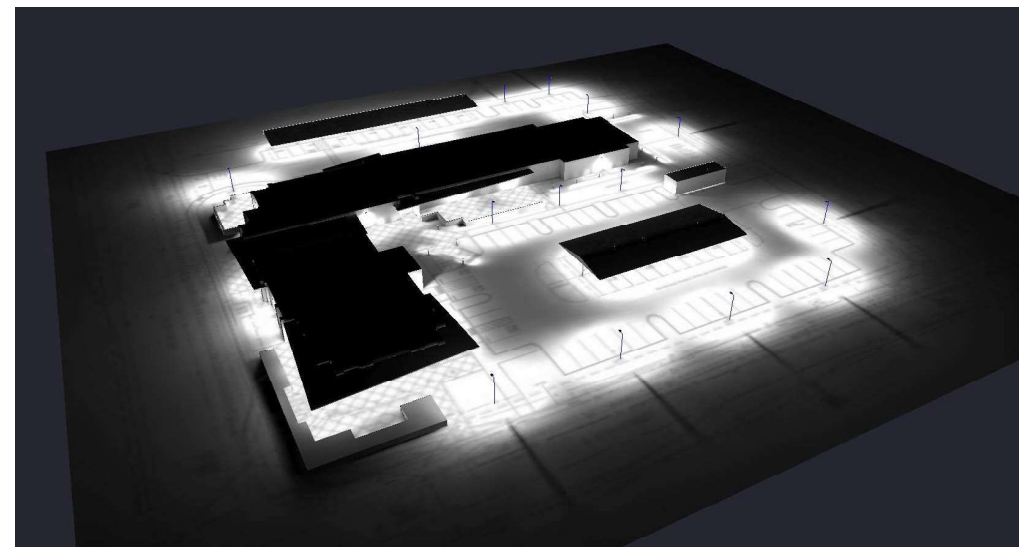
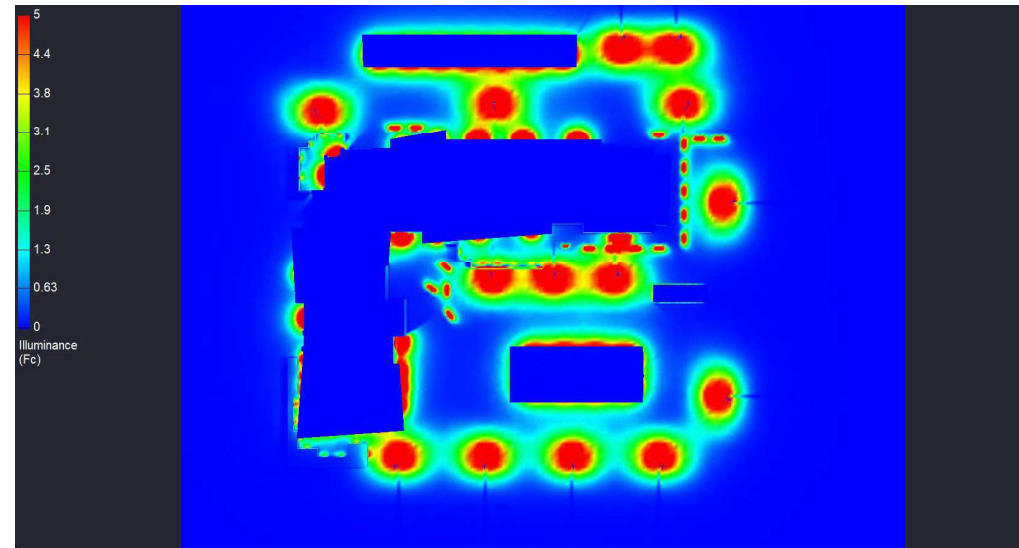
TYPE D



TYPE F



TYPE E



Note on this Design:
This report makes no representations in regard to Lighting Design or Specification, rather it attempts to accurately reflect the photometric results of a design, as approved by others.

Note on these Photometric Calculations:
This analysis is a mathematical model and can be only as accurate as is permitted by the third-party software and the IES standards used. All digital CAD data appear to be accurate, however, this apparent accuracy is an artifact of the techniques used to generate it and is in no way intended to imply accuracy in the real world.

There are many factors that will impact the actual performance of Lighting in the constructed space, including: the accuracy of the original source (.ies) files supplied by the manufacturer, input voltage ballast variances, actual finish values in the constructed environment, manufacturing variations in both the source (lamp) and the luminaire, final luminaire placement, obstructions, and installation quality. Further, field measurement itself is subject to errors arising from measuring methods and/or technology selected, and the knowledge/ability of the measuring party. While the creator of this lighting study makes every effort to ensure accuracy, they cannot be held liable for any errors. The recipient of this lighting study understands and accepts that the likelihood of scaling error increases when no .DWG file or other properly-dimensioned drawing is provided to the designer.

NB: Reflective Values have a significant effect on light levels, the end-user of the document should confirm these values before accepting the results of any photometric report. The managing contractor/architect/engineer is responsible for ensuring compliance to all relevant lighting ordinance(s) and energy codes required on this project.

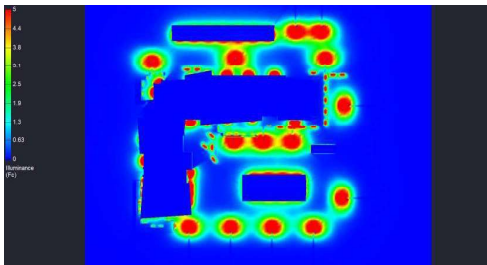
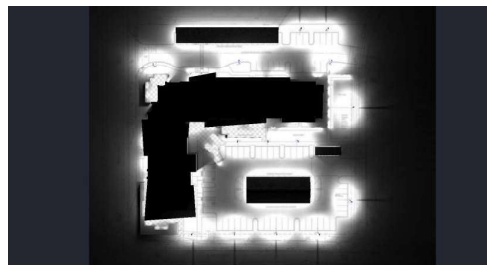
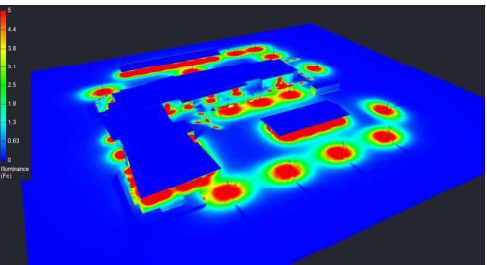
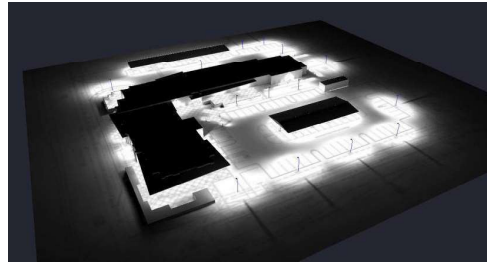
Luminaire Schedule							
Symbol	Label	Qty	LLF	[MANUFAC]	Description	Lum. Watts	Total Watts
+	A	17	0.900	NICOR, Inc.	OUC1045MV40WH	45.81	778.77
-	B	14	0.900	NICOR Inc.	OAL-2-060-MV-50-8-BZ3	58.04	812.56
+	C	20	0.927	Selux Corporation	OBH-R-7-10-U-XX-XX-39-XX	10	200
	D	9	0.900	NICOR, Inc.	OSA1030MV50BZ	28.75	258.75
o	E	18	0.900	NICOR INC	CLR6-1015-UNV-40K-WH	16.75	301.5
f	F	22	1.000	NICOR Inc.	STW-1-120-3K-H	4.29471	94.48363

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
DROP-OFF AREA	Illuminance	Fc	2.82	5.1	0.4	7.05	12.75
Parking_Grid_1	Illuminance	Fc	3.28	18.1	0.2	16.40	90.50
Parking_Grid_2	Illuminance	Fc	2.84	16.2	0.1	28.40	162.00
Pedestrian Walkways	Illuminance	Fc	2.77	13.8	0.0	N.A.	N.A.
Trash Enclosure_Bottom	Illuminance	Fc	15.73	24.2	7.5	2.10	3.23

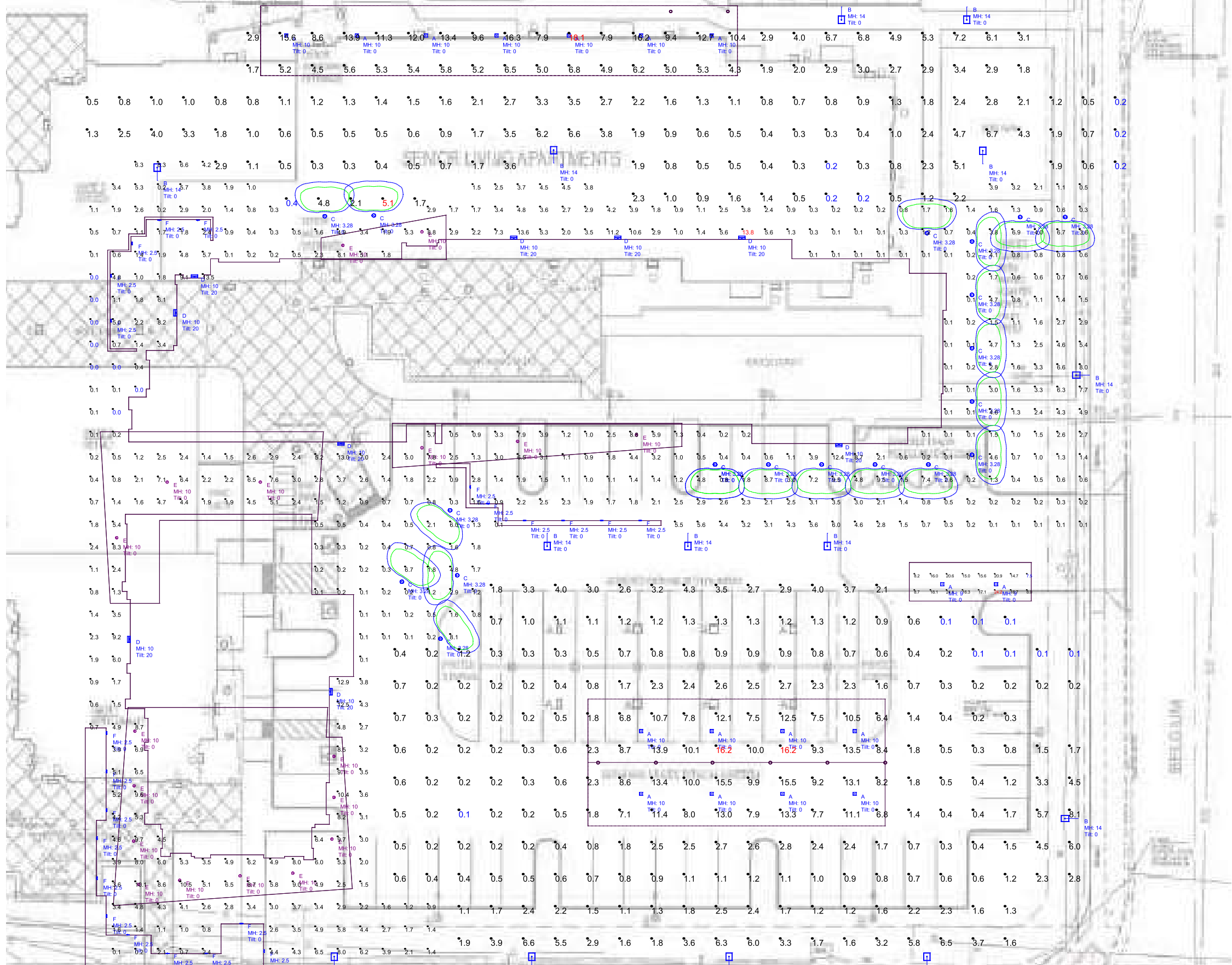
Date: 2/4/2021

NO	ISSUE

Drawing:
Lighting Study
Design By: N.K.
Drawing Number:
1



Parking_Grid_1



Pedestrian Walkways

Parking_Grid_2



Bruce Rd. & E 20th St. - Site Lighting

Date: 2/4/2021

NO	ISSUE

Drawing:

Lighting Study
Design By: N.K.

Drawing Number:
2