



Architectural Review
and Historic Preservation Board
Special Memo

Meeting Date 10/21/2020

DATE: September 4, 2020

File: AR 19-15

TO: Architectural Review and Historic Preservation Board

FROM: Dexter O'Connell, Associate Planner
530-879-6810, dexter.oconnell@chicoca.gov

RE: AR 19-15 (Sloop Medical Building)
Jan Court at Forest Avenue -- APN 002-210-066 et al.

RECOMMENDATION

Staff recommends that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve the project as revised, subject to the recommended conditions.

Proposed Motion

I move that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve Architectural Review 19-15 (Sloop Medical Building), as revised and subject to the recommended conditions.

BACKGROUND

At the meeting of August 19, 2020, the ARHPB voted to Continue this project and direct the applicant to provide additional detail of the following specifics:

1. Rendering of landscaping, if possible
2. Detailed colored elevations emphasizing the logic and coordination of the color scheme
3. Details of the window trim
4. Materials specified in a clear manner

The applicant provided a revised rendering of the structure consistent with #2 and #3, provided here as **Attachment C**, and stated that the colors, Sherman Williams SW6421 ("Celery") and trim in Sherman Williams SW7008 "Alabaster White" were those that matched the physical color board, **Attachment G**.

Details of the project remain as discussed in the original ARHPB Report, **Attachment F**, and the City's staff recommendation remains the same, except with the recommended conditions below. New conditions proposed by staff in response to the revised submittal are in italics.

RECOMMENDED CONDITIONS OF APPROVAL

1. All approved building plans and permits shall note on the cover sheet that the project

shall comply with AR 19-15 (Sloop Medical Building). The approval documents for this project are date stamped August 5, 2020.

2. All wall-mounted utilities and roof or wall penetrations, including vent stacks, utility boxes, exhaust vents, gas meters and similar equipment, shall be screened by appropriate materials and colors. Adequate screening shall be verified by Planning staff in the field prior to issuance of a certificate of occupancy.
3. Proposed project signage shall be permitted through a separate sign permit in compliance with CMC 19.74 (Signs).
4. All pad sites for future buildings and unused portions of the site shall be temporarily landscaped with hydroseeding or other surface-stabilizing treatment.
5. Prior to issuance of a Certificate of Occupancy the applicant shall install landscaping for the subject parcel (APN 002-210-066), and throughout all parts of the parking area constructed concurrently as shown on the landscape plan. These landscape improvements shall be shown on the building plans and shall comply with City of Chico Municipal Code standards, including the provision of irrigation. Such landscaping shall include all tree cover required for the parking area's shade.
6. Applicant shall provide a structural cover over the bicycle parking area or relocate the bicycle parking to a covered location within 20 feet of the front building entrance.
7. Boulevard trees along Jan Court and Forest Avenue shall be planted in a manner to be approved by the City of Chico Urban Forester.
8. All proposed fencing shall have a cap and top rail and shall be constructed of pressure-treated lumber.
9. The applicant shall defend, indemnify, and hold harmless the City of Chico, its boards and commissions, officers and employees against and from any and all liabilities, demands, claims, actions or proceedings and costs and expenses incidental thereto (including costs of defense, settlement and reasonable attorney's fees), which any or all of them may suffer, incur, be responsible for or pay out as a result of or in connection with any challenge to or claim regarding the legality, validity, processing or adequacy associated with: (i) this requested entitlement; (ii) the proceedings undertaken in connection with the adoption or approval of this entitlement; (iii) any subsequent approvals or permits relating to this entitlement; (iv) the processing of occupancy permits and (v) any amendments to the approvals for this entitlement. The City of Chico shall promptly notify the applicant of any claim, action or proceeding which may be filed and shall cooperate fully in the defense, as provided for in Government code section 66474.9.
10. *Applicant shall, along the rear elevation, provide decorative elements that create a human scale on the rear of the structure.*
11. *Applicant shall paint a mural along the equipment screening on the rear elevation.*

12. Applicant shall fully landscape all parts of the site that are on a slope with vegetation that will keep the slope stable and attractive, as approved by the Urban Forest Manager.

PUBLIC CONTACT

A notice was published in the Chico Enterprise Record 10 days prior to the meeting date, notices were mailed out to all property owners and tenants within 500 feet of the project site, and a notice was placed on the project site. The meeting agenda was posted at least 10 days prior to the Architectural Review and Historic Preservation Board meeting.

ATTACHMENTS

- A. Location Map
- B. Site Plan
- C. Rendering
- D. Elevations
- E. Landscape Plan
- F. Report for 8/19/2020 ARHPB Meeting
- G. Color and Materials Board.

DISTRIBUTION

Jim Crew. PO Box 393, Paradise, CA 95967. jcrewbuilder@yahoo.com

Jim Peterson. jim@streamlinechico.com

Russ Erickson. russ@robertsonerickson.com

Burak Karatekeli. burak@robertsonerickson.com

Barbora Hoagland. barborahoagland@outlook.com

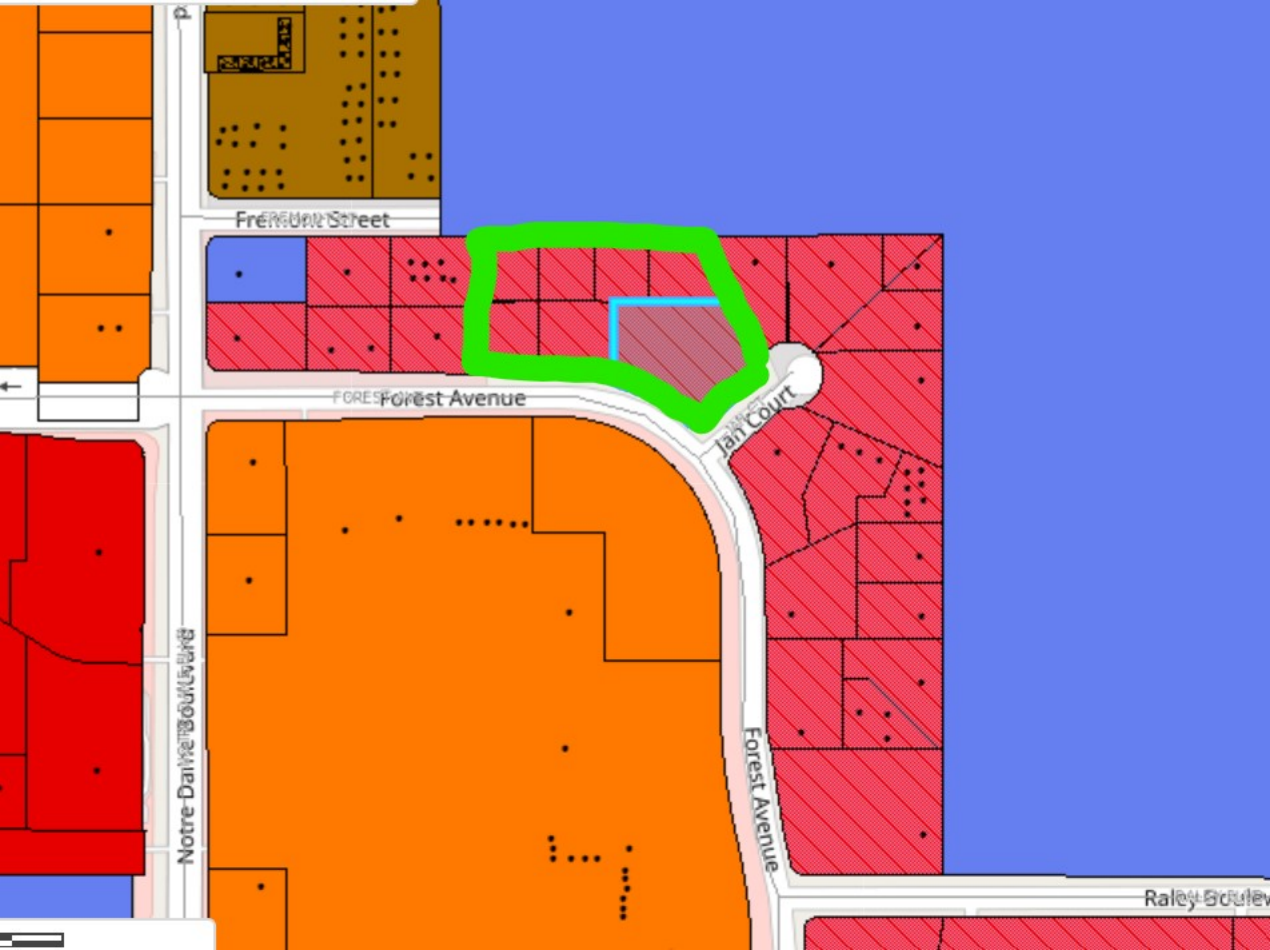
Randall and Christine Sloop. 2068 Talbert Dr. Suite 150, Chico, CA 95928.

sloopchristine@gmail.com

PP Ambo

SP Sawley

File: AR 19-15



Fréville Street

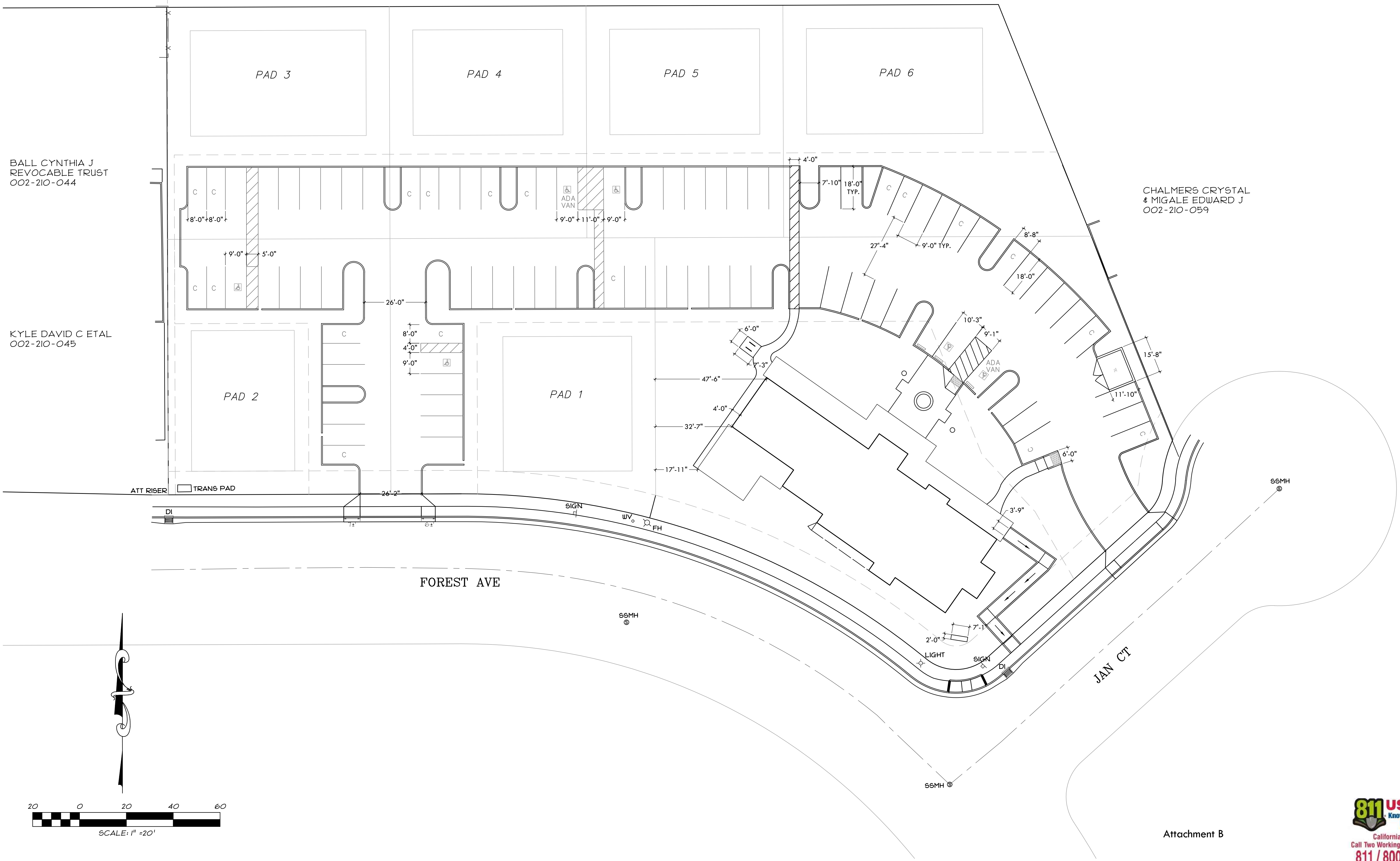
Forest Avenue

Jan Court

Notre-Dame Boulevard

Forest Avenue

Raley Boulevard



BALL CYNTHIA J
REVOCABLE TRUST
002-210-044

KYLE DAVID C ETAL
002-210-045

CHALMERS CRYSTAL
& MIGALE EDWARD J
002-210-059

Robertson Erickson
CIVIL ENGINEERS & SURVEYORS
888 Manzanita Court
Suite 101
Chico, California 95926
530-894-3500 Fax 530-894-8955
robertsonerickson.com



NOT FOR
CONSTRUCTION

SITE PLAN
MEDICAL BUILDING DEVELOPMENT
JAN COURT
DR. CHRISTINE SLOOP

C3.1

811 USA North
Know what's below.
Call before you dig.
California and Nevada
Call Two Working Days Before You Dig!
811 / 800-227-2600

Attachment B

Window Trim Detail





Front Elevation



Rear Elevation



Left Elevation



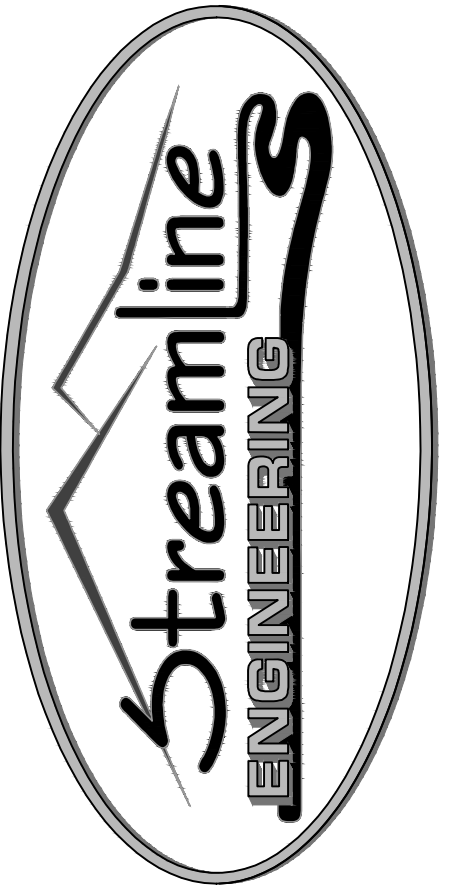
Right Elevation

KEYNOTES

- 101. HARDIEPLANK SIDING (APPROVED BY OWNER) FIRE RESISTIVE.
- 102. HARDIE TRIM (APPROVED BY OWNER) FIRE RESISTIVE OVER 1/8" FELT.
- 103. COMPOSITION SHINGLES CLASS A (APPROVED BY OWNER) OVER 1/8" FELT.
- 104. GUTTERS AND DOWN SPOUTS WITH MEANS TO PREVENT LEAVES IN GUTTER.
- 105. BARGE BOARD.
- 106. MANUFACTURED STONE VENEER (APPROVED BY OWNER)



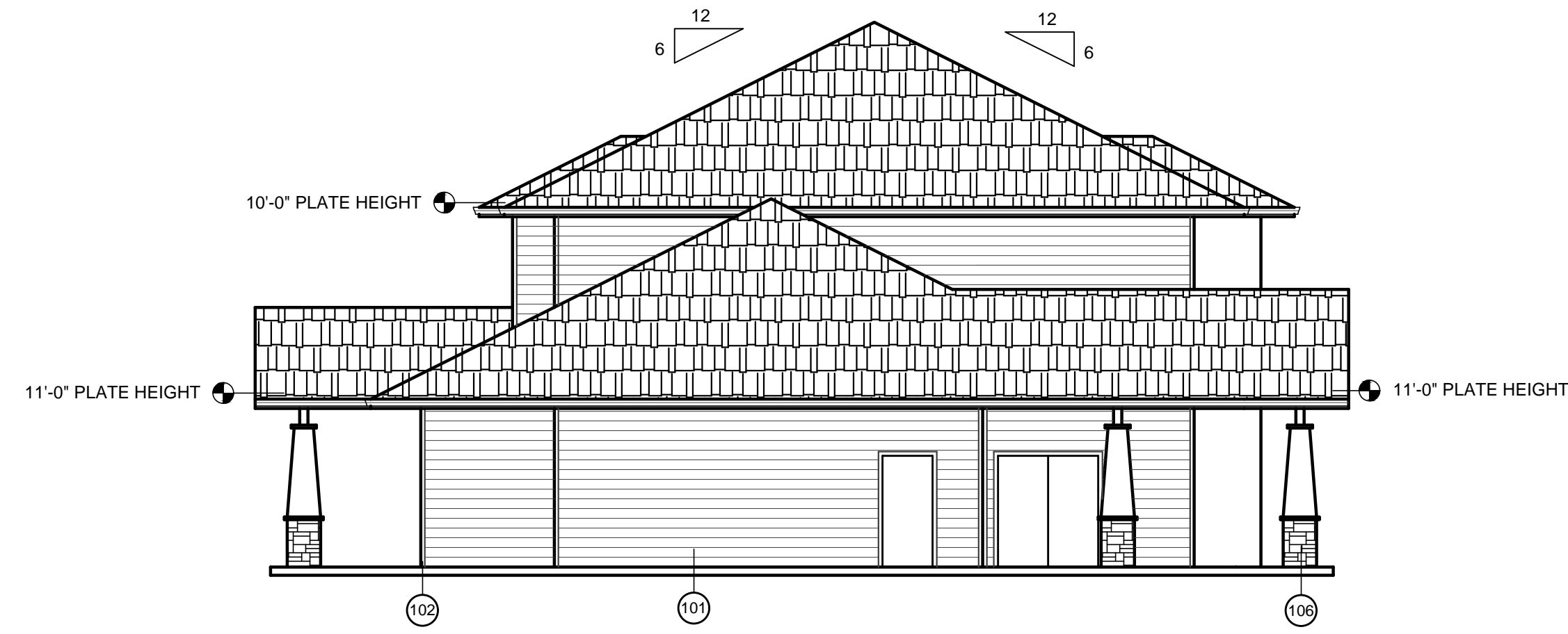
SUBMITTAL SET



60 INDEPENDENCE CIRCLE
SUITE 201
CHICO, CALIFORNIA 95973
PHONE: (530)882-1100
STREAMLINECHICO.COM
COMMERCIAL
STRUCTURAL
ENERGY
ADA COMPLIANCE

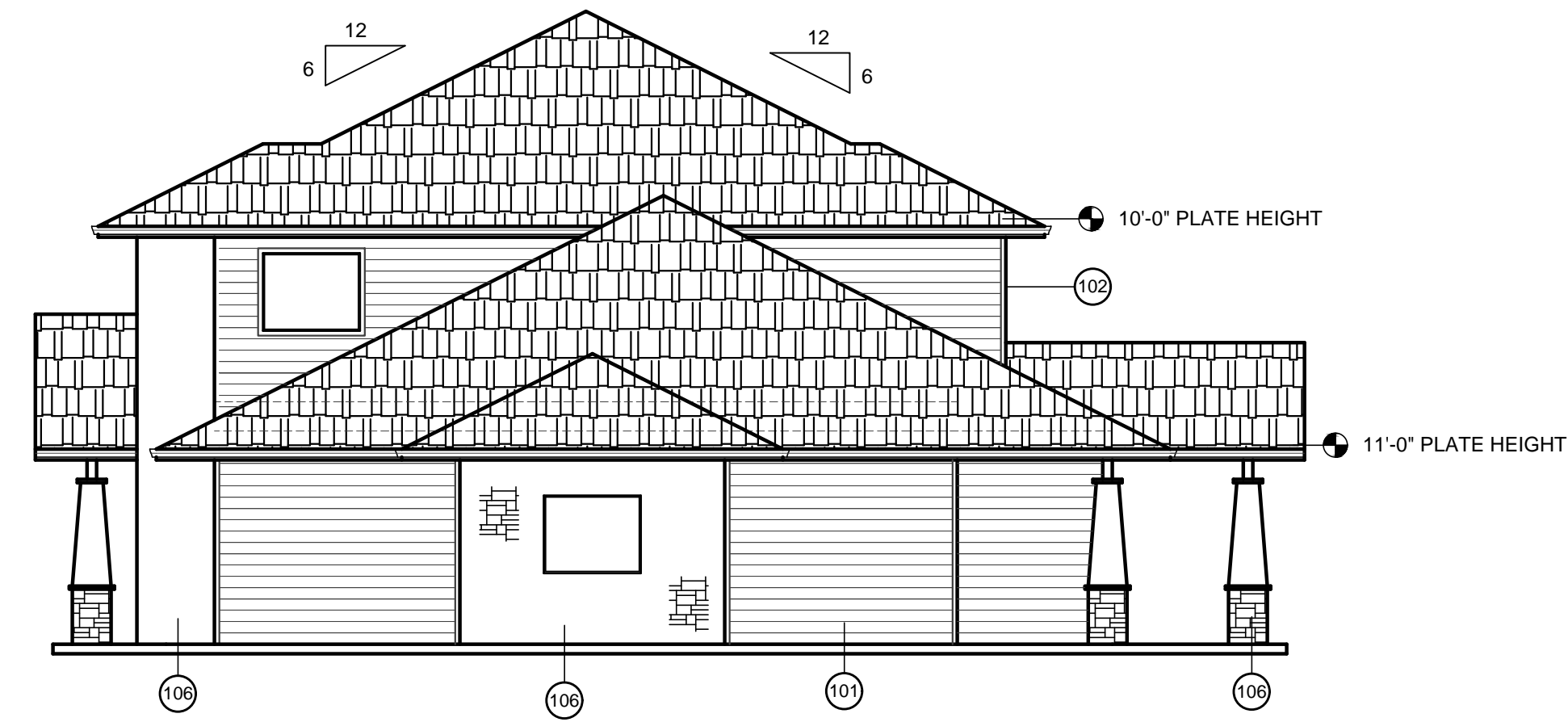
NOTES

1. FLASH AND COUNTERFLASH BETWEEN ROOFING AND VERTICAL SURFACES, INCLUDING PLASTER.
2. SEE SHEET T-1 GLAZING AND WINDOW NOTES 11-1 THROUGH 11-8.
3. SEE SHEET T-1 DOOR AND RELATED HARDWARE NOTES 6-1 THROUGH 6-9.
4. PROVIDE FLASHING AT ALL EXTERIOR OPENINGS EXPOSED TO WEATHER. CAULKING IS NOT FLASHING.
5. OWNER AND BUILDER SHALL VERIFY ALL WINDOW AND DOOR SIZES PRIOR TO CONSTRUCTION.
6. FINISH GRADE SHALL SLOPE AWAY FROM BUILDING; MIN. OF 6" WITHIN THE FIRST 10'-0" (5%).
7. PROVIDE GUARDRAILS IF THE WALKING SURFACE IS 30" OR MORE OFF ADJACENT GRADE.
8. ALL ELEMENTS PROJECTING THROUGH ROOF INCLUDING GUTTERS SHALL BE DESIGNED BY THE INSTALLER TO RESIST THE FORCE OF SLIDING SNOW.
9. ICE-DAM FLASHING REQUIRED AT: EAVES, TO 30" INSIDE PLATE LINE. VALLEYS, 30" EACH SIDE OF CENTER.



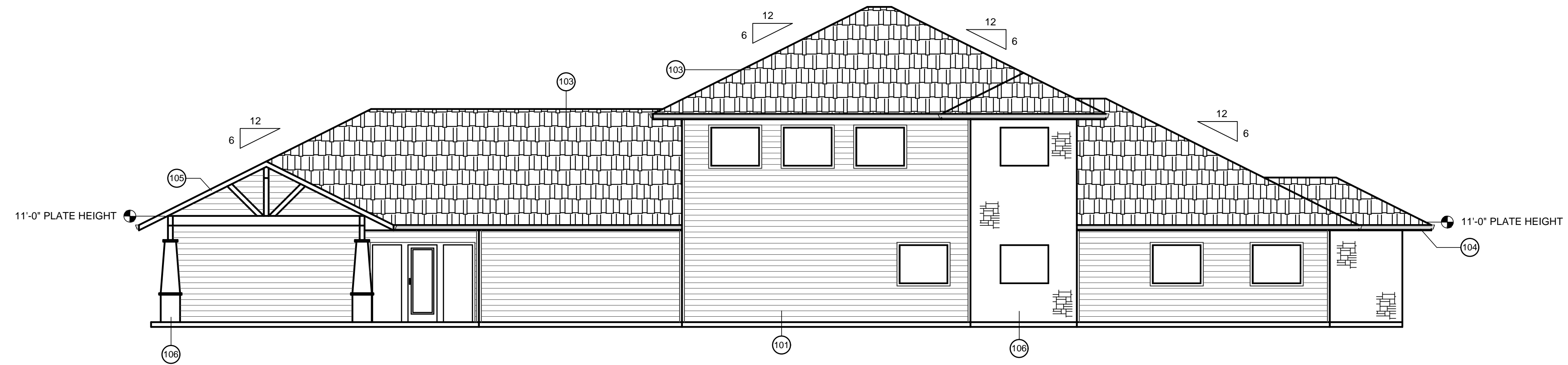
LEFT ELEVATION

1/8" = 1'-0"



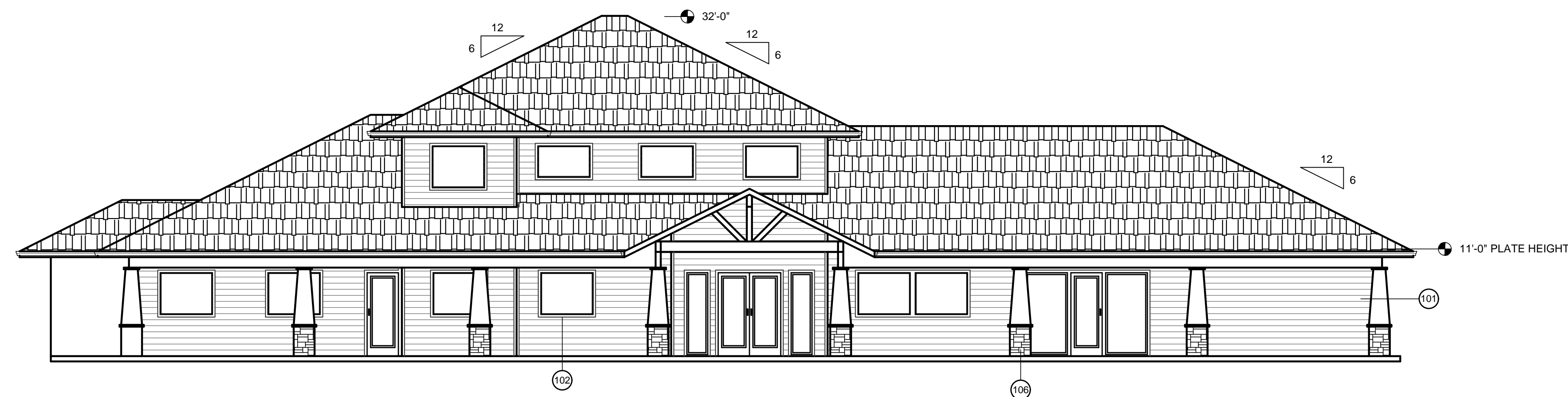
RIGHT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



FRONT ELEVATION

1/8" = 1'-0"

LEGEND

- PLATE HEIGHT
- KEYNOTE NUMBER

**NEW OFFICE BUILDING FOR
RANDAL & CHRISTINE SLOOP
CHICO, CALIFORNIA**

EXCLUSIVE PROPERTY OF STREAMLINE ENGINEERING.
THIS SHEET SHALL NOT BE REPRODUCED WITHOUT
WRITTEN PERMISSION.

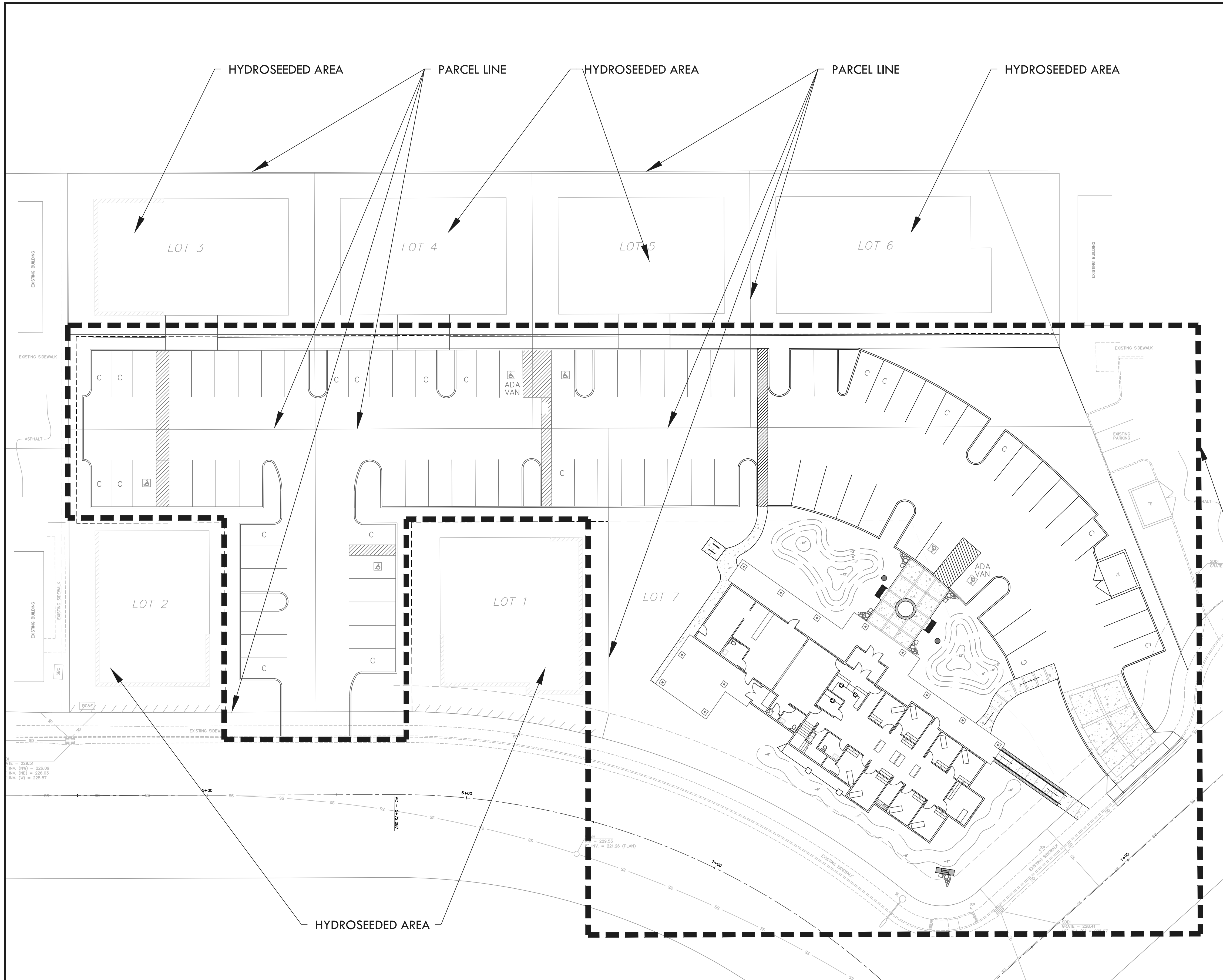
REVISIONS

NO.	DESCRIPTION

DESIGN: JP
CHECKED: JMR
DATE: 12/12/18
SCALE: SHOWN
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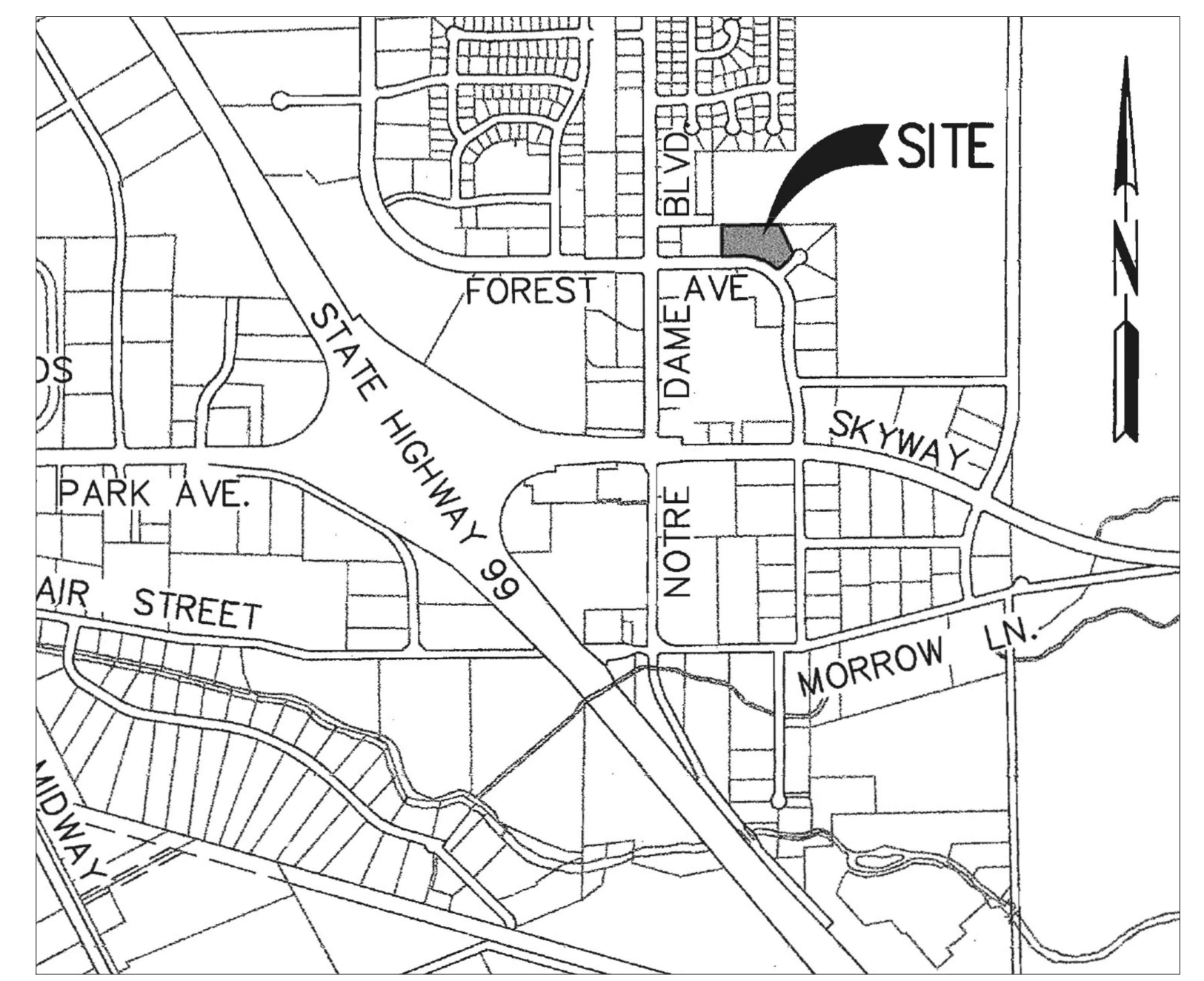
SHEET NO.

A-3



PHASE 1 OF SITE DEVELOPMENT (MEDICAL BUILDING AND PARKING LOT)

SCALE: 1"=20'-0"



LOCATION MAP N.T.S.

PHASE 1 SITE DEVELOPMENT WITH MEDICAL BUILDING AND LANDSCAPING - SEE LANDSCAPE PLAN SHEET 2 AND 3

Revision:	Date:	By:

BARBORA HOAGLAND
 LANDSCAPE ARCHITECT; LA Lic#:6192
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 2125 OAK PARK AVE, CHICO, CA 95928
 Email: BARBORAHOAGLAND@OUTLOOK.COM

MEDICAL BLDG - Forest Ave/ Jan Ct
 FOR: Christine Sloop
 2068 Talbert Dr, Ste 150
 Chico, California 95928



LANDSCAPE PLAN LOCATION MAP (Forest/Jan)

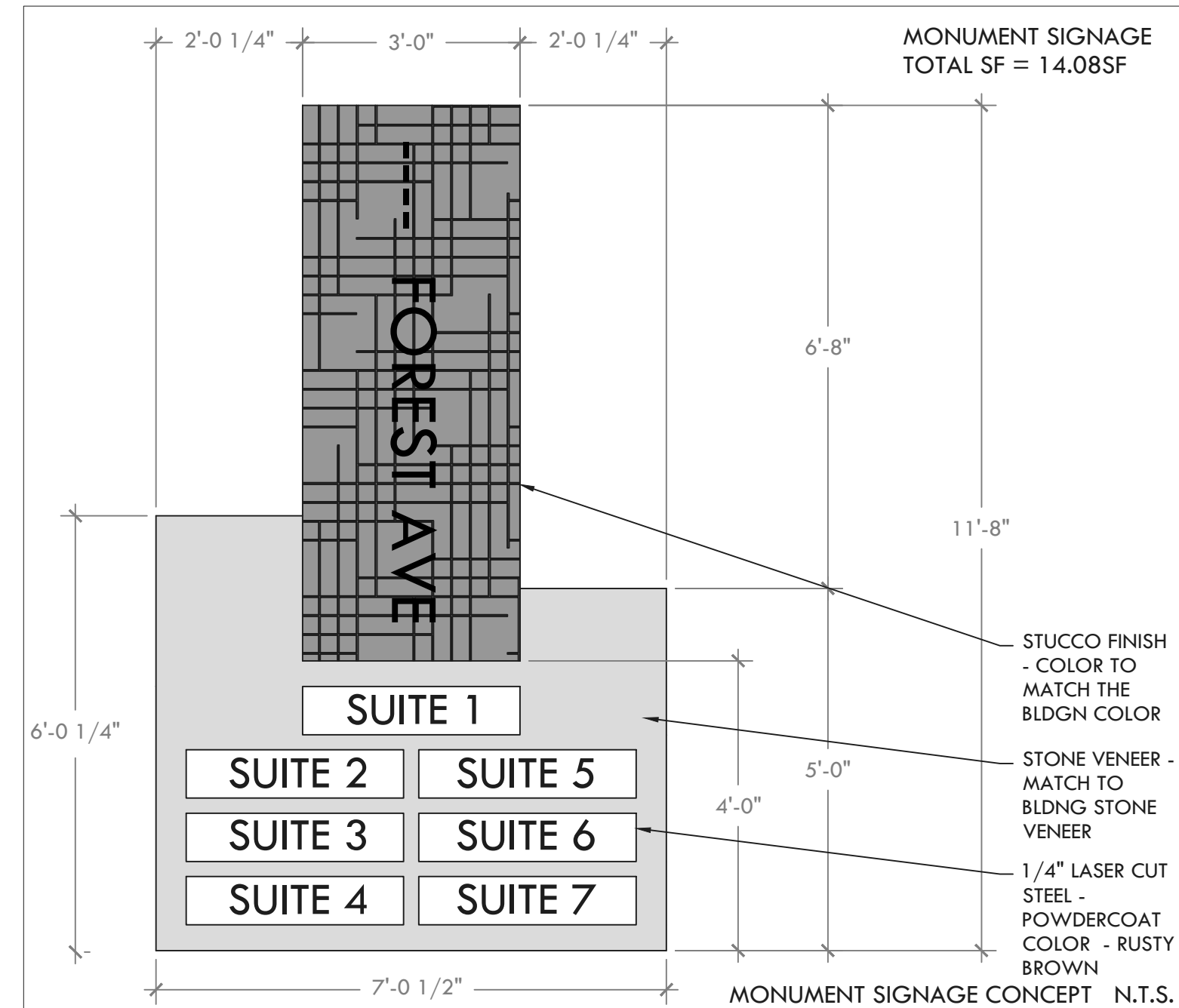
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 Drawn: HOAGLAND
 Job: 0044

Sheet
L-1
 FOUR Sheets

Attachment E

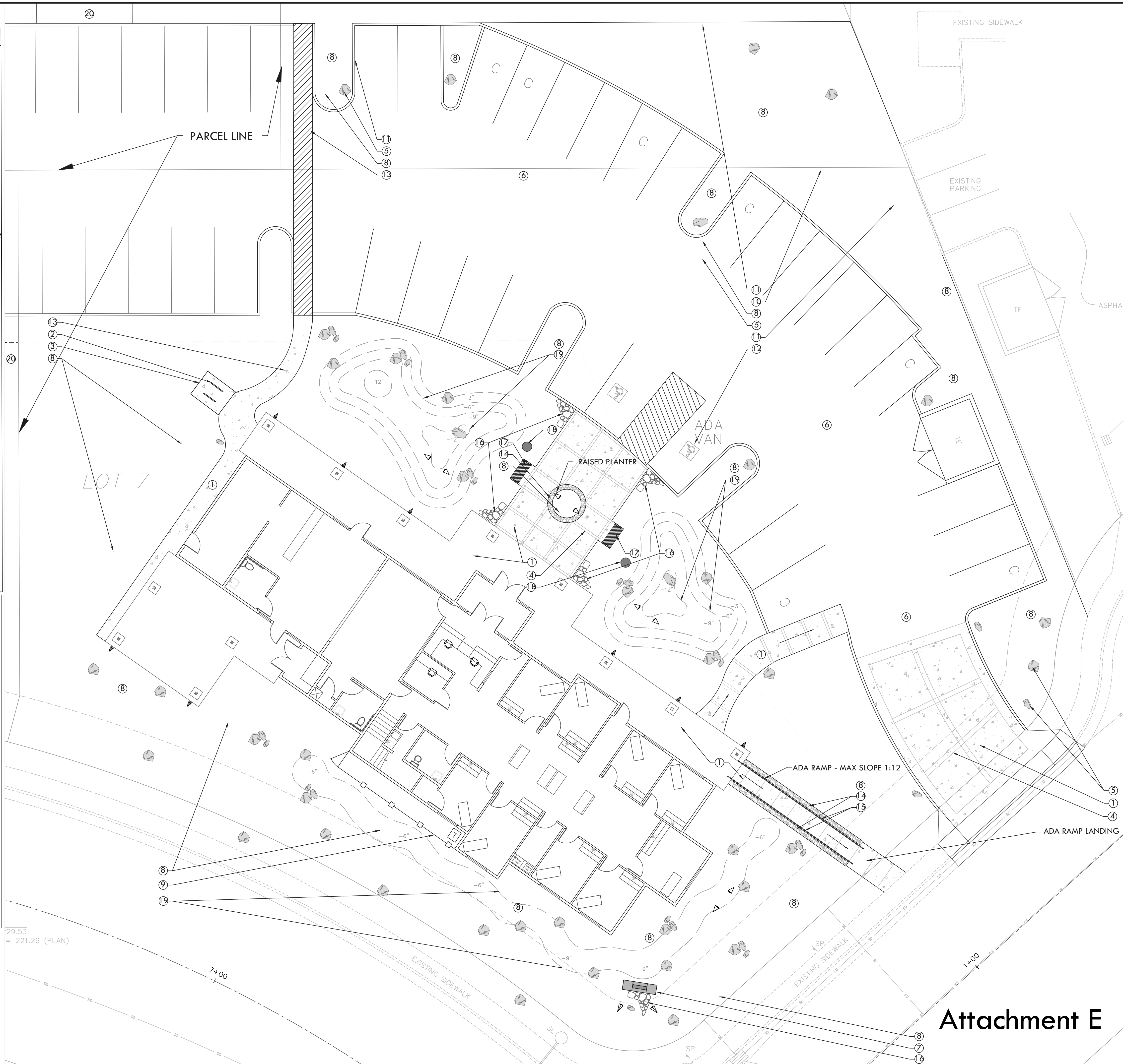
LEGEND

SMBL	DESCRIPTION	REMARKS
1	NEW CONCRETE ENTRYWAYS	COLORED CONCRETE - DAVIS COLORS: MESQUITE (1 LBS 677)
2	BICYCLE RACK FOR GUEST PARKING	HS 2-F-55 HORSESHOE RACK, FLANGED SURFACE MOUNT, STAINLESS STEEL. www.scenterprisesllc.org
3	CONCRETE PAD FOR BICYCLE RACK (GUEST PARKING)	COLORED CONCRETE - DAVIS COLORS: TAUPE (2 LBS 677)
4	CONCRETE SCORELINES	PATTERN AS SHOWN
5	BOULDER	MOSS ROCK BOULDERS. VARIOUS SIZE (MIN. 24"DIA, MAX. 38"DIA. BOULDERS TO BE BURIED MIN. 1/4 OF BOULDER SIZE TO ACHIEVE NATURAL LOOK
6	NEW ASPHALT PARKING AREA	-
7	SIGNAGE MONUMENT FOR INDIVIDUAL SUITES	BY ARCHITECT; 7'1" LONG x 2' WIDE x 11'8" TALL. STONE VENEER W/STUCCO FINISH W/1/4" LASER CUT STEEL - POWDERCOAT COLOR - RUSTY BROWN
8	GROUND COVER FOR PLANTER AREAS	EACH PLANTER WILL RECEIVE MIN. 2" LAYER OF 3/8" BROWN LAVA ROCK OVER A LANDSCAPE FABRIC
9	WOOD SCREEN W/MAN GATE	MIN 5'HIGH CEDAR FENCE W/ MIN 3' WIDE MAN GATE
10	TRASH ENCLOSURE	BY ARCHITECT; 6' TALL CMU BLOCK WALL W/STUCCO FINISH. STUCCO COLOR TO MATCH THE BUILDING. CUSTOM DOUBLE METAL GATE; COLOR TO MATCH STONE VENEER ON THE BUILDING
11	6" CURB	PER CITY OF CHICO REQUIREMENTS
12	VAN ACCESSIBLE PARKING SPACE	PER CITY OF CHICO REQUIREMENTS
13	ADA ACCESSIBLE ROUTE	PER CITY OF CHICO REQUIREMENTS. CURB RAMP PER CIVIL ENGINEER
14	STONE VENEER WALL W/ HANDRAIL	WALL TO BE 18" ABOVE CONCRETE FINISH FLOOR. MATCH ROCK VENEER TO VENEER ON THE BUILDING. HANDRAIL TO BE AT CONSISTENT HEIGHT OF 36" ALONG RUN
15	ADA RAMP HANDRAIL	36" ABOVE CONCRETE FINISH FLOOR. EXTENSIONS 12" LONG MIN. IN THE SAME DIRECTION OF TRAVEL AT THE TOP AND BOTTOM OF RUN
16	DECORATIVE FLAGSTONE INSTALLATION	QUARTZ - PARK VALLEY GREEN BY SUTHERLAND LANDSCAPE. INSTALL W/1 1/2" SPACING BETWEEN INDIVIDUAL FLAGSTONES. INSTALL GARY DECOMPOSED GRANITE IN BETWEEN
17	BENCH	5' LONG BLACK POWDERCOATED BENCH. MODEL TBD PER OWNER
18	STONE BIRD BATH	AS SHOWN
19	BIORETENTION AREAS	AS SHOWN
20	HYDROSEED AREAS	HYDROSEED PARCEL 1 TO 6. CONTACT GORDON PETERS W/EMERALD INC. AT (916)685-7211 FOR HYDROSEED SPECIFICATION. WWW.EMERALD.COM



HARDSCAPE LIGHTING LEGEND

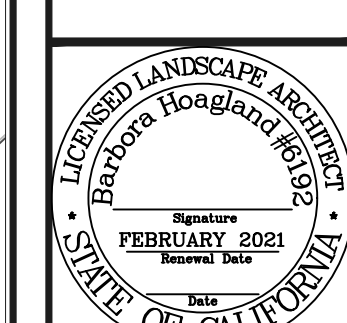
SYMBOL	DESCRIPTION	REMARKS	QTY
▲	KICHLER 16155AZT27 - 60° - ACCENT LIGHT, 2700K - WARM WHITE	LOW VOLTAGE - 12V 3.5W, 5.25VA	8
▼	KICHLER 16019AZT27 - 35° - ACCENT LIGHT, 2700K - WARM WHITE	LOW VOLTAGE - 12V 12W, 17VA	2
▲	KICHLER 16018AZT - 15° - ACCENT LIGHT, 2700K - WARM WHITE	LOW VOLTAGE - 12V 12W, 17VA	8
T	KICHLER 15DC300 DESIGN PRO LED CONTROLLER (TOTAL LOAD WITH ALL FIXTURES ABOVE - 223.6W)	EXISTING	1



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 E-mail: BARBORAHOAGLAND@OUTLOOK.COM

MEDICAL BLDG - Forest Ave/ Jan Ct
 FOR: Christine Sloop
 2068 Talbert Dr, Ste 150
 Chico, California 95928



LANDSCAPE PLAN
 HARDSCAPE PLAN
 (Forest/Jan)

Date: 6/12/2020
 Scale: 1" = 10'-0"
 Drawn: HOAGLAND
 Job: 0044
 Sheet: L-2
 Of: FOUR Sheets

Attachment E

PLANTING LEGEND

SYMBOL/TREES	LATIN NAME/COMMON NAME	QTY	CONTAINER SIZE	REMARKS	TOTAL SHADE AREA PROVIDED
	QUERCUS SHUMARDII SHUMARD OAK	2	24" BOX	MEDIUM WATER USE	1256 SF
	CEDRUS DEODARA DEODAR CEDAR	3	24" BOX	MEDIUM WATER USE	707 SF
	PISTACIA CHINENSIS 'KEITH DAVEY' KEITH DAVEY CHINESE PISTACHE	7	24" BOX	MEDIUM WATER USE	1256 SF
	MAGNOLIA X SOULANGEANA 'ALEXANDRINA' ALEXANDRINA MAGNOLIA	4	15 GAL	MEDIUM WATER USE	
	CERCIS CANADENSIS 'FOREST PANSY' FOREST PANSY REDBUD	5	15 GAL	MEDIUM WATER USE	
	ACER PALMATUM 'SANGO KAKU' CORAL BARK JAPANESE MAPLE	5	15 GAL	MEDIUM WATER USE	
	CEDRUS DEODARA 'MONKINN' FEELIN' SUNNY DEODAR CEDAR	17	5 GAL	MEDIUM WATER USE	
	HETEROMELES ARBUTIFOLIA TOYON	15	5 GAL	VERY LOW WATER USE	
	BUDLEJA DAVIDII 'ROYAL RED' ROYAL RED BUTTERFLY BUSH	21	5 GAL	LOW WATER USE	
	ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN' MANZANITA	6	5 GAL	VERY LOW WATER USE	
	MUHLENBERGIA CAPILLARIS "LENCA" PINK MUHLY	26	1 GAL	LOW WATER USE	
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' FOERTSER'S FEATHER REED GRASS	47	1 GAL	LOW WATER USE	
	PENNISETUM ALOPECUROIDES 'HAMELN' HAMELN FOUNTAIN GRASS	15	1 GAL	LOW WATER USE	
	BOUTELOUA GRACILIS BLONDE AMBITION BLOND AMBITION BLUE GAMA	29	1 GAL	VERY LOW WATER USE	
	HEMEROCALLIS X 'STELLA DE ORO' DWARF DAYLILY	64	1 GAL	VERY LOW WATER USE	
	SALVIA LEUCANTHA "SANTA BARBARA" SANTA BARBARA SAGE	11	5 GAL	VERY LOW WATER USE	
	ARCTOSTAPHYLOS 'EMERALD CARPET' CARPET MANZANITA	20	1 GAL	VERY LOW WATER USE	
	SEDUM SPECTABILE 'AUTUMN JOY' AUTUMN JOY STONECROP	24	1 GAL	VERY LOW WATER USE	
	SALVIA GUARANITICA 'BLACK AND BLUE' BLACK AND BLUE SALVIA	20	1 GAL	VERY LOW WATER USE	
	MONARDA DIDYMA BLUE STOCKING BEE BALM	12	1 GAL	VERY LOW WATER USE	

- PLANTING NOTES:
 1. PROJECT AREA IS WITHIN ALMENDRA LOAM SOIL TYPE ZONE.
 2. EACH PLANTING HOLE TO BE AMENDED BY COMPOST AS FOLLOWS:
 - 1GAL PLANT - 0.5GAL OF COMPOST
 - 5GAL PLANT - 2.5GAL OF COMPOST
 - 15GAL PLANT - 7.5GAL OF COMPOST

- IRRIGATION NOTES:
 1. ALL PLANT MATERIAL IS COMPLIANT WITH AB 1881
 2. IRRIGATION WILL BE DIVIDED INTO 3 HYDROZONES. ONE (1) HYDROZONE FOR ALL NEW TREES AND MEDIUM WATER USE PLANTS AND ONE HYDROZONE FOR ALL NEW PLANT MATERIAL OTHER THAN TREES. 3RD ZONE WILL IRRIGATE RAISED PLANTER AT THE FRONT ENTRY
 BOTH HYDROZONES WILL BE ON A DRIP SYSTEM. EACH ZONE WILL BE OPERATED BY AN AUTOMATED VALVE WITH A FILTER AND A PRESSURE REGULATOR.

- PAVEMENT SHADING IN PARKING AREA IN LOT 7
 1. NEW PARKING LOT COVERAGE: 9409.9 SF
 2. TREE SHADING COVERAGE OVER NEW PARKING LOT: 5685.97 SF
 3. TOTAL TREE SHADING PERCENTAGE OVER NEW PARKING LOT: 60.43%

HARDSCAPE LIGHTING LEGEND

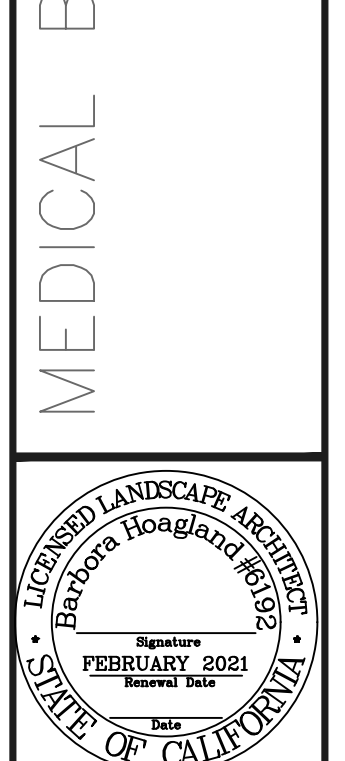
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LANDSCAPE PLAN - LOT-7
 PLANTING PLAN
 (Forest/Jan)

Date: 6/12/2020
 Scale: 1" = 10'-0"
 Drawn: HOAGLAND
 Job: 0044

Sheet
L-3
 Of FOUR Sheets

Attachment E

PLANTING LEGEND

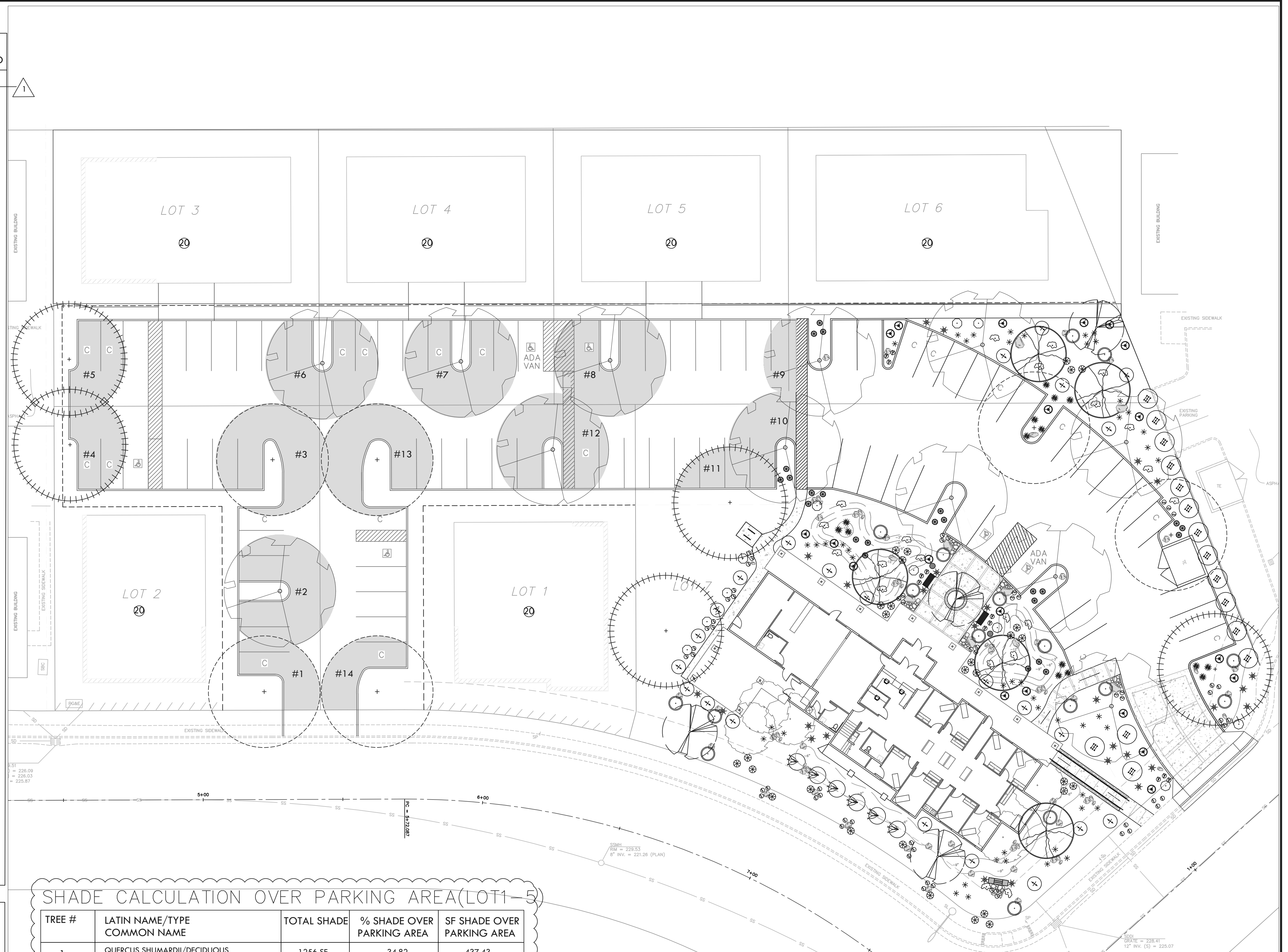
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(20)	HYDROSEED AREAS	HYDROSEED PARCEL 1 TO 6. CONTACT GORDON PETERS W/EMERALD INC. AT (916)685-7211 FOR HYDROSEED SPECIFICATION. WWW.EMERALD.COM
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 BOTH HYDROZONES WILL BE ON A DRIP SYSTEM. EACH ZONE WILL BE OPERATED BY AN AUTOMATED VALVE WITH A FILTER AND A PRESSURE REGULATOR.

PAVEMENT SHADING IN PARKING AREAS
 1. NEW PARKING LOT COVERAGE: 27906.37 SF
 2. TREE SHADING COVERAGE OVER NEW PARKING LOT: 15810.89 SF
 3. TOTAL TREE SHADING PERCENTAGE OVER NEW PARKING LOT: 56.67%



SHADE CALCULATION OVER PARKING AREA (LOT 1-5)

TREE #	LATIN NAME/TYP COMMON NAME	TOTAL SHADE	% SHADE OVER PARKING AREA	SF SHADE OVER PARKING AREA
1	QUERCUS SHUMARDII/DECIDUOUS SHUMARD OAK	1256 SF	34.82	437.43
2	PISTACIA CHINENSIS 'KEITH DAVEY'/DECIDUOUS KEITH DAVEY CHINESE PISTACHE	1256 SF	82.80	1040.02
3	QUERCUS SHUMARDII/DECIDUOUS SHUMARD OAK	1256 SF	79.04	992.75
4	CEDRUS DEODARA/EVERGREEN DEODAR CEDAR	707 SF	68.06	481.22
5	CEDRUS DEODARA/EVERGREEN DEODAR CEDAR	707 SF	68.64	485.32
6	PISTACIA CHINENSIS 'KEITH DAVEY'/DECIDUOUS KEITH DAVEY CHINESE PISTACHE	1256 SF	83.40	1046.75
7	PISTACIA CHINENSIS 'KEITH DAVEY'/DECIDUOUS KEITH DAVEY CHINESE PISTACHE	1256 SF	83.18	1044.77
8	PISTACIA CHINENSIS 'KEITH DAVEY'/DECIDUOUS KEITH DAVEY CHINESE PISTACHE	1256 SF	79.90	1003.57
9	PISTACIA CHINENSIS 'KEITH DAVEY'/DECIDUOUS KEITH DAVEY CHINESE PISTACHE	1256 SF	20.65	259.36
10	PISTACIA CHINENSIS 'KEITH DAVEY'/DECIDUOUS KEITH DAVEY CHINESE PISTACHE	1256 SF	32.70	410.66
11	CEDRUS DEODARA/EVERGREEN DEODAR CEDAR	707 SF	57.56	406.92
12	PISTACIA CHINENSIS 'KEITH DAVEY'/DECIDUOUS KEITH DAVEY CHINESE PISTACHE	1256 SF	81.61	1024.98
13	QUERCUS SHUMARDII/DECIDUOUS SHUMARD OAK	1256 SF	77.20	969.59
14	QUERCUS SHUMARDII/DECIDUOUS SHUMARD OAK	1256 SF	35.54	446.42

NOTES:
 1. ALL SHADE CALCULATED AREA IS SHOWN AS GRAY HATCH ON PLAN
 2. OVERLAPPING TREE CANOPIES ARE NOT DOUBLE CALCULATED PER EACH TREE SHADE AREA

Revision:	Date:	By:
1	6/12/2020	BH
2	6/19/2020	BH

BARBORA HOAGLAND
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MEDICAL BLDG - Forest Ave/ Jan Ct
 FOR: Christine Sloop
 2068 Talbert Dr, Ste 150
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LANDSCAPE PLAN PLANTING PLAN (Forest/Jan)

Date: 6/12/2020
 Scale: 1" = 20'-0"
 Drawn: HOAGLAND
 Job: 0044

Sheet: L-4
 Of: FOUR Sheets

Attachment E



Architectural Review
and Historic Preservation Board
Agenda Report

Meeting Date 8/5/2020

DATE: June 29, 2020

File: AR 19-15

TO: Architectural Review and Historic Preservation Board

FROM: Dexter O'Connell, Associate Planner
530-879-6810, dexter.oconnell@chicoca.gov

RE: AR 19-15 (Sloop Medical Building)
Jan Court at Forest Avenue -- APN 002-210-066 et al.

RECOMMENDATION

Staff recommends that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve the project, subject to the recommended conditions.

Proposed Motion

I move that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve Architectural Review 19-15 (Sloop Medical Building), subject to the recommended conditions.

BACKGROUND

The applicant proposes construction of a medical office building of approximately 5,931 square feet on a 2.09 acre site consisting of seven parcels at the northwest corner of Jan Court and Forest Avenue (see **Attachment A**, Location Map). Proposed along with the building are parking areas for an entire future office complex and various other site improvements. Access would be provided from both Jan Court on the principal parcel and Forest Avenue on a secondary driveway to the west. The site is designated Office Mixed Use on the City's General Plan Land Use Diagram and zoned OC (Office Commercial).

The proposed building would be set back from the intersection with landscaped areas in front and its parking area behind (see **Attachment B**, Site Plan). Additional new parking areas would extend through the site to the west. Twenty-three parking spaces are required for the new use, and 20 are provided wholly on the instant parcel, with five more partially present. 61 more would serve future buildings in the complex. With approximately 20,000 square feet of additional office space remaining, ultimate build out of the complex will likely be slightly overparked. Four bike parking spaces are provided in uncovered racks.

The proposed building would have a modern appearance (see **Attachment C**, Rendering) with some rustic-looking highlights. The primary entrance would be on the north side of the building, distinguished by a grand entrance portico. All elevations would share a blue-and-buff color scheme (see **Attachment D**, Color Board), with tasteful faux-structural elements visible at gable ends. The building is simple, traditional, and professional.

The conceptual landscape plan proposes a variety of trees including deodar cedar and toyon, but no tree would predominate near the structure (see **Attachment E**, Landscape Plan). Shrubs and groundcover would meet the City's requirements, and eight new street

trees would be planted as well. Condition #5 has been added to require landscaping of the entire parking lot concurrent with its construction, so that parking lot shade and other landscaping requirements are met. A new trash enclosure would be located northeast of the building. The enclosure would be CMU block covered with a metal shed roof. Condenser units would be ground mounted on the side of the building facing Forest Avenue, screened by a wall appropriate for the commercial context.

DISCUSSION

The proposal would result in the initial development of a future office complex in an area comprised of similar office complexes. The proposal is consistent with several General Plan policies, importantly those that encourage compatible infill development and development with a focus on health for a broad spectrum of residents (LU-4.2, LU-4.4, CD-5, and PPFS-7). There are no specific plans for the graded site, which sits at a slightly higher elevation than its surroundings.

The project is broadly consistent with the City's adopted Design Guidelines (DGs). The building design is characterized by an aesthetically pleasing variety of elements. The design is straightforward, but accents appear meaningful and intentional, and have the effect of lightening the load of the viewer. The building design offers continuity throughout all four elevations in both colors and materials, consistent with DGs 1.2.22 and 3.2.33. The project incorporates appropriate massing, fenestration, and materials (DG 2.2.11), and avoids a monotonous roof design (DG 2.2.25).

The design is challenged by several DGs that encourage a pedestrian orientation and discourage providing excessive automobile parking (DGs 1.1.13, 1.1.14, 1.1.15 and 2.1.27). It is likely that consistency will eventually be achieved as structures are developed on other parcels in this development, but that is not certain, and the risk is meaningful. In the interim, Condition #4 is recommended to meet requirements for temporary landscaping on unused portions of the site.

The design encourages visitors to walk through the parking area to enter the building, which is not surprising due to the lack of on-street parking but nonetheless limits consistency with DGs 2.1.21 and 2.1.22. Bicycle parking is located close to the main entrance (DG 2.1.32), though it would not be covered and protected from the elements as encouraged by DG 2.1.31. The scale and character of the project would not overwhelm the neighborhood (DG 1.2.13), and its massing, scale, and form respond to the context of surrounding structures (DG 3.2.12).

To achieve better consistency with Design Guidelines, Condition #6 has been added to require a structural cover over the bicycle parking area, and Condition #5 would require landscaping of the entire parking lot, not just the portion nearest the new structure. Because of consistency with the surrounding auto-oriented neighborhood context, it is somewhat justified for the site design to be auto-oriented. With conditions to improve DG consistency, staff supports approval of the project.

As conditioned, the proposed plan meets all applicable setback, parking, and landscaping requirements, and will also facilitate orderly development and circulation in the area. No tree removal is proposed, as the site is not treed.

REQUIRED FINDINGS FOR APPROVAL

Environmental Review

The project has been determined to be categorically exempt under Section 1.40.220 of the Chico Municipal Code, and pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15332 (Infill Development Projects). This exemption applies to infill projects which are consistent with the general plan and zoning; are on sites less than five acres in size within the City limits; are substantially surrounded by urban uses; have no value as habitat for endangered, rare, or threatened species; would not create any significant effects relating to traffic, noise, air quality, or water quality; and can be adequately served by all required utilities and public services.

Architectural Review

According to Chico Municipal Code Section 19.18.060, the Architectural Review and Historic Preservation Board shall determine whether or not a project adequately meets adopted City standards and design guidelines, based upon the following findings:

1. *The proposed development is consistent with the General Plan, any applicable specific plan, and any applicable neighborhood or area plans.*

The proposal is consistent with several General Plan policies, particularly those that encourage compatible infill development (LU-4.2, LU-4.4, and CD-5) and health services in a broad spectrum of the community (PPFS-7.2). There is no applicable specific plan.

2. *The proposed development, including the character, scale, and quality of design are consistent with the purpose/intent of this chapter and any adopted design guidelines.*

The project, as conditioned, is consistent with the City's adopted Design Guidelines. The design is straightforward but worthwhile with meaningful and intentional-seeming accents that give it an inherent appeal. The scale of the proposed building is consistent with the surrounding area, which features primarily single-story structures.

3. *The architectural design of structures, including all elevations, materials and colors are visually compatible with surrounding development. Design elements, including screening of equipment, exterior lighting, signs, and awnings, have been incorporated into the project to further ensure its compatibility with the character and uses of adjacent development.*

The proposed structure's orientation away from the street is compatible with surrounding development, as noted in the discussion above. Significant space is left for potential future development, and this structure's design is coordinated to welcome that, while also being attractive in an interim or permanent state of those portions of the property being

vacant.

Appropriate lighting is proposed, and exterior equipment will be properly screened from view by a stucco or other type of wall that is appropriate for the commercial setting.

4. *The location and configuration of structures are compatible with their sites and with surrounding sites and structures, and do not unnecessarily block views from other structures or dominate their surroundings.*

The location and configuration of the building and grounds are compatible with the surrounding development, which is primarily auto-oriented. The proposed structure does not represent a change to the principal development pattern of the area. While views of open area will be blocked or altered by this structure, the blocking is an inevitable result of developing the parcel, no design could avoid it completely. This parcel is also on higher ground than its surroundings, so even a modest design like this will have some inherently dominating characteristics.

5. *The general landscape design, including the color, location, size, texture, type, and coverage of plant materials, and provisions for irrigation and maintenance, and protection of landscape elements, have been considered to ensure visual relief, to complement structures, and to provide an attractive environment.*

The proposed landscaping will provide visual relief around the new parking area, and the substantial variety of new trees will be an important contributor to the proposed development. The variety of trees selected will provide an attractive environment with water use patterns that meet the city's requirements. Requiring the landscaping of the entire parking lot now will help to ensure that the property is visually appealing even if other parcels are not developed immediately.

RECOMMENDED CONDITIONS OF APPROVAL

1. All approved building plans and permits shall note on the cover sheet that the project shall comply with AR 19-15 (Sloop Medical Building). The approval documents for this project are date stamped August 5, 2020.
2. All wall-mounted utilities and roof or wall penetrations, including vent stacks, utility boxes, exhaust vents, gas meters and similar equipment, shall be screened by appropriate materials and colors. Adequate screening shall be verified by Planning staff in the field prior to issuance of a certificate of occupancy.
3. Proposed project signage shall be permitted through a separate sign permit in compliance with CMC 19.74 (Signs).
4. All pad sites for future buildings and unused portions of the site shall be temporarily landscaped with hydroseeding or other surface-stabilizing treatment.
5. Prior to issuance of a Certificate of Occupancy the applicant shall install landscaping for the subject parcel (APN 002-210-066), and throughout all parts of the parking area

constructed concurrently as shown on the landscape plan. These landscape improvements shall be shown on the building plans and shall comply with City of Chico Municipal Code standards, including the provision of irrigation. Such landscaping shall include all tree cover required for the parking area's shade.

6. Applicant shall provide a structural cover over the bicycle parking area or relocate the bicycle parking to a covered location within 20 feet of the front building entrance.
7. Boulevard trees along Jan Court and Forest Avenue shall be planted in a manner to be approved by the City of Chico Urban Forester.
8. All proposed fencing shall have a cap and top rail and shall be constructed of pressure-treated lumber.
9. The applicant shall defend, indemnify, and hold harmless the City of Chico, its boards and commissions, officers and employees against and from any and all liabilities, demands, claims, actions or proceedings and costs and expenses incidental thereto (including costs of defense, settlement and reasonable attorney's fees), which any or all of them may suffer, incur, be responsible for or pay out as a result of or in connection with any challenge to or claim regarding the legality, validity, processing or adequacy associated with: (i) this requested entitlement; (ii) the proceedings undertaken in connection with the adoption or approval of this entitlement; (iii) any subsequent approvals or permits relating to this entitlement; (iv) the processing of occupancy permits and (v) any amendments to the approvals for this entitlement. The City of Chico shall promptly notify the applicant of any claim, action or proceeding which may be filed and shall cooperate fully in the defense, as provided for in Government code section 66474.9.

PUBLIC CONTACT

A notice was published in the Chico Enterprise Record 10 days prior to the meeting date, notices were mailed out to all property owners and tenants within 500 feet of the project site, and a notice was placed on the project site. The meeting agenda was posted at least 10 days prior to the Architectural Review and Historic Preservation Board meeting.

ATTACHMENTS

- A. Location Map
- B. Site Plan
- C. Rendering
- D. Elevations
- E. Landscape Plan

DISTRIBUTION

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