



Architectural Review and  
Historic Preservation Board  
Agenda Report

Meeting Date 9/2/2020

DATE: August 17, 2020

File: AR 20-02

TO: Architectural Review and Historic Preservation Board

FROM: Dexter O'Connell, Associate Planner. 530-879-6810  
dexter.oconnell@chicoca.gov  
Shannon Costa, Associate Planner

RE: Architectural Review 20-02 (Thrive District)  
Blocks B and C. Lots C0, C1, C5, and B10-13 of Meriam Park Subdivision S09-01  
(APNs 002-700-006, -007, -008, -009, 002-180-203, and 002-180-202)

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**RECOMMENDATION**

Staff recommends that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve of the project, subject to conditions.

Proposed Motion:

I move that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve Architectural Review 20-02 (Thrive District), subject to the recommended conditions herein.

**BACKGROUND AND ANALYSIS**

The proposal involves approval of three building types for a total of seven buildings in the Thrive District of Meriam Park. The site is designated Special Mixed Use on the City of Chico General Plan Land Use Diagram, is zoned TND (Traditional Neighborhood Development) and designated CORE by the Regulating Plan.

The Thrive District is situated at the southeast corner of Meriam Park (see **Attachment A**, Location Map). The site is bounded by E. 20<sup>th</sup> Street, Bruce Road and Concord Avenue, but excludes the Butte County Courthouse and Veteran's Affairs (VA) Clinic. The Thrive District is intended to meet the needs of medical, commercial-tech and professional office uses. Existing buildings include Penney Law Office, The Foundation Building, and several other professional and medical use buildings. Design concepts for these buildings include sloped roofs, dark color pallets with pops of vivid color and expansive glazing.

The Traditional Neighborhood Development (TND) zone is designed to encourage positive design features of traditional neighborhoods. The purpose of the TND zones are to create compact neighborhoods with defined neighborhood centers, encourage a mixture of residential and non-residential land uses, promote a mixture of housing types and create a pedestrian friendly environment. TND land use designations provide for the allocation of building types, street types, development and land uses to the subzones. Designations are intended to accommodate a diverse mixture of building and housing types and land uses.

The Thrive District is designated CORE by the regulating plan. The CORE designation is intended for the most urban conditions within the TND zone. It is intended to accommodate a mixture of land uses emphasizing ground-floor retail with offices and residential above and

to provide for lodging, restaurant, entertainment, and civic uses. Street frontages are pedestrian-oriented and defined by building facades at the back of the sidewalk, with off-street parking provided in structures or located away from street frontages, behind buildings and includes on-street parking as a component of the total parking program.

## PROPOSED BUILDINGS

### **Buildings B10-B13**

The proposed structures are stout office buildings with an interesting architectural style. Raising their parapet walls over angled roofs like the arms of celebrating fans at a sporting event, they'll provide a charming feature on the Meriam Park landscape, and ample glazing will provide an attractive interior for tenants. New landscaping, lighting, parking, and bicycle parking are all proposed (see **Attachment C1**, Site Plan) along with other site improvements.

#### *Building Type*

The building type standards determine the allowed building disposition and massing, frontage design, primary pedestrian access, vehicle access, parking and services, and open space and landscaping design requirements for each of the building types allowed in the TND zone. The building type for these buildings is Small Single-Story Shopfront. Consistent with this building type, each building includes a variety of ground-floor space for potentially multiple uses. The front façade of each building is placed at the back of the sidewalk and the buildings are one story in height.

#### *Frontage Type*

The frontage type for the proposed buildings is Shopfront. This frontage type has the building facade is aligned close to the property line with the building entrance at sidewalk grade. This type is conventional for this and other similar uses. It requires a substantial glazing area at the sidewalk level, and an awning that may overlap the sidewalk. The proposed buildings are aligned close to the sidewalk, with access to the commercial suites taken from sidewalk grade. The proposal is consistent with the Shopfront frontage type.

#### *Architecture*

The four identical buildings would be modern in style (see **Attachment C2**, Exterior Elevations and **Attachment C3**, Renderings) with significant glazing on the front and rear facades and tasteful wood accents. The buildings are rectangular and about 20 feet tall at the top of the sloping roof, while the parapet wall extends to a total height of just under 22 feet. The exterior of the buildings would be a smooth, off-white plaster with copper-brown accents to match the roof. If necessary to make the Findings for approval, the Board may consider requiring art on one or both side elevations of the buildings to provide differentiation and enhance architectural interest.

The proposed structures meet City of Chico Design Guidelines (DGs) in a variety of ways. The buildings meet DG 3.2.24 by emphasizing roof design as an integral component of the architecture, and in fact the combined roof and unusual parapet wall present a fascinating design component which brings real architectural interest to the development. The buildings also offer changes in surface materials (DG 3.2.31) and a rich palette of colors, particularly if conditioned to add art (DG 1.3.31), which enhance the streetscape (DG 3.2.32) and create

interest in the walls.

Vehicle parking is provided by a large parking lot to the front of the structures. Access is provided to these structures from Beacon Street and Foundation Lane. The lot meets the City's parking requirements. Eight new bicycle parking spaces would be provided on parking lot islands. The proposed buildings meet DG 3.1.24 by using the buildings to screen parking areas from street views.

#### *Landscaping*

The landscape plan mostly calls for native shrubs and trees, which are intended to complement the existing aesthetics natural to Northern California (see **Attachment C4**, Landscape Plan). The species would have low water demands and would be aesthetically appropriate. The parking lot shade requirement would also be met.

#### **Buildings C0 and C1**

The proposed structures are one-story buildings divided into four suites each with a simple contemporary architectural style. New landscaping, lighting and bicycle parking are all proposed (**Attachment D1**, Site Plans).

#### *Building Type*

The building type for the buildings is Small Single-Story Shopfront. Consistent with this building type, the proposed buildings include a variety of ground-floor space for potentially multiple uses. The front façade of each building is placed at the back of the sidewalk and the buildings are one story in height.

#### *Frontage Type*

The frontage type for the proposed buildings is Shopfront. This frontage type has the building facade is aligned close to the property line with the building entrance at sidewalk grade. This type is conventional for this use, and the glazing minimally meets the shopfront requirements. The proposed buildings are aligned close to the sidewalk, with access to the commercial suites taken from sidewalk grade. The proposal is consistent with the Shopfront frontage type.

#### *Architecture*

The two identical buildings would feature primary exteriors of plain white panels, detailed with corrugated grey accents at the corners (see **Attachment D2**, Exterior Elevations and **Attachment D3**, Renderings). They would have dark teal accents above and around doors and windows across all elevations, and glazing would be comparably minimal. The proposed structures are a maximum of 21.5 feet in height, and the ceilings of the units would have a 12-foot plate. Each building is proposed for division into four equal-sized suites.

The proposed structures meet City of Chico Design Guidelines (DGs) in a variety of ways. The buildings meet DG 2.2.31 by changing wall materials to add visual interest to the exterior, and DG 2.2.33 by carrying the design through all four elevations in order to provide consistency. The buildings are challenged by Design Guidelines recommending creativity and the avoidance of monotony, but in general they adequately meet the City's requirements.

Vehicle parking is screened from the street (DG 2.1.25) and provided by a large parking lot to the front of the structures. Access is provided to these structures from a number of entrances. The lot meets the City's parking requirements. Eight new bicycle parking spaces would be provided on parking lot islands.

#### *Landscaping*

The landscape plan mostly calls for native shrubs and trees, which are intended to complement the existing aesthetics natural to Northern California (see **Attachment D4**, Landscape Plan). The species would have low water demands and would be aesthetically appropriate. The parking lot shade requirement would also be met.

### **C5 Office Building**

The proposed C5 Office Building is a one-story, multi-tenant office building with a bold contemporary architectural style. New landscaping, lighting and bicycle parking are all proposed (**Attachment E1**, Site Plans).

#### *Building Type*

The building type for this structure is Small Single-Story Shopfront. Consistent with this building type, the proposal includes flexible ground floor space which is likely to be used for offices primarily but could be converted to other uses as the need may arise or as market patterns shift.

#### *Frontage Type*

As with the prior buildings under this application, the frontage type for this structure is Shopfront. This frontage type has the building facade is aligned close to the property line with the building entrance at sidewalk grade. It requires a substantial glazing area at the sidewalk level, and an awning that may overlap the sidewalk. In this case, the awning is provided by the unusual roof structure. The proposal is consistent with the Shopfront frontage type.

#### *Architecture*

The building would feature a distinctly modern appearance with a faux-monocoque roof structure (see **Attachment E2**, Exterior Elevations and **Attachment E3**, Renderings), giving an industrial and retrofuturistic appearance. The varying greys of the building would be punctuated by brilliant blue window frames and other roof and awning accents at entrances and over rear windows. The proposed structure is a maximum of 22 feet in height, sloping downward toward the parking lot side where it is punctuated by matching entryway towers. The building's interior space is open but divisible, offering flexibility with regard to the number of future users.

The proposed structure meets City of Chico Design Guidelines (DGs) in a variety of ways. The buildings meet DG 3.2.24 by emphasizing roof design as an integral component of the architecture, and DG 3.2.33 by carrying the design through all four elevations in order to provide consistency. The structure also has varied surface materials (DG 3.2.31) and screens parking areas from street views (DG 3.1.24).

The parking area meets the City's parking requirements. Four new bicycle parking spaces would be provided close to entrances. A trash enclosure is proposed to the west of the structure.

### *Landscaping*

The landscape plan mostly calls for native shrubs and trees, which are intended to complement the existing aesthetics natural to Northern California (see **Attachment E4**, Landscape Plan). The species would have low water demands and would be aesthetically appropriate. The parking lot shade requirement would also be met.

## **GENERAL DISCUSSION**

The proposed architecture is consistent with the overall theme of Meriam Park. The trio of proposed developments complement each other and are in the eclectic style characteristic of Meriam Park. The site is served by both commercial services and shared parking amenities, and will be a strong location for future commercial uses that compliment Meriam Park's existing and under-construction residential uses.

The proposal is consistent with General Plan goals and policies that encourage architectural designs that exhibit timeless character and create a culturally relevant sense of place (CD-3.1 and CD-4.1.3). The proposed design promotes pedestrian and bicycle access by situating parking toward the side and rear of the site, consistent with policy CD-3.3. The native, drought tolerant species selections for the proposed landscaping are consistent with sustainability policies that promote water conservation and energy efficiency (SUS-4.2).

Approval of the three proposed developments together as a district is atypical but in the unique circumstances of Meriam Park makes sense and is recommended.

## **REQUIRED FINDINGS FOR APPROVAL**

### Environmental Review

The project falls within the scope of the Environmental Impact Report (EIR) for the Meriam Park Master Plan, which was certified by the City Council on June 19, 2007. The EIR included several mitigation measures that apply to the proposed development, which are provided as **Attachment F**, and referenced in the recommended conditions of approval.

Pursuant to Section 15162 of the California Environmental Quality Act, no subsequent environmental review is necessary, as there have been no substantial changes to the project which would require revisions of the EIR, no substantial changes have occurred with respect to the circumstances under which the project is being undertaken which would require major revisions of the EIR, and no new information has become available which was not known and could not have been known at the time the EIR was completed.

### Architectural Review

1. *The proposed development is consistent with the General Plan, any applicable specific plan, and any applicable neighborhood or area plans.*

As discussed above, the proposal is consistent with several General Plan goals and policies, including those that encourage architectural designs that create a culturally relevant sense of place, and promote pedestrian-oriented development (CD-3.1, CD-4.1.3, and CD-3.3). Further, the native, drought tolerant species selections for the proposed landscaping are consistent with sustainability policies that promote water

conservation and energy efficiency (SUS-4.2). The proposals are also consistent with the Meriam Park Master Plan.

2. *The proposed development, including the character, scale, and quality of design are consistent with the purpose/intent of this chapter and any adopted design guidelines.*

Each individual structure proposed in the Thrive District is consistent with the City's design guidelines in a variety of ways, as discussed above. Though some of them may be challenged in some respects, in all cases they represent the quality of design that has come to characterize Meriam Park, and the aspects of the proposed development are all consistent with the intent of the Guidelines.

3. *The architectural design of structures, including all elevations, materials and colors are visually compatible with surrounding development. Design elements, including screening of equipment, exterior lighting, signs, and awnings, have been incorporated into the project to further ensure its compatibility with the character and uses of adjacent development.*

The design, materials and colors of the proposed new buildings are consistent with existing development and anticipated to be visually compatible with future surrounding development in the Neighborhood Center and CORE designation for Meriam Park. Further, approval of these three proposals as a district ensures internal compatibility with character and uses. Exterior equipment will be properly screened from view.

4. *The location and configuration of structures are compatible with their sites and with surrounding sites and structures, and do not unnecessarily block views from other structures or dominate their surroundings.*

As discussed above, the structures will be small and architecturally intriguing. They will be compatible with their site particularly due to their simultaneous approval as a district, and they will not block any views from anywhere.

5. *The general landscape design, including the color, location, size, texture, type, and coverage of plant materials, and provisions for irrigation and maintenance, and protection of landscape elements, have been considered to ensure visual relief, to complement structures, and to provide an attractive environment.*

The proposed landscaping will provide a variety of seasonal color, while minimizing irrigation demands. The proposed landscaping offers native plant varieties that are carefully located to ensure visual relief and provide an attractive environment around the new building.

#### **RECOMMENDED CONDITIONS OF APPROVAL**

1. The front page of all approved building plans shall note in bold type face that the project shall comply with Architectural Review 20-02 (Thrive District). No building permits related to this approval shall receive final approval without prior authorization of Community Development Department Planning staff.
2. All development shall comply with all other State and local Code provisions,

including those of the City of Chico Community Development and Public Works Departments. The permittee is responsible for contacting these offices to verify the need for compliance.

3. All wall-mounted utilities and roof or wall penetrations, including vent stacks, utility boxes, exhaust vents, gas meters and similar equipment, shall be screened by appropriate materials and colors. Adequate screening shall be verified by Planning staff prior to issuance of a certificate of occupancy.
4. All new electric, telephone, and other wiring conduits for utilities shall be placed underground in compliance with CMC 19.60.120.
5. The applicant shall comply with all applicable mitigation measures from the Meriam Park Environmental Impact Report and Mitigation Monitoring Program. These include, but are not limited to AES-1, AIR-1a, AIR-1b, AIR-1c, AIR-1d, AIR-2, BIO-8, CUL-2a, CUL-2b, CUL-3, CUL-4, HYDRO-3, and UTIL-1b which are incorporated herein by reference.
6. The applicant shall defend, indemnify, and hold harmless the City of Chico, its boards and commissions, officers and employees against and from any and all liabilities, demands, claims, actions or proceedings and costs and expenses incidental thereto (including costs of defense, settlement and reasonable attorney's fees), which any or all of them may suffer, incur, be responsible for or pay out as a result of or in connection with any challenge to or claim regarding the legality, validity, processing or adequacy associated with: (i) this requested entitlement; (ii) the proceedings undertaken in connection with the adoption or approval of this entitlement; (iii) any subsequent approvals or permits relating to this entitlement; (iv) the processing of occupancy permits and (v) any amendments to the approvals for this entitlement. The City of Chico shall promptly notify the applicant of any claim, action or proceeding which may be filed and shall cooperate fully in the defense, as provided for in Government code section 66474.9.

## **PUBLIC CONTACT**

A 10-day public hearing notice was mailed to all landowners and residents within 500 feet of the site, a legal notice was published in the *Chico Enterprise Record* and a notice was posted on the project site at least 10 days prior to this ARHPB meeting. As of the date of this report no comments have been received in response to the public notice.

## **DISTRIBUTION**

### Internal

Mike Sawley, Senior Planner  
Dexter O'Connell, Associate Planner  
File: AR 20-02

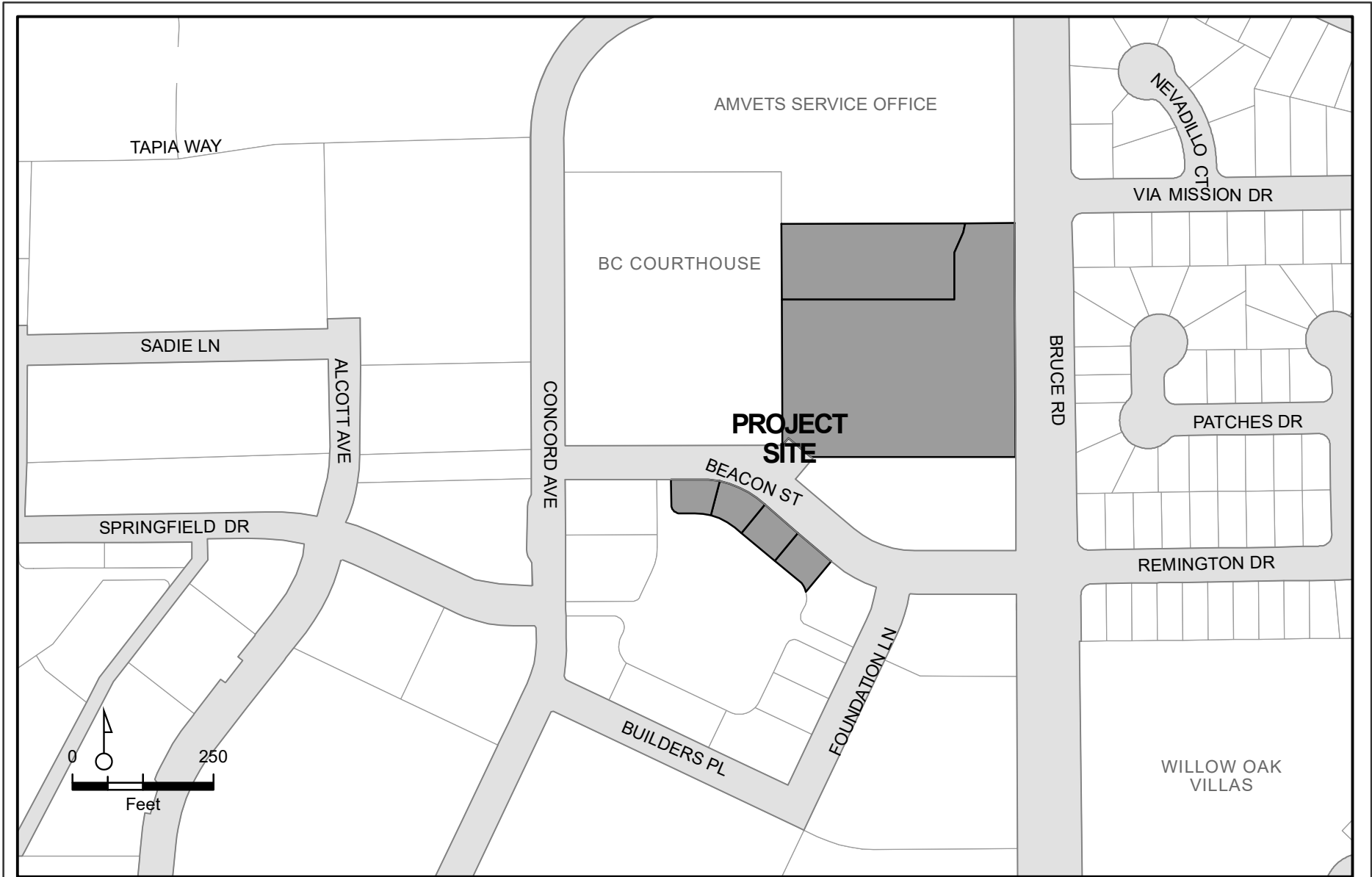
### External

RGA, Attn.: Kevin Easterling, email: kevin@rgachico.com  
Dan Gonzales, P.O. Box 6744, Chico, CA 95927

## **ATTACHMENTS**

- A. Location Map
- B. Overall Site Plan
- C. Buildings B10-B13 Plans
  - 1. Site Plan
  - 2. Exterior Elevations
  - 3. Renderings
  - 4. Landscape Plan
  - 5. Project Description
- D. Buildings C0 and C1 Plans
  - 1. Site Plan
  - 2. Exterior Elevations
  - 3. Renderings
  - 4. Landscape Plan
  - 5. Project Description
- E. Building C5 Plans
  - 1. Site Plan
  - 2. Exterior Elevations
  - 3. Renderings
  - 4. Landscape Plan
  - 5. Project Description
- F. Mitigation Measures





AR 20-02 (Thrive District) - Lots C0, C1, C5, and B10-13 of Meriam Park Subdivision  
 Bruce Road and Concord Avenue  
 APNs 002-700-(006-007, 008, 009)-000 and 002-180-(202, 203)-000



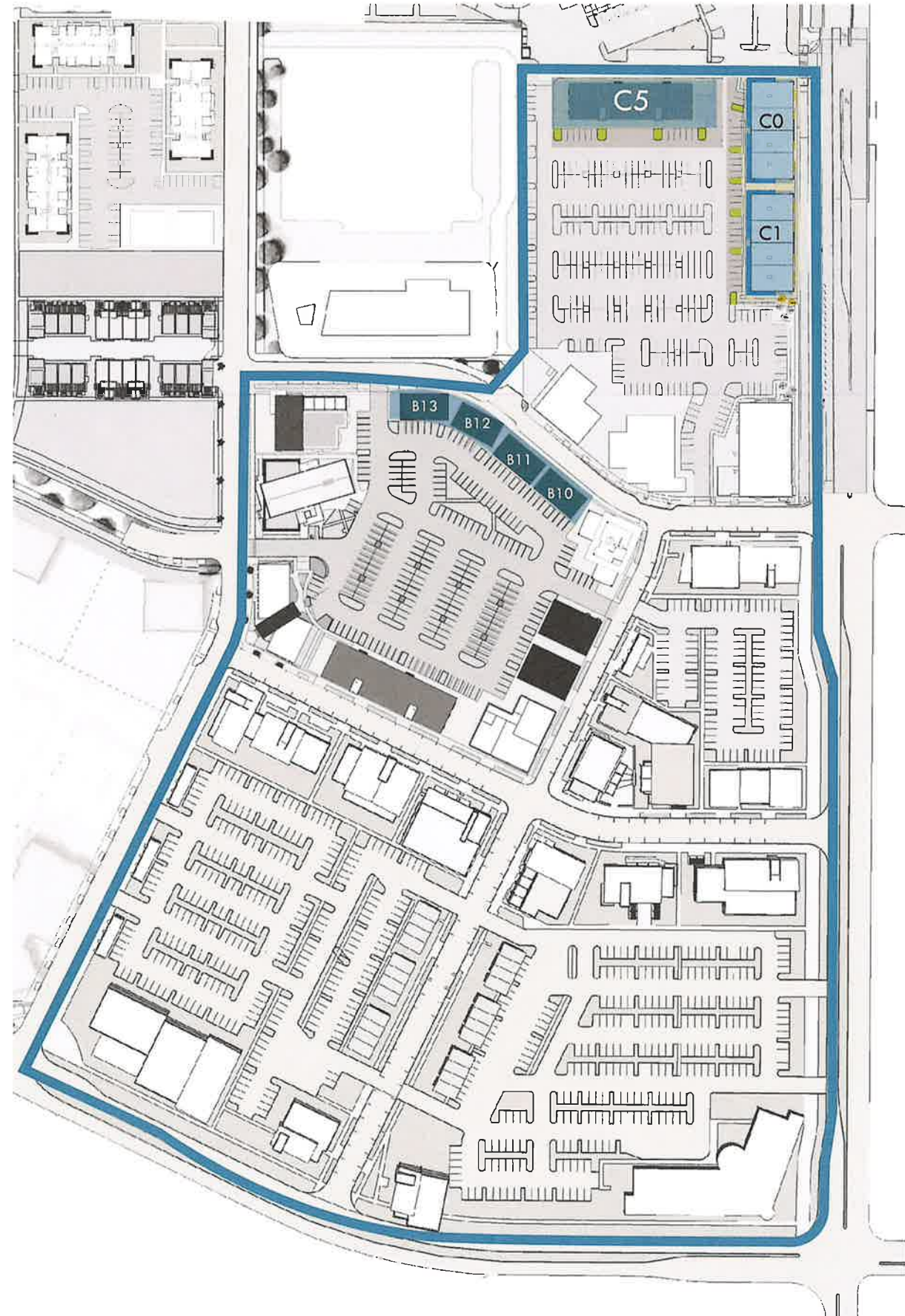
# Thrive District

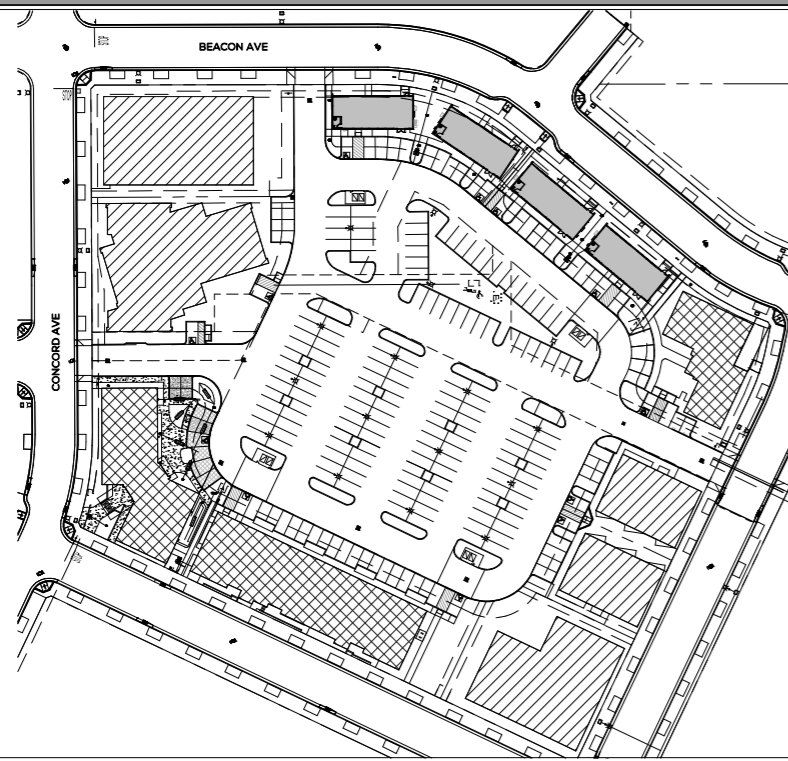
MERIAM PARK - CHICO CA

# Gonzales Dev Co

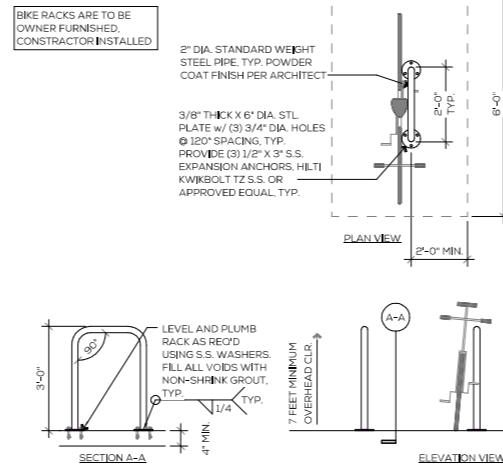


- C0
- C1
- C5
- B10
- B11
- B12
- B13





**SS - OVERALL SITE PLAN**  
SCALE: 1" = 60'-0"



**KK - BIKE RACKS**  
SCALE: 1/2" = 1'-0"

**SCREENING REQUIREMENTS**  
ALL WALL-MOUNTED UTILITIES AND ROOF-OR WALL PENETRATIONS, INCLUDING VENT STACKS, UTILITY BOXES, EXHAUST VENTS, GAS METERS AND SIMILAR EQUIPMENT, SHALL BE SCREENED BY APPROPRIATE MATERIALS AND COLORS. ADEQUATE SCREENING SHALL BE VERIFIED BY CITY OF CHICO PLANNING STAFF PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

**UNDERGROUND REQUIREMENTS**  
ALL NEW ELECTRIC, TELEPHONE, AND OTHER WIRING CONDUITS FOR UTILITIES SHALL BE PLACED UNDERGROUND IN COMPLIANCE WITH CHICO MUNICIPAL CODE 19.60.180

**SITE CIRCULATION ROUTE NOTES:**  
SITE CIRCULATION ROUTE, AS INDICATED, IS A COMMON BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. THE PATH SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. PASSING SPACES (119-403.5.3) AT LEAST 60" X 60" ARE LOCATED NOT MORE THAN 200' APART. THE CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL AND IS LESS THAN 5% UNLESS OTHERWISE INDICATED. (P.O.T.) SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (119-307.4) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (119-307.2).

**LEGEND:**

- ..... SITE CIRCULATION ROUTE
- ZONING SETBACK
- PROPERTY LINE
- EASEMENT - SEE CIVIL DWGS
- APPROX. ROADWAY CENTERLINE
- 1 HR RATED WALL - SEE FLOOR PLAN
- PROJECT AREA - NEW BUILDING
- ▨ FUTURE BUILDINGS - NOT A PART
- ▩ EXISTING BUILDINGS - NOT A PART
- ▧ LANDSCAPING - SEE LANDSCAPE DWGS
- ▦ CONCRETE WALK - SEE CIVIL DWGS

**KEYNOTES:**

- A.09 GAS METERS
- A.10 ELECTRICAL SWITCHGEAR
- A.11 COVERED TRASH ENCLOSURE - SEE CIVIL DWGS

**GG - SITE LEGEND**  
SCALE: NONE

**PARKING REQUIRED**

1,724 SF @ 1.6 SPACES / 1,000 SF GROSS	2 SPACES (EA. LOT)	(CHICO MC TABLE 6-36)
BIKE PARKING (20% OF VEHICLE)	1 SPACES (EA. LOT)	(CHICO MC 19.88.070)

**VEHICLE PARKING PROVIDED (TOTAL ALL 4 LOTS)**

FULL SIZE STALL	15 SPACES
COMPACT STALLS	3 SPACES
ACCESSIBLE STALLS	4 SPACES
TOTAL SPACES PROVIDED	22 SPACES

**BIKE PARKING PROVIDED**

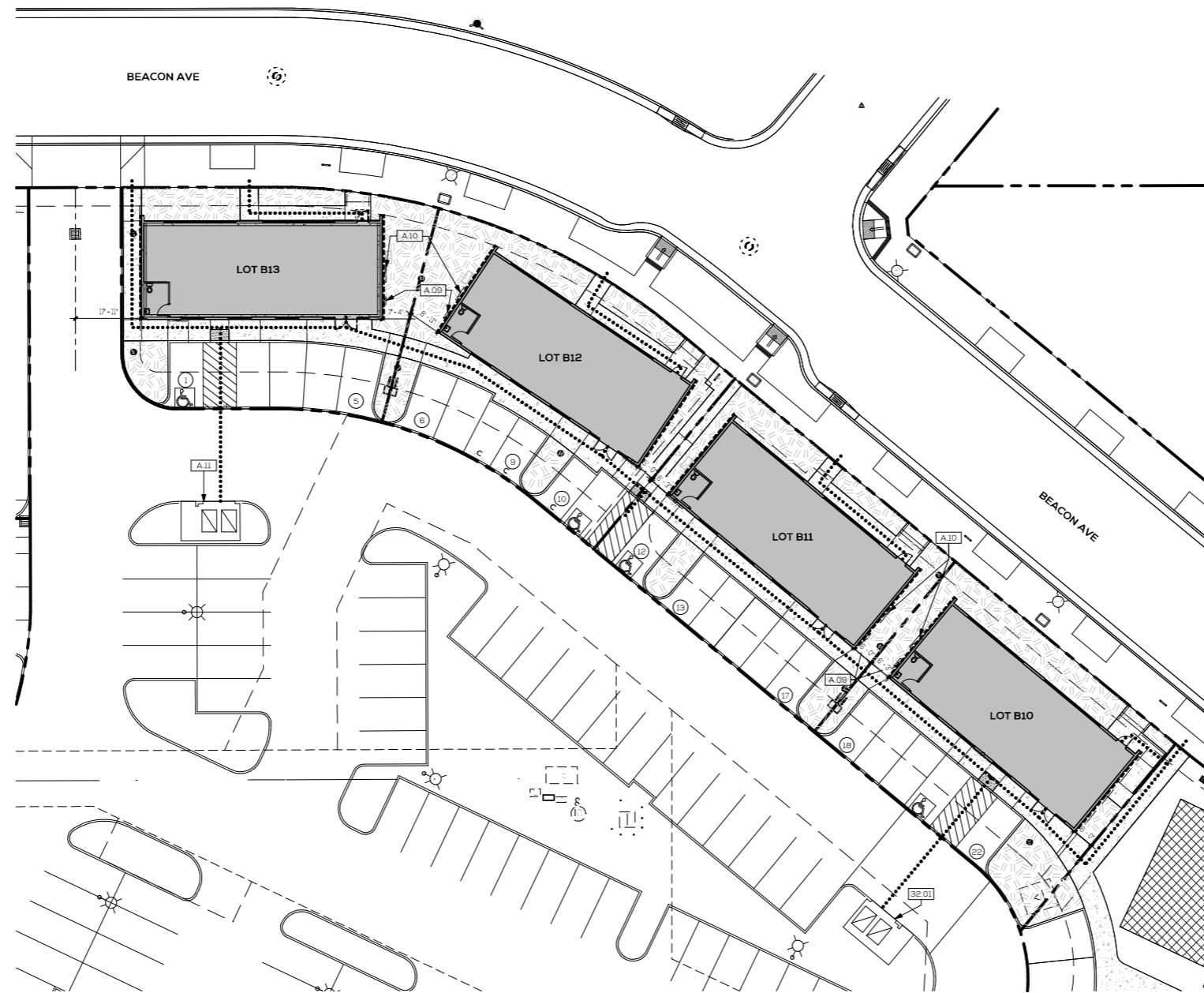
BIKE RACK	3 SPACES
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**TND ZONING SUMMARY**

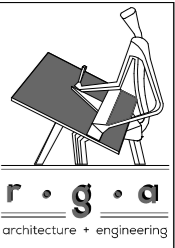
ZONING	TND-CORE	(CHICO MC 19.80)
BUILDING TYPE	SMALL SINGLE STORY SHOPFRONT	(CHICO MC 19.86.300)
FRONTAGE TYPE	SHOPFRONT	(CHICO MC 19.84.040)
SETBACKS	FRONT ZERO TO BACK OF WALK	(CHICO MC 19.86.300)
	SIDE 5 FT MIN	(CHICO MC 19.86.300)
	REAR 5 FT MIN	(CHICO MC 19.86.300)
BUILDING HEIGHT	1 STORY	(CHICO MC 19.86.300)
	35 FT MAX	
PARKING	28 FT MIN BEHIND BACK OF WALK	(CHICO MC 19.86.300)
PLANTING	SEE LANDSCAPE DRAWINGS	
INFRASTRUCTURE WALKWAYS	SEE CIVIL DRAWINGS	
	SHALL BE ACCESSIBLE - SEE SITE CIRCULATION ROUTE NOTES	

**GENERAL NOTES**

- SEE LANDSCAPE DRAWINGS FOR FENCING, PLANTING, TREE MITIGATION, AND SHADE ANALYSIS
- ACCESSIBLE SITE CIRCULATION ROUTE SHALL COMPLY WITH SITE CIRCULATION ROUTE NOTES



**QQ - ENLARGED SITE PLAN**  
SCALE: 1/16" = 1'-0"



**RUSSELL GALLAWAY ASSOCIATES inc.**  
115 MEYERS STREET SUITE 110 CHICO, CA 95928 530 342 0302

www.rgachico.com

PROJECT  
**MASTER PLAN MP OFFICE 1724**

OWNER  
**GONZALES DEVELOPMENT CO.**



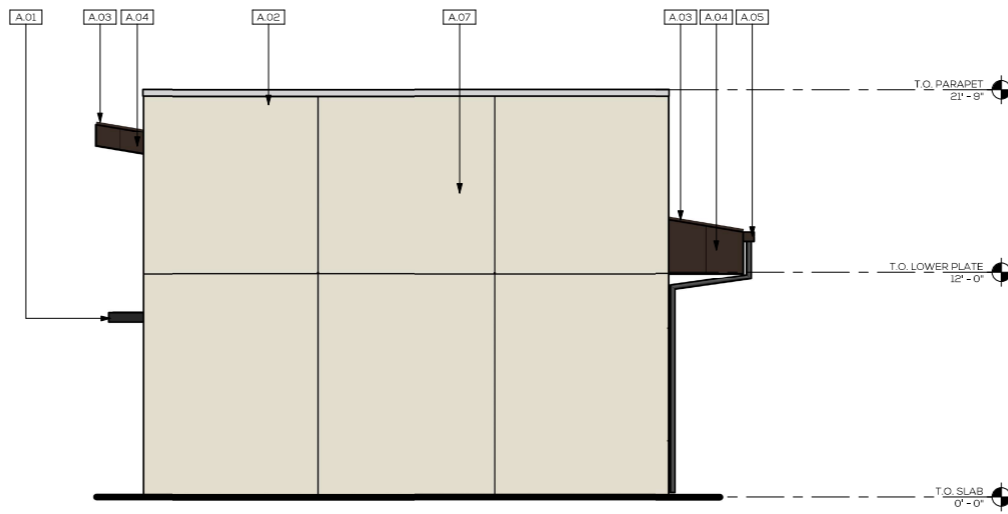
RG4 PROJECT #	19-492
PLAN CHECK #	20-00063
DRAWN	SJM
CHECKED	KJE
1ST SUBMITTAL	2019.12.20
END SUBMITTAL	2020.03.26
OWNER REVISION	2020.05.19
ARB SUBMITTAL	2020.07.15

**ARCHITECTURAL SITE PLAN**

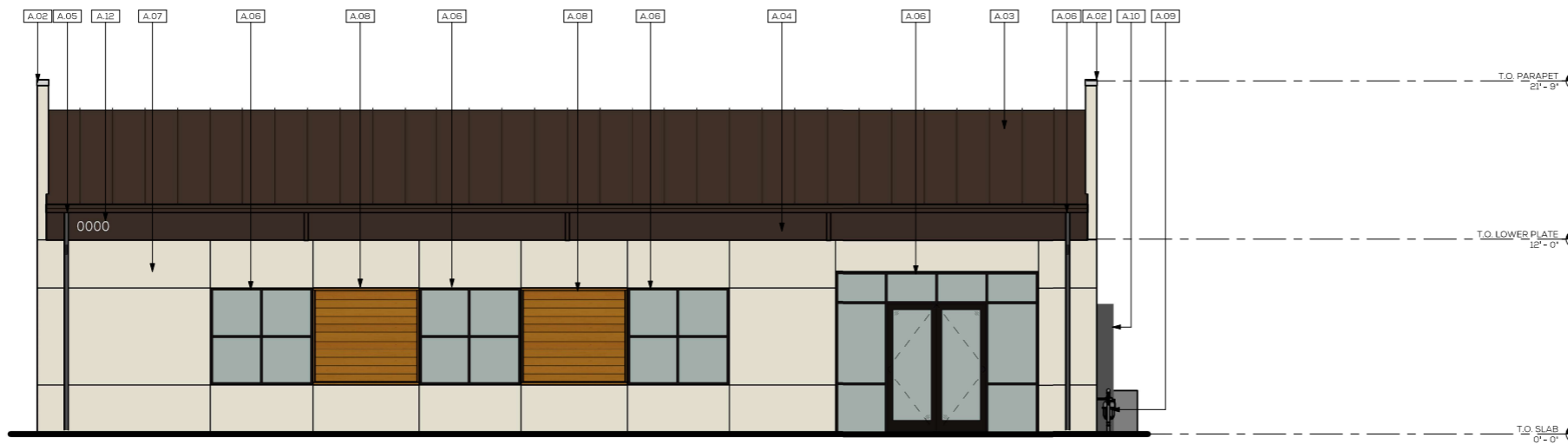
**ARB1**



**TT - EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**LL - WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**RR - SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

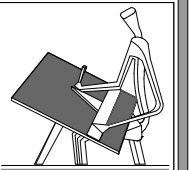


**QQ - NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

- AL-1 STOREFRONT, DARK BRONZE ANODIZED
- GL-1 EXTERIOR GLAZING, CARDINAL GRAY O/ L0E2-366(W3)
- MTL-1 METAL ROOF, STANDING SEAM ROOF PER ROOF PLAN, COLOR: COOL WEATHERED COPPER
- MTL-3 WEATHERED COPPER FASCIA, GUTTER & DOWNSPOUTS, METAL SALES COLOR: COOL WEATHERED COPPER
- MTL-4 METAL SHEET PANEL PER RCP, COLOR: COOL WEATHERED COPPER
- PC-1 SAND/CL. POWDER COAT: TIGER DRYLAC, ANODIZED EFFECT DARK BRONZE, SUGR001
- PL-1 EXTERIOR PLASTER, SMOOTH FINISH, OMEGAFLEX FINE ACRYLIC TOP COAT w/ INTEGRAL COLOR: SW 7637 OYSTER WHITE
- P-1 INTERIOR WALLS/CEILING, COLOR PER ARCHITECT
- P-2 METAL PARAPET CAP: PRIME AND PAINT - COLOR TO MATCH PL-1
- WD-1 ALUMINUM WOOD-LOOK SIDING, LONGBOARD 6" REVEAL, COLOR: LIGHT FR

KEYNOTES	
A.01	METAL CANOPY FINISH PC-1
A.02	METAL PARAPET CAP, COLOR P-2
A.03	STANDING SEAM METAL ROOF, COLOR MTL-1
A.04	BRAKE METAL FASCIA, COLOR MTL-3
A.05	GUTTER AND DOWNSPOUT, COLOR MTL-4
A.06	ALUMINUM STOREFRONT WINDOW AND/OR DOOR SYSTEM, COLOR AL-1 AND GL-1
A.07	EXTERIOR PLASTER SYSTEM, COLOR PL-1
A.08	ALUMINUM WOOD-LOOK SIDING, COLOR WD-1
A.09	GAS METERS
A.10	ELECTRICAL SWITCHGEAR
A.12	ADDRESS SIGNAGE

**CC - KEYNOTES & FINISH LEGEND**  
SCALE: NONE



**r · g · a**  
architecture + engineering

**RUSSELL GALLAWAY ASSOCIATES inc.**

115 MEYERS STREET  
SUITE 110  
CHICO, CA 95928  
530 342 0302

[www.rgachico.com](http://www.rgachico.com)

PROJECT  
**MASTER PLAN  
MP OFFICE  
1724**

OWNER  
**GONZALES  
DEVELOPMENT CO.**



RG4 PROJECT #	19-492
PLAN CHECK #	20-00063
DRAWN	SJM
CHECKED	KJE
1ST SUBMITTAL	2019.12.20
END SUBMITTAL	2020.03.26
OWNER REVISION	2020.05.19
ARB SUBMITTAL	2020.07.15

**EXTERIOR ELEVATIONS**

**ARB2**



# MASTER PLAN OFFICE 1724

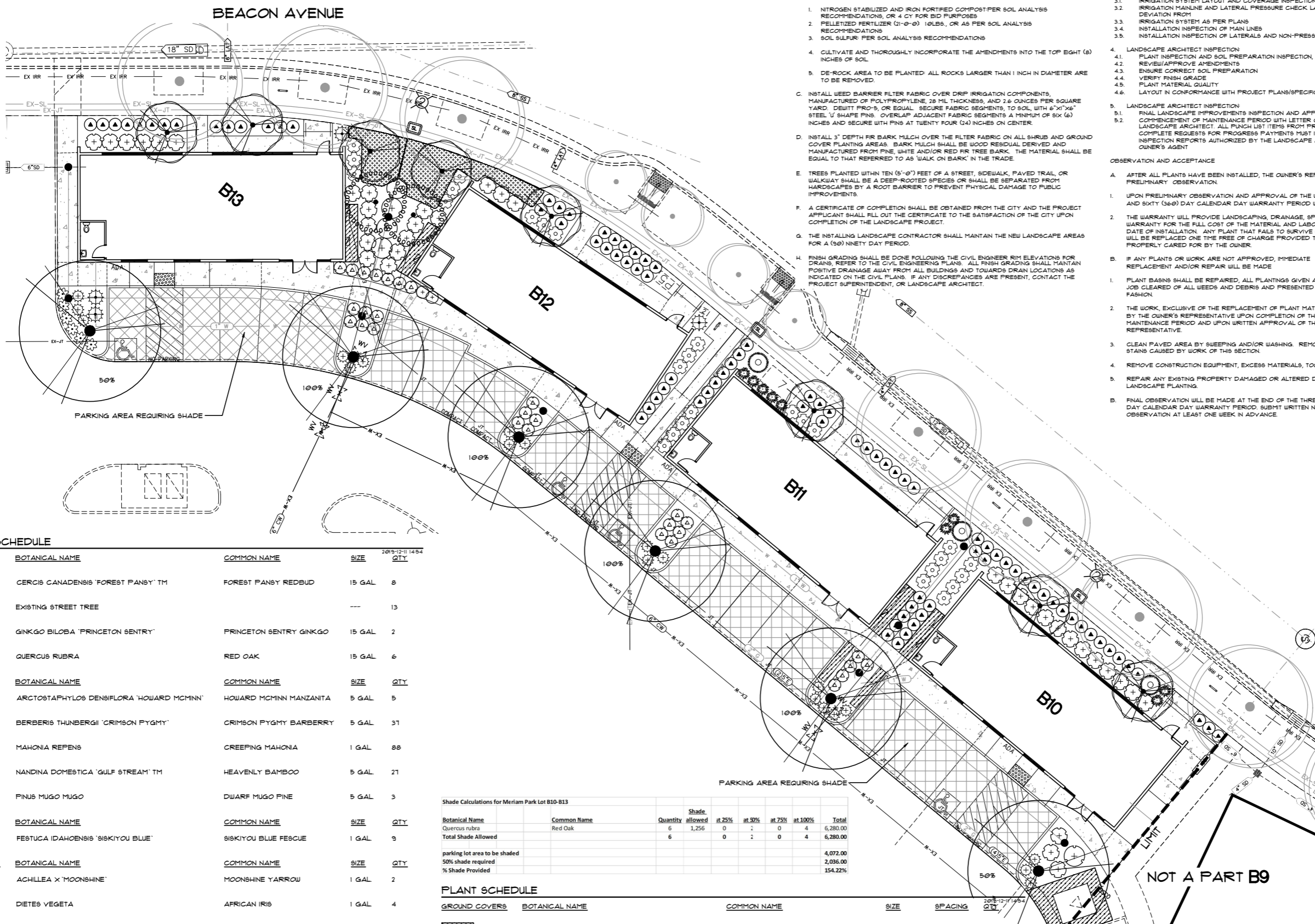
MERIAM PARK



2020.07.15







- SOL PREPARATION AND AMENDING**
- AFTER ROUGH GRADING OPERATIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A SOILS REPORT THAT PROVIDES AN ANALYSIS OF THE EXISTING SOIL THAT STATES WHAT SOIL AMENDMENTS ARE REQUIRED FOR OPTIMUM PLANTING GROWTH. THE CONTRACTOR SHALL INCORPORATE THE RECOMMENDED QUANTITIES BY THOROUGHLY CULTIVATING ALL PLANTING AREAS TO A DEPTH OF EIGHT (8) INCHES. ROUGH FINISH GRADE ALL AREAS.
  - BROADCAST THE FOLLOWING SOIL AMENDMENTS. QUANTITIES GIVEN ARE PER 1,000 SQUARE FEET OF AREA.
    - NITROGEN STABILIZED AND IRON FORTIFIED COMPOST PER SOIL ANALYSIS RECOMMENDATIONS, OR 4 CY FOR BID PURPOSES
    - FELTIZED FERTILIZER (21-0-0) 10LBS. OR AS PER SOIL ANALYSIS RECOMMENDATIONS
    - SOIL SULFUR: PER SOIL ANALYSIS RECOMMENDATIONS
  - CULTIVATE AND THOROUGHLY INCORPORATE THE AMENDMENTS INTO THE TOP EIGHT (8) INCHES OF SOIL
  - DE-ROCK AREA TO BE PLANTED: ALL ROCKS LARGER THAN 1 INCH IN DIAMETER ARE TO BE REMOVED.
- INSTALL WEED BARRIER FILTER FABRIC OVER DRIP IRRIGATION COMPONENTS. MANUFACTURED OF POLYPROPYLENE, 28 MIL THICKNESS, AND 2.6 OUNCES PER SQUARE YARD. DEBIT PRO-9, OR EQUAL. SECURE FABRIC SEGMENTS, TO SOIL WITH 6"x1"x6" STEEL 'U' SHAPE PINS. OVERLAP ADJACENT FABRIC SEGMENTS A MINIMUM OF SIX (6) INCHES AND SECURE WITH PINS AT TWENTY FOUR (24) INCHES ON CENTER.
  - INSTALL 3" DEPTH FIR BARK MULCH OVER THE FILTER FABRIC ON ALL SHRUB AND GROUND COVER PLANTING AREAS. BARK MULCH SHALL BE WOOD RESIDUAL DERIVED AND MANUFACTURED FROM PINE, WHITE AND/OR RED FIR TREE BARK. THE MATERIAL SHALL BE EQUAL TO THAT REFERRED TO AS 'WALK ON BARK' IN THE TRADE.
  - TREES PLANTED WITHIN TEN (5'-0") FEET OF A STREET, SIDEWALK, PAVED TRAIL, OR WALKWAY SHALL BE A DEEP-ROOTED SPECIES OR SHALL BE SEPARATED FROM HARDSCAPES BY A ROOT BARRIER TO PREVENT PHYSICAL DAMAGE TO PUBLIC IMPROVEMENTS.
  - A CERTIFICATE OF COMPLETION SHALL BE OBTAINED FROM THE CITY AND THE PROJECT APPLICANT SHALL FILL OUT THE CERTIFICATE TO THE SATISFACTION OF THE CITY UPON COMPLETION OF THE LANDSCAPE PROJECT.
  - THE INSTALLING LANDSCAPE CONTRACTOR SHALL MAINTAIN THE NEW LANDSCAPE AREAS FOR A (90) NINETY DAY PERIOD.
  - FINISH GRADING SHALL BE DONE FOLLOWING THE CIVIL ENGINEER RIM ELEVATIONS FOR DRAINS, REFER TO THE CIVIL ENGINEERING PLANS. ALL FINISH GRADING SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND TOWARDS DRAIN LOCATIONS AS INDICATED ON THE CIVIL PLANS. IF ANY DISCREPANCIES ARE PRESENT, CONTACT THE PROJECT SUPERINTENDENT, OR LANDSCAPE ARCHITECT.

- INSPECTION SCHEDULE**
- THE LANDSCAPE ARCHITECT SHALL ACCOMPLISH THE FOLLOWING INSPECTIONS IN CONCERT WITH THE PROJECT COORDINATOR, AND THE LANDSCAPE CONTRACTOR CALL AT LEAST 48 HOURS IN ADVANCE OF THE REQUESTED INSPECTION.
  - PRE-LANDSCAPE CONSTRUCTION MEETING WITH LANDSCAPE ARCHITECT, LANDSCAPE CONTRACTOR AND CONSTRUCTION SITE SUPERVISOR
  - LANDSCAPE ARCHITECT INSPECTION:
    - IRRIGATION SYSTEM LAYOUT AND COVERAGE INSPECTION, INCLUDING
    - IRRIGATION MAINLINE AND LATERAL PRESSURE CHECK LAYOUT INSPECTION OR DEVIATION FROM
    - IRRIGATION SYSTEM AS PER PLANS
    - INSTALLATION INSPECTION OF MAIN LINES
    - INSTALLATION INSPECTION OF LATERALS AND NON-PRESSURE SYSTEM TRENCHES
  - LANDSCAPE ARCHITECT INSPECTION:
    - PLANT INSPECTION AND SOIL PREPARATION INSPECTION, INCLUDING
    - REVIEW/APPROVE AMENDMENTS
    - ENSURE CORRECT SOIL PREPARATION
    - VERIFY FINISH GRADE
    - PLANT MATERIAL QUALITY
    - LAYOUT IN CONFORMANCE WITH PROJECT PLANS/SPECIFICATION
  - LANDSCAPE ARCHITECT INSPECTION:
    - FINAL LANDSCAPE IMPROVEMENTS INSPECTION AND APPROVAL
    - COMMENCEMENT OF MAINTENANCE PERIOD WITH LETTER OF APPROVAL FROM THE LANDSCAPE ARCHITECT. ALL PUNCH LIST ITEMS FROM PREVIOUS INSPECTION MUST BE COMPLETE REQUESTS FOR PROGRESS PAYMENTS MUST INCLUDE APPROVED INSPECTION REPORTS AUTHORIZED BY THE LANDSCAPE ARCHITECT AND OR THE OWNER'S AGENT

- OBSERVATION AND ACCEPTANCE**
- AFTER ALL PLANTS HAVE BEEN INSTALLED, THE OWNER'S REPRESENTATIVE WILL MAKE A PRELIMINARY OBSERVATION.
    - UPON PRELIMINARY OBSERVATION AND APPROVAL OF THE WORK, A THREE HUNDRED AND SIXTY (360) DAY CALENDAR DAY WARRANTY PERIOD WILL BEGIN.
    - THE WARRANTY WILL PROVIDE LANDSCAPING, DRAINAGE, SPRINKLER SYSTEM, AND PLANT WARRANTY FOR THE FULL COST OF THE MATERIAL AND LABOR FOR ONE YEAR FROM DATE OF INSTALLATION. ANY PLANT THAT FAILS TO SURVIVE ONE YEAR FROM PLANTING WILL BE REPLACED ONE TIME FREE OF CHARGE PROVIDED THE PLANTS HAVE BEEN PROPERLY CARED FOR BY THE OWNER.
  - IF ANY PLANTS OR WORK ARE NOT APPROVED, IMMEDIATE REPLACEMENT AND/OR REPAIR WILL BE MADE.
    - PLANT BASINS SHALL BE REPAIRED, ALL PLANTINGS GIVEN A FINAL WATERING, AND THE JOB CLEARED OF ALL WEEDS AND DEBRIS AND PRESENTED IN A NEAT AND ORDERLY FASHION.
    - THE WORK, EXCLUSIVE OF THE REPLACEMENT OF PLANT MATERIALS, SHALL BE ACCEPTED BY THE OWNER'S REPRESENTATIVE UPON COMPLETION OF THE NINETY (90) DAY MAINTENANCE PERIOD AND UPON WRITTEN APPROVAL OF THE WORK BY THE OWNER'S REPRESENTATIVE.
    - CLEAN PAVED AREA BY SWEEPING AND/OR WASHING. REMOVE ANY DEFACEMENT OR STAINS CAUSED BY WORK OF THIS SECTION.
    - REMOVE CONSTRUCTION EQUIPMENT, EXCESS MATERIALS, TOOLS, DEBRIS, AND RUBBISH.
    - REPAIR ANY EXISTING PROPERTY DAMAGED OR ALTERED DUE TO WORK OF THE LANDSCAPE PLANTING.
  - FINAL OBSERVATION WILL BE MADE AT THE END OF THE THREE HUNDRED AND SIXTY (360) DAY CALENDAR DAY WARRANTY PERIOD. SUBMIT WRITTEN NOTICE REQUESTING THIS OBSERVATION AT LEAST ONE WEEK IN ADVANCE.

**PLANT SCHEDULE**

TREES	BOTANICAL NAME	COMMON NAME	SIZE	2015-12-11 14:54 QTY
	CERCIS CANADENSIS 'FOREST FANSY' TM	FOREST FANSY REDBUD	15 GAL	8
	EXISTING STREET TREE			13
	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	15 GAL	2
	QUERCUS RUBRA	RED OAK	15 GAL	6
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN'	HOWARD MCMINN MANZANITA	5 GAL	5
	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	5 GAL	31
	MAHONIA REPENS	CREeping MAHONIA	1 GAL	88
	NANDINA DOMESTICA 'GULF STREAM' TM	HEAVENLY BAMBOO	5 GAL	21
	FINUS MUGO MUGO	DWARF MUGO PINE	5 GAL	3
GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	FESTUCA IDAHOENSIS 'SISKIYOU BLUE'	SISKIYOU BLUE FESCUE	1 GAL	9
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	ACHILLEA X 'MOONSHINE'	MOONSHINE YARROW	1 GAL	2
	DIETES VEGETA	AFRICAN IRIS	1 GAL	4
	LAVANDULA STOECCHAS 'OTTO QUAST'	SPANISH LAVENDER	1 GAL	29
	TULBAGHIA VIOLACEA 'SILVER LACE'	SILVER LACE SOCIETY GARLIC	1 GAL	20
SUCCULENTS	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	AGAVE PARRYI	PARRY'S AGAVE	5 GAL	6

Shade Calculations for Meriam Park Lot B10-B13

Botanical Name	Common Name	Quantity	Shade allowed	at 25%	at 50%	at 75%	at 100%	Total
Quercus rubra	Red Oak	6	1,256	0	1	0	4	6,280.00
Total Shade Allowed		6		0	1	0	4	6,280.00
parking lot area to be shaded								4,072.00
50% shade required								2,036.00
% Shade Provided								154.22%

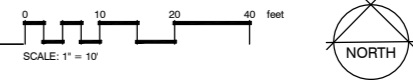
**PLANT SCHEDULE**

GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	2015-12-11 14:54 QTY
	ARCTOSTAPHYLOS UVA-URSI 'EMERALD CARPET'	EMERALD CARPET MANZANITA	1 GAL	36" O.C.	45
MATERIALS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY
	1/4" BLACK CHIP CRUSHED ROCK	2" DEPTH OVER LANDSCAPE FABRIC	2" DEPTH		28 08 SF

CONTRACTOR TO VERIFY ALL QUANTITIES FROM PLAN. PLANT LEGEND IS FOR REFERENCE ONLY.  
NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT FROM THE LAND ARCH.

WUCOLS IV SPECIES EVALUATION LIST, V.2014  
WUCOLS REGION 2 CENTRAL VALLEY: SUNSET ZONE 8-3

**PLANTING PLAN**

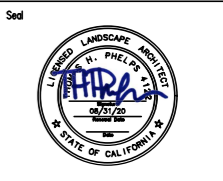


**THOMAS H. PHELPS**  
LANDSCAPE ARCHITECTURE  
California Landscape Architect #4122  
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Chico, CA 95927-8328  
(530)892-8897 fax (530)892-9588  
thphelps@sbcglobal.net  
THPLARCH.com

**MERIAM PARK - BIO-BIO COMMERCIAL**  
**GONZALES DEVELOPMENT CO.**  
CHICO, CALIFORNIA

See details on drawings of materials and on the projects of Thomas H. Phelps and his firm. Thomas H. Phelps and his firm are not responsible for the design of the project or the construction of the project. The design and construction of the project are the responsibility of the client and the contractor.

Sheet Title  
**PLANTING PLAN**



No.	Date	Revision
▲		
▲		
▲		
▲		

Project Mgr: THP Sheet No:  
Drawn By: THP  
Scale: 1"=10'  
Date: DEC 2014  
File Name: 14-065 of \_\_\_\_ sheets





July 31, 2020

Plan Reviewer  
City of Chico Planning Department  
P.O. Box 3420  
Chico, CA 95927

RE: Master Plan MP Office 1724  
Lots B10-B13 in The Thrive District  
Meriam Park  
Chico, CA 95928

Dear Reviewer,

It is with pleasure that I take this opportunity to provide you the following overview of the new master planned commercial office buildings to be constructed at Meriam Park in the Thrive District. The following narrative makes references to the City of Chico Design Guidelines.

### **Brief History**

Each of these lots are currently undeveloped and are in the process of becoming part of a new walkable community development, Meriam Park.

### **Building Program**

The proposed new buildings will be small single-story shopfront buildings.

### **Proposed Architectural Elements**

The design, building materials, and colors were selected to harmonize with buildings in the existing neighborhood. Most of which have modern design elements. All buildings make use of similar design styles characterized by a clean, simple, modern look.



115 Meyers Street Suite 110 Chico, California 95928

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## Applicable City of Chico Design Guidelines Objectives

**DG1.1.13**-Reinforce a pedestrian-friendly environment regarding building placement and orientation.

*Consistent with the small shopfront frontage type from Title 19, building placement provides that building façade is aligned close to the property line, and that all main entrances are located at sidewalk grade.*

**DG1.1.14 & 3.1.25**-Minimize views of automobiles from the public right-of-way by locating the majority of parking areas and major driveways to the rear or side of sites wherever feasible.

*The common parking area for these lots is located to the interior of the block, behind these new buildings and existing buildings. Driveway access to the parking area is provided in several locations, with landscape planting to provide additional screening from views from adjacent streets. Once this block is fully built out, the common parking area will be almost entirely screened from views from surrounding streets.*

**DG1.2.22**-Utilize rooflines and exposed (pitched) roofs to add character and style to a building, reinforcing its sense of place.

*These buildings utilize a single slope roof combined with taller parapets to produce a unique character and style. Roof overhangs on the parking lot and street sides of each building are finished with standing seam metal roofs, and matching brake-metal soffit panels on the underside.*

**DG1.2.34**-Bicycle parking is located close to main entrances.

*Bicycle parking is already provided in existing common areas on this block. Submittals for common area roadways have already addressed this.*

**DG3.1.35**-Screen and buffer trash enclosures, and utility services from public views.

*Existing trash enclosures are located on the south side of the buildings in the common parking area. An electrical transformer is located in a planter away from the building at the south end of lot B10, and is screened by adjacent landscape planting.*

**DG3.2.21**-Design Concept

*The composition of these buildings consists of single-story masses aligned directly with the adjacent street. Large storefront windows provide a direct connection to the streetscape and provide light and views between the interior and exterior of the buildings. The taller parapet walls on each end of the buildings provides both visual interest, and a book-end to each building.*



**DG3.2.22**-Avoid unarticulated elevations and incorporate varied building depth and shadow.

**DG3.2.31 & 33**- Include variations in the depth of surfaces or changes in surface materials to provide visual interest to walls. Express continuity through all elevations through complementary use of form, materials, color, and detailing.

*Building facades adjacent to both the street and parking lot are articulated by roof overhangs above. Facades adjacent to the street are provided with wood-look aluminum siding above the windows, a reference to the wood-look aluminum soffits on the existing adjacent Penney Lawyers Office Building. Facades adjacent to the parking lot area also provided with the same siding between the storefront windows, contrasting with the plaster finish of the rest of the main building walls. Taller parapet walls at each end of the buildings extend past the main façade of the buildings on the street side. Canopy overhangs above the main entrances on the street side provide additional depth and shadow.*

**DG3.2.23**-Design and locate building entries to create a sense of focus so people may easily find the entrance. Roof overhangs and wall recesses, are two examples of features which help define a sense of entry for a building.

*Each main building entry adjacent to the street is identified by a full height storefront window. The addition of a canopy overhang assists in wayfinding. Secondary entrances adjacent to the parking lot are identified by large storefront window and door assemblies, contrasted with smaller adjacent storefront windows.*

**DG3.2.25**- Avoid continuous flat roofs with monotonous cornices or parapets.

*These unique buildings feature an overall form and roofline based upon architectural elements established at the B7 and B8 lots in the Thrive District. Eave lines are accentuated by parapet walls at each end, which are detailed with control joint patterns to provide visual interest.*

**DG3.2.28**- Minimize the appearance of wall mounted utility equipment, including electrical panels, gas meters, conduit, plumbing or downspouts, by integrating with in the building structure or by screening and buffering techniques.

*Electrical switchgear is located in between each building. Adjacent landscape planting provides additional screening.*



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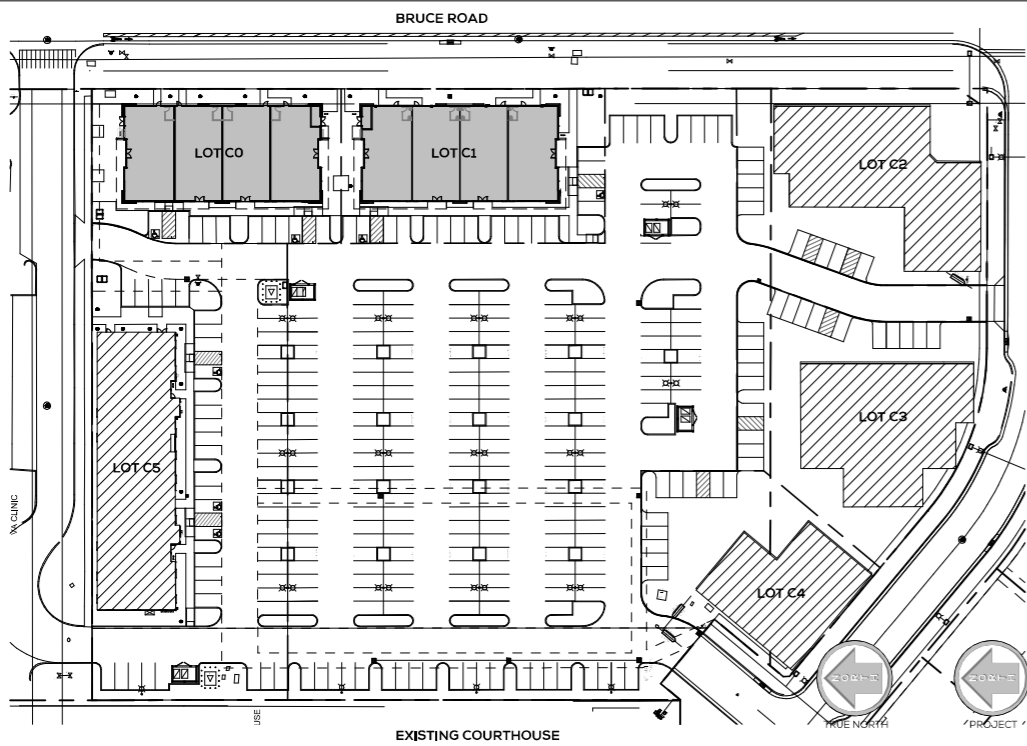
**DG3.2.32**–Select building colors and accent materials from a rich palette.

*The color palette for these buildings is based on tones selected primarily from warm and rich colors. These colors were selected specifically for these buildings drawing from color schemes from existing buildings in the Meriam Park Development.*

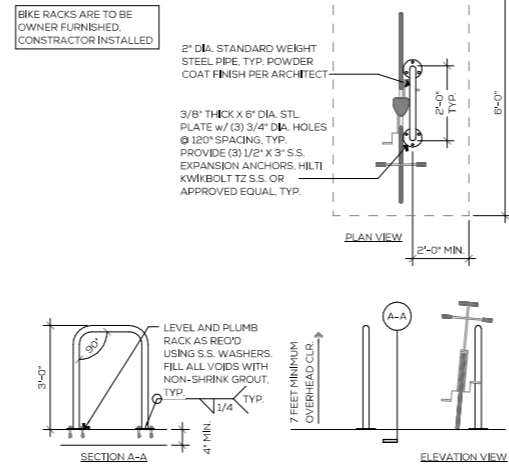
Sincerely,

A handwritten signature in blue ink, appearing to read 'Kevin Easterling', written in a cursive style.

Kevin Easterling  
Project Architect  
Russell, Gallaway, Associates Inc.



**SS - OVERALL SITE PLAN**  
SCALE: 1" = 50'-0"



**KK - BIKE RACKS**  
SCALE: 1/2" = 1'-0"

**SCREENING REQUIREMENTS**  
ALL WALL-MOUNTED UTILITIES AND ROOF OR WALL PENETRATIONS, INCLUDING VENT STACKS, UTILITY BOXES, EXHAUST VENTS, GAS METERS AND SIMILAR EQUIPMENT, SHALL BE SCREENED BY APPROPRIATE MATERIALS AND COLORS. ADEQUATE SCREENING SHALL BE VERIFIED BY CITY OF CHICO PLANNING STAFF PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

**UNDERGROUND REQUIREMENTS**  
ALL NEW ELECTRIC, TELEPHONE, AND OTHER WIRING CONDUITS FOR UTILITIES SHALL BE PLACED UNDERGROUND IN COMPLIANCE WITH CHICO MUNICIPAL CODE 19.60.120

**SITE CIRCULATION ROUTE NOTES:**  
SITE CIRCULATION ROUTE, AS INDICATED, IS A COMMON BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE. EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. THE PATH SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. PASSING SPACES (11B-403.5.3) AT LEAST 60" X 60" ARE LOCATED NOT MORE THAN 200' APART. THE CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL AND IS LESS THAN 5% UNLESS OTHERWISE INDICATED. (P-01.3) SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (11B-307.4) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (11B-307.2).

**LEGEND:**

- ..... SITE CIRCULATION ROUTE
- PROPERTY LINE
- - - EASEMENT - SEE CIVIL DWGS
- - - LINE OF CANOPY OVERHEAD
- [Hatched Box] PROJECT AREA - NEW BUILDING
- [Dotted Box] FUTURE BUILDINGS - NOT A PART
- [Patterned Box] LANDSCAPING - SEE LANDSCAPE DWGS
- [Stippled Box] CONCRETE WALK - SEE CIVIL DWGS
- C COMPACT PARKING SPACE - SEE CIVIL DWGS
- [Wheelchair Icon] ACCESSIBLE PARKING SPACE, SEE CIVIL DWGS
- [Bike Icon] BIKE PARKING - SEE DETAIL (KK ARB1)
- [Fire Hydrant Icon] FIRE HYDRANT - SEE CIVIL DWGS

**PARKING REQUIRED**

8,360 SF @ 1.6 SPACE / 1,000 SF GROSS	14 SPACES	(CHICO MC TABLE 6-36)
BIKE PARKING (20% OF VEHICLE)	3 SPACES	(CHICO MC TABLE 19.88.070)

**VEHICLE PARKING PROVIDED (LOT C0)**

FULL SIZE STALL	8 SPACES
COMPACT STALLS	0 SPACES
ACCESSIBLE STALLS	2 SPACES
TOTAL SPACES PROVIDED	10 SPACES

**VEHICLE PARKING PROVIDED (LOT C1)**

FULL SIZE STALL	15 SPACES
COMPACT STALLS	0 SPACES
ACCESSIBLE STALLS	2 SPACES
TOTAL SPACES PROVIDED	17 SPACES

**BIKE PARKING PROVIDED**

BIKE RACK	4 SPACES (EACH LOT)
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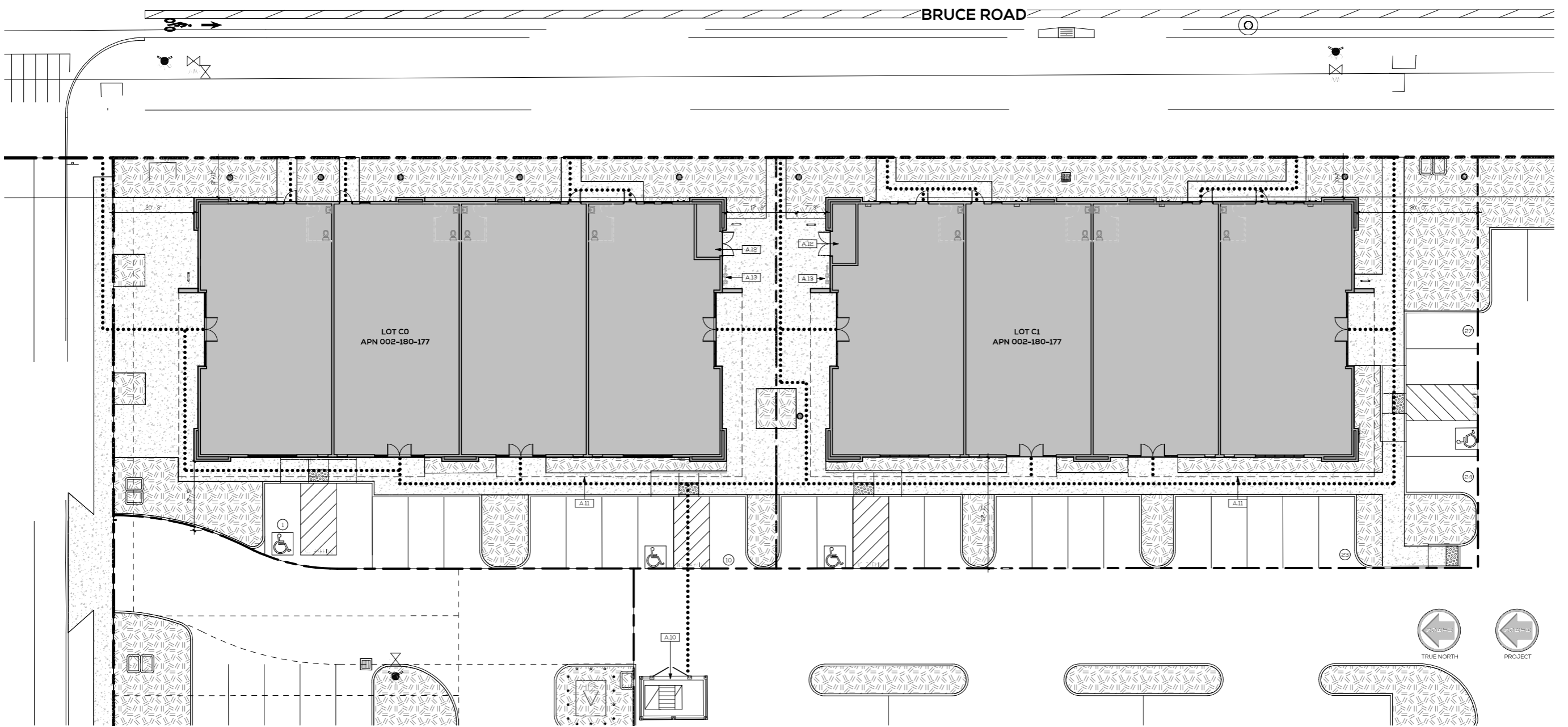
**TND ZONING SUMMARY**

ZONING	TND-CORE	(CHICO MC 19.80)
BUILDING TYPE	SMALL SINGLE STORY SHOPFRONT	(CHICO MC 19.86.300)
FRONTAGE TYPE	SHOPFRONT	(CHICO MC 19.84.040)
SETBACKS	FRONT ZERO TO BACK OF WALK	(CHICO MC 19.86.300)
	SIDE 5 FT MIN	(CHICO MC 19.86.300)
	REAR 5 FT MIN	(CHICO MC 19.86.300)
BUILDING HEIGHT	1 STORY	(CHICO MC 19.86.300)
	35 FT MAX	(CHICO MC 19.86.300)
PARKING	28 FT MIN BEHIND BACK OF WALK	(CHICO MC 19.86.300)
PLANTING	SEE LANDSCAPE DRAWINGS	
INFRASTRUCTURE	SEE CIVIL DRAWINGS	
WALKWAYS	SHALL BE ACCESSIBLE - SEE SITE CIRCULATION ROUTE NOTES	

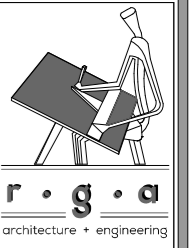
**KEYNOTES**

A.10	COVERED TRASH ENCLOSURE - SEE CIVIL DRAWINGS
A.11	LINE OF CANOPY OVERHEAD
A.12	ELECTRICAL ROOM AND MPOE CLOSET
A.13	GAS METERS - SEE CIVIL DRAWINGS

**GG - SITE LEGEND**  
SCALE: 3/32" = 1'-0"



**QQ - ENLARGED SITE PLAN**  
SCALE: 3/32" = 1'-0"



**RUSSELL GALLAWAY ASSOCIATES inc.**

115 MEYERS STREET  
SUITE 110  
CHICO, CA 95928  
530 342 0302

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PROJECT  
**MASTER PLAN  
MP OFFICE  
8360**

OWNER  
**GONZALES  
DEVELOPMENT CO.**

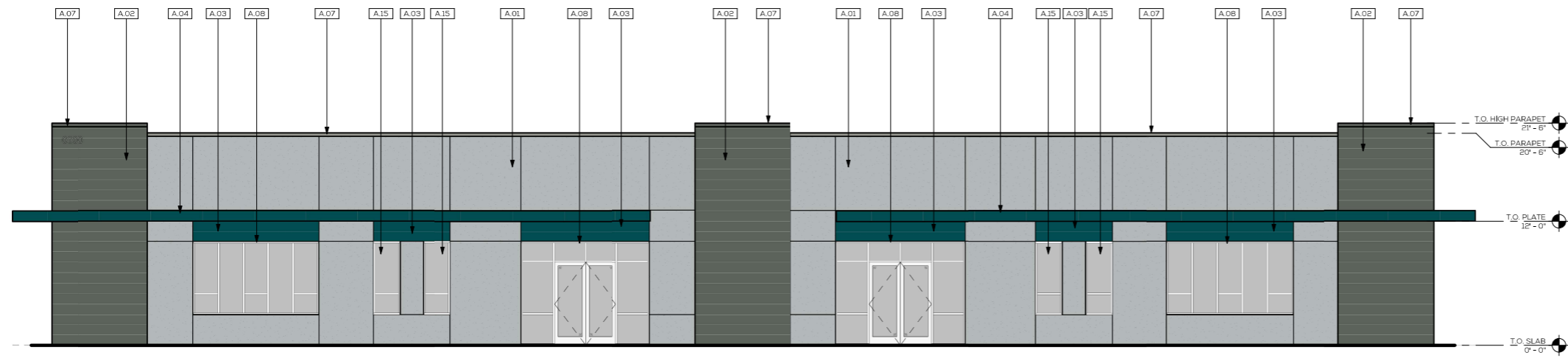
ASSESSORS PARCEL  
NUMBER  
**002-180-177**



RG4 PROJECT #	19-473
PLAN CHECK #	
DRAWN	SJM
CHECKED	KJE
ARB SUBMITTAL	2020.07.15

**ARCHITECTURAL  
SITE PLAN**

**ARB1**

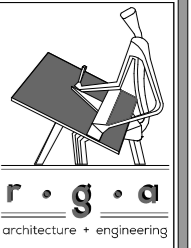


**TT - WEST ELEVATION**  
SCALE: 3/16" = 1'-0"

KEYNOTES

A.01	EXTERIOR PLASTER SYSTEM, COLOR PL-1
A.02	METAL WALL PANELS, FINISH MTL-3
A.03	METAL WALL PANELS, FINISH MTL-2
A.04	METAL CANOPY, FINISH MTL-2
A.05	METAL BOX TRIM, PRE-FINISHED BRAKE METAL, COLOR MTL-2
A.07	METAL PARAPET CAP, FINISH MTL-1
A.08	ALUMINUM STOREFRONT WINDOW AND/OR DOOR SYSTEM, FINISH AL-1 AND GL-1
A.09	HOLLOW METAL DOOR, PRIME AND PAINT TO MATCH PL-1
A.13	GAS METERS - SEE CIVIL DRAWINGS
A.15	ALUMINUM WINDOW, FINISH AL-1

- AL-1 WINDOWS AND ADDRESS, CLEAR ANODIZED ALUMINUM
- GL-1 EXTERIOR GLAZING, CARDINAL GRAY O/ LoE2-386(#3)
- MTL-1 EXTERIOR METAL SIDING & PARAPET CAP, METAL SALES COLOR: MISTIQUE PLUS
- MTL-2 EXTERIOR METAL SIDING ACCENT, METAL WALL PANELS - METAL SALES COLOR: RIVER TEAL
- MTL-3 EXTERIOR METAL SIDING, 24 GA. T16-L METAL WALL PANELS BY METAL SALES COLOR: MISTIQUE PLUS
- MTL-4 EXTERIOR PARAPET CAP, METAL SALES COLOR: OLD TOWN GRAY
- P-1 EXTERIOR HOLLOW METAL DOOR, PRIME AND PAINT TO MATCH PL-1
- PL-1 EXTERIOR PLASTER, SMOOTH FINISH, OMEGAFLEX FINE ACRYLIC TOP COAT w/ INTEGRAL COLOR: SW 2832 COLONIAL REVIVAL GRAY



**RUSSELL GALLAWAY ASSOCIATES inc.**  
115 MEYERS STREET SUITE 110 CHICO, CA 95928 530 342 0302  
[www.rgachico.com](http://www.rgachico.com)

PROJECT  
**MASTER PLAN MP OFFICE 8360**

OWNER  
**GONZALES DEVELOPMENT CO.**

ASSESSORS PARCEL NUMBER  
**002-180-177**

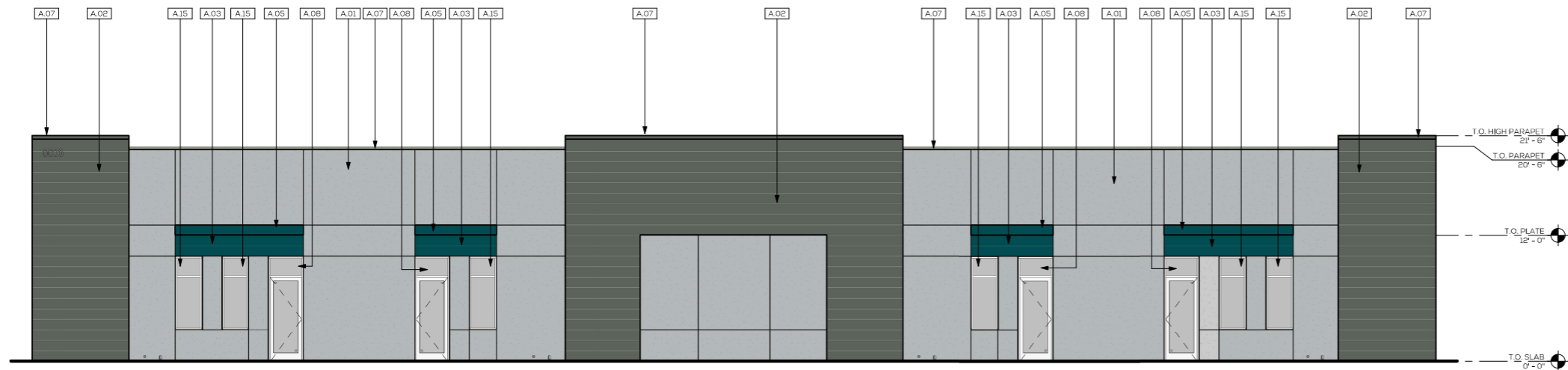


RG4 PROJECT #	19-473
PLAN CHECK #	
DRAWN	SJM
CHECKED	KJE
ARB SUBMITTAL	2020.07.15

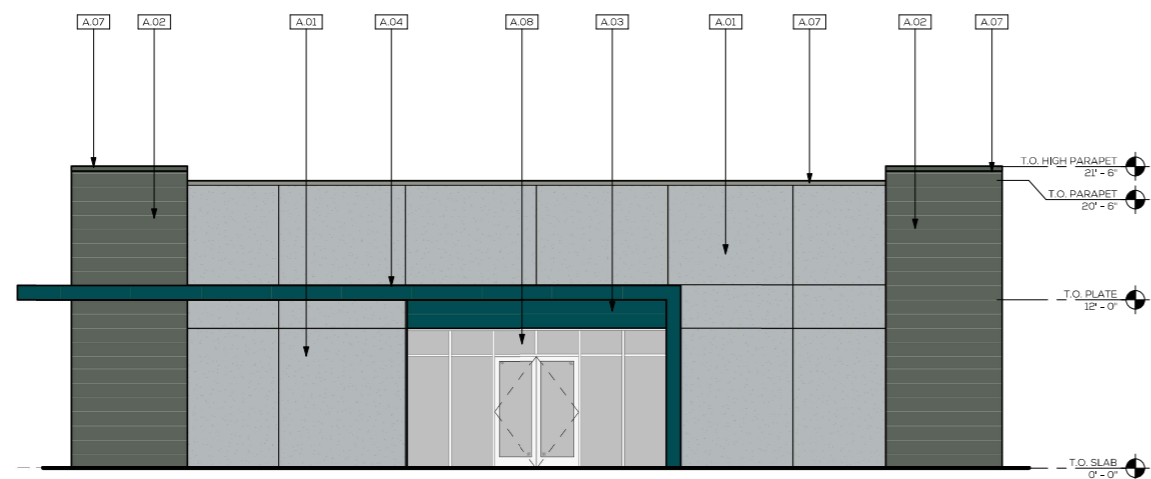
**EXTERIOR ELEVATIONS**

**ARB2**

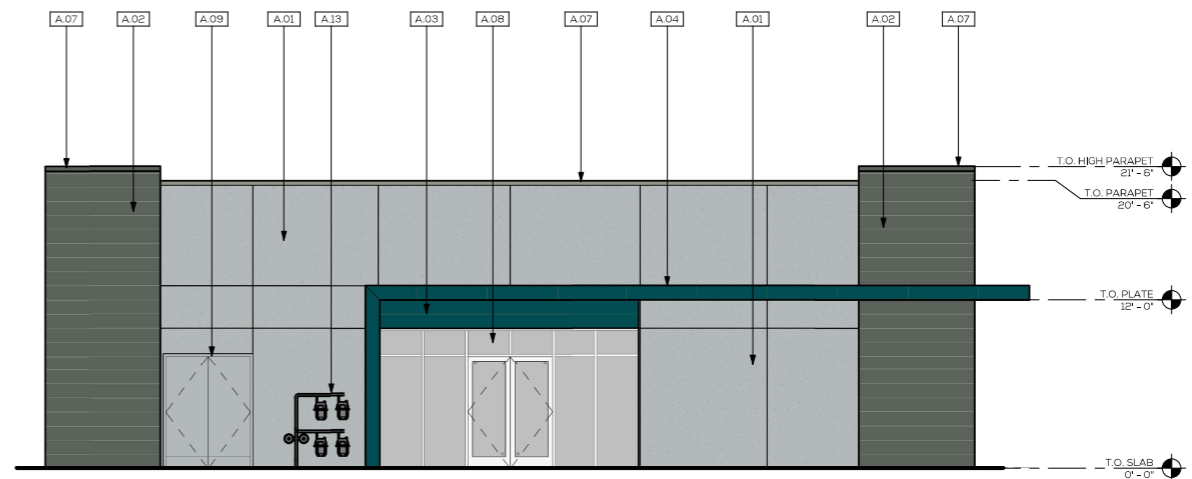
**DD - KEYNOTES & FINISH LEGEND**  
SCALE: 1/2" = 1'-0"



**RR - EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**QQ - SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**II - NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



# MASTER PLAN OFFICE 8360

OPTIONS C0 & C1

2020.07.15



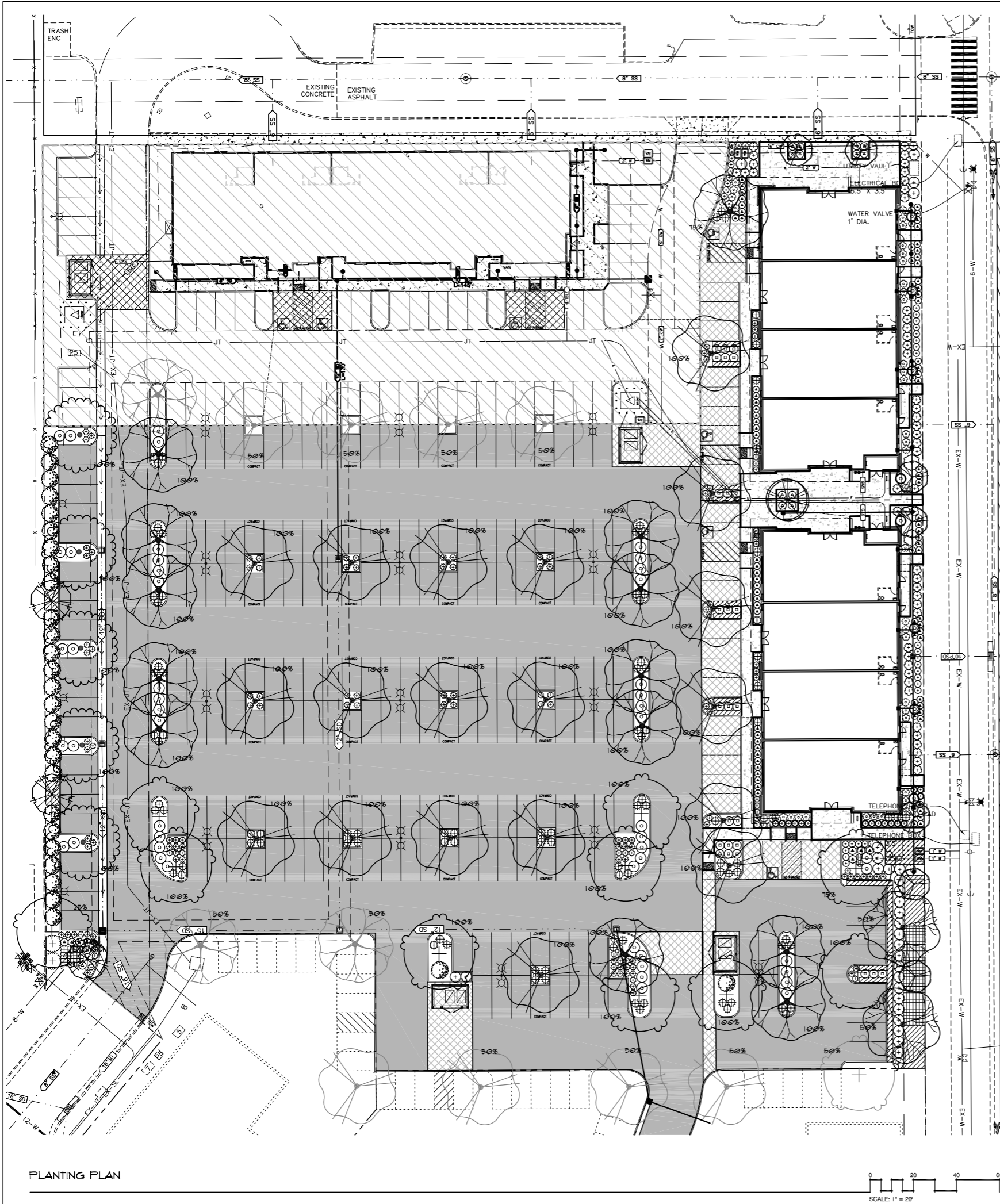
# MASTER PLAN OFFICE 8360

OPTIONS C0 & C1



2020.07.15





**PLANT SCHEDULE**

TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	15 GAL		3	
	CERCIS CANADENSIS 'FOREST PANSY'™	FOREST PANSY REDBUD	15 GAL		7	
	LAGERSTROEMIA INDICA 'CHEROKEE'	CHEROKEE CRAPE MYRTLE	15 GAL	STANDARD	1	
	PISTACIA CHINENSIS 'KEITH DAVEY'	KEITH DAVEY CHINESE PISTACHE	15 GAL		13	
	QUERCUS LOBATA	VALLEY OAK	15 GAL		2	
	QUERCUS SUBER	CORK OAK	15 GAL		5	
	ULMUS PARVIFOLIA 'TRUE GREEN'	TRUE GREEN ELM	15 GAL		10	
	ZELKOYA SERRATA 'VILLAGE GREEN'	SAWLEAF ZELKOYA	15 GAL		19	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
	ARGYTOBAPHYLOS DENBFLORA 'HOWARD MCMINN'	HOWARD MCMINN MANZANTA	5 GAL		30	
	BERBERIS THUNBERGII 'CRIMSON FLYGHT'	CRIMSON FLYGHT BARBERRY	5 GAL		51	
	CEANOTHUS X 'JULIA PHELPS'	JULIA PHELPS CALIFORNIA LILAC	5 GAL		2	
	CISTUS X PURPUREUS	ORCHID ROCKROSE	5 GAL		45	
	DODONAEA VISCOSA 'PURPUREA'	PURPLE LEAVED HOPSEED BUSH	5 GAL		28	
	MAHONIA REPENS	CREEPING MAHONIA	1 GAL		85	
	NANDINA DOMESTICA 'GULF STREAM'™	HEAVENLY BAMBOO	5 GAL		31	
	OLEA EUROPAEA 'LITTLE OLLIE'™	LITTLE OLLIE OLIVE	5 GAL		2	
	PINUS MUGO MUGO	DWARF MUGO PINE	5 GAL		8	
	RHAPHOLEPIS INDICA 'BALLERINA'	BALLERINA INDIAN HAWTHORN	5 GAL		26	
	ROSA X 'FLOWER CARPET RED'	ROSE	2 GAL		18	
	TEUCRIUM X LUCIDRYS PROSTRATUM	GERMANDER	1 GAL		16	
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
	ACHILLEA X 'MOONSHINE'	MOONSHINE YARROU	1 GAL		23	
	DIETES VEGETA	AFRICAN IRIS	1 GAL		100	
	LIRIOPE SPICATA 'SILVER DRAGON'	CREEPING LILY TURF	1 GAL		16	
	SALVIA GREGGII 'RED'	AUTUMN SAGE	5 GAL		4	
	TULBAGHIA VIOLACEA 'SILVER LACE'	SILVER LACE SOCIETY GARLIC	1 GAL		133	
	ZAUSCHNERIA CALIFORNICA	CALIFORNIA RUCHSIA	5 GAL		2	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY
	BACCHARIS PILULARIS 'TWIN PEAKS #2'	TWIN PEAKS COYOTE BRUSH	1 GAL		36" O.C.	64
	ROSMARINUS OFFICINALIS 'PROSTRATUS'	DWARF ROSEMARY	1 GAL		36" O.C.	64
MATERIALS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY
	1/4" BLACK CHP CRUSHED ROCK	2" DEPTH OVER LANDSCAPE FABRIC	2" DEPTH			181 SF

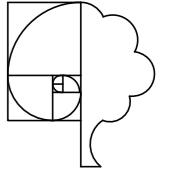
**SHADE CALCULATIONS**

Shade Calculations for Meriam Park Lot 10/C1/C6

Botanical Name	Common Name	Quantity	Shade allowed	at 25%	at 50%	at 75%	at 100%	Total
Pistacia chinensis 'Keith Davey'	Chinese Pistache	11	1,250	1	0	1	9	12,500.00
Quercus suber*	Valley Oak	5	1,250	0	1	0	4	5,625.00
Quercus lobata	Valley Oak	2	1,250	0	2	0	0	1,250.00
Ulmus parvifolia 'True Green'	Evergreen Chinese Elm	8	1,250	1	0	1	6	8,792.00
Zelkova serrata 'Village Green'	Japanese Zelkova	23	1,250	0	5	0	18	25,748.00
<b>Total Shade Allowed</b>		<b>49</b>		<b>2</b>	<b>8</b>	<b>2</b>	<b>37</b>	<b>53,948.00</b>

parking lot area to be shaded 87,025.00  
 50% shade required 43,512.50  
 % Shade Provided 61.99%

15% shade from evergreen tree species required  
 14,144 sf provided = 16.6% (\* indicates evergreen tree species)



**THOMAS H. PHELPS**  
 LANDSCAPE ARCHITECTURE  
 California Landscape Architect #4122  
 P.O. BOX 6328  
 Chico, CA 95927-6328  
 (530)892-8897 fax (530)892-9588  
 thphelps@shcglobal.net  
 THPLARCH.com

**MERIAM PARK - LOT 10/C1/C6**  
**GONZALES DEVELOPMENT CO. - BLOCK C**  
 APN 002-180-177+178  
 CHICO, CALIFORNIA

This drawing is preliminary in nature and is the property of Thomas H. Phelps Landscape Architecture. It is not to be used for any other purpose without the written consent of Thomas H. Phelps Landscape Architecture.

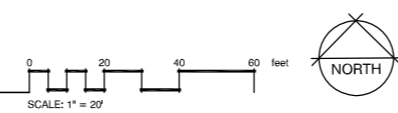
Sheet Title  
**PLANTING PLAN**



No.	Date	Revision

Project Mgr: THP      Sheet No:  
 Drawn By: THP  
 Scale: 1"=20'  
 Date: 12.04.14  
 File Name:      of      sheets

PLANTING PLAN





July 31, 2020

Plan Reviewer  
City of Chico Planning Department  
P.O. Box 3420  
Chico, CA 95927

RE: Master Plan MP Office 8360  
Lot C0 & C1 in The Thrive District  
Meriam Park  
Chico, CA 95928

Dear Reviewer,

It is with pleasure that I take this opportunity to provide you the following overview of the new master planned commercial office buildings to be constructed at Meriam Park in the Thrive District. The following narrative makes references to the City of Chico Design Guidelines.

### **Brief History**

Each of these lots are currently undeveloped and are in the process of becoming part of the new walkable community development, Meriam Park.

### **Building Program**

The proposed new buildings will be small single-story shopfront buildings, with multiple tenants.

### **Proposed Architectural Elements**

The design, building materials, and colors were selected to harmonize with buildings in the existing neighborhood. Most of which have modern design elements. All buildings make use of similar design styles characterized by a clean, simple, modern look.



## Applicable City of Chico Design Guidelines Objectives

**DG1.1.13**-Reinforce a pedestrian-friendly environment regarding building placement and orientation.

*Consistent with the small shopfront frontage type from Title 19, building placement provides that building façades are aligned close to the property line, and that all main entrances are located at sidewalk grade.*

**DG1.1.14 & 3.1.25**-Minimize views of automobiles from the public right-of-way by locating the majority of parking areas and major driveways to the rear or side of sites wherever feasible.

*Access to the common parking area occurs at the north, southeast, and southwest corners of the block. Buildings on the C0 and C1 lot screen views of the parking lot from Bruce Road. Future development of adjacent lots, and landscape planting throughout the block will provide additional screening of the parking lot from surrounding streets.*

**DG1.2.22**-Utilize rooflines and exposed (pitched) roofs to add character and style to a building, reinforcing its sense of place.

*Consistent parapet heights are accentuated by taller vertical parapets at corner and mid-wall locations, and canopy overhangs on two sides of each building. Contrasting materials and horizontal wall offsets at the taller vertical parapet locations provide visual interest and variety to the consistent parapet height. The energetic color and turned-down ends of the canopy overhangs accent the building and visual identifiers for placemaking and wayfinding.*

**DG1.2.34**-Bicycle parking is located close to main entrances.

*In addition to bicycle parking located throughout the Meriam Park development, bicycle parking is provided at entrances to each building. One bicycle rack is located adjacent to each of the primary building entrances at the north and south ends of the C0 lot and the north and south ends of the C1 lot, providing a total of four bicycle racks.*

**DG3.1.35**-Screen and buffer trash enclosures, and utility services from public views.

**DG3.2.28**- Minimize the appearance of wall mounted utility equipment, including electrical panels, gas meters, conduit, plumbing or downspouts, by integrating with in the building structure or by screening and buffering techniques.

*Covered trash enclosures are located in the common parking area. Their design and placement are consistent with the rest of the existing trash enclosures in the Meriam Park Development. Electrical switchgear is located in electrical rooms inside of each building. Gas meters are located behind the turned-down ends of each canopy overhang and are screened from view by additional adjacent landscape planting. HVAC equipment is located on rooftops, behind parapets, completely hidden from street views.*



115 Meyers Street Suite 110 Chico, California 95928

t 530 342 0302 f 530 342 1882 www.rgachico.com

### DG3.2.21-Design Concept

*The composition of these buildings consists of single-story masses aligned directly with the adjacent street. Large storefront windows provide a direct connection to the sidewalk and provide light and views between the interior and exterior of the building. Demising of interior suites is accounted for, and large storefront windows and doors provide wayfinding and identity opportunities for each suite.*

### DG3.2.22-Avoid unarticulated elevations and incorporate varied building depth and shadow.

*All facades make use of taller parapet elements at corners, and mid-wall locations. These elements are finished with horizontal metal wall panels, in a contrasting color to the plaster finish on the primary building walls. Metal box trim eyebrows are located over groupings of windows and doors, as well as over storefront entrances to provide additional variety and shadow. Finally, the canopy overhangs on two sides of each building provide additional accent and depth to the facades.*

### DG3.2.23-Design and locate building entries to create a sense of focus so people may easily find the entrance. Roof overhangs and wall recesses, are two examples of features which help define a sense of entry for a building.

*Canopy overhangs on each building assist with wayfinding, which is further defined by metal box trim eyebrows over entrances and exits. Double storefront doors at each primary building entrance are the final component of the wayfinding strategy for each building.*

### DG3.2.25- Avoid continuous flat roofs with monotonous cornices or parapets.

### DG3.2.31 & 33- Include variations in the depth of surfaces or changes in surface materials to provide visual interest to walls. Express continuity through all elevations through complementary use of form, materials, color, and detailing.

*Continuous parapet lines are interrupted and accentuated by taller parapet elements at corner and mid-wall locations. These elements are finished with horizontal metal wall panels in a contrasting color to the plaster finish on the primary building walls. A taller parapet element is also provided on a wider portion of the east façade of each building, providing additional visual interest and articulation of the building façade along Bruce Road.*



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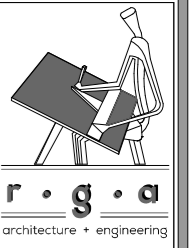
**DG3.2.32**–Select building colors and accent materials from a rich palette.

*The color palette for these buildings is based on tones selected primarily from cool gray color tones. The accent color was selected specifically for this building drawing from color schemes from existing buildings in the Meriam Park Development.*

Sincerely,

A handwritten signature in blue ink, appearing to read 'Kevin Easterling', is written over the printed name.

Kevin Easterling  
Project Architect  
Russell, Gallaway, Associates Inc.



**RUSSELL GALLAWAY ASSOCIATES INC.**

115 MEYERS STREET  
SUITE 110  
CHICO, CA 95928  
530 342 0302

www.rgachico.com

PROJECT  
**C5 OFFICE BUILDING**

OWNER  
**MPH COMPANY LLC**

PROJECT ADDRESS  
**1700 BRUCE ROAD  
LOT C5  
MERIAM PARK  
CHICO, CA**

ASSESSORS PARCEL NUMBER  
**002-180-177**

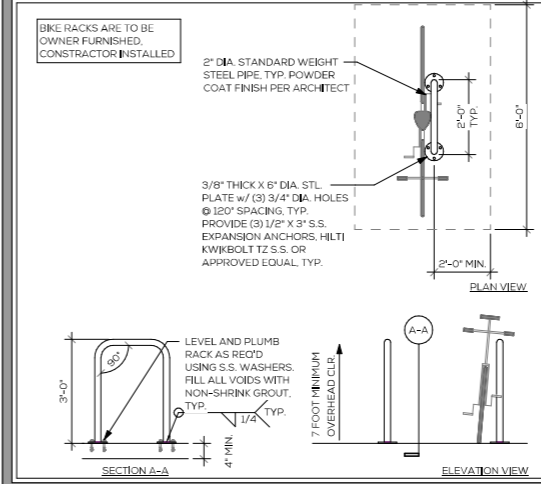


RG4 PROJECT #	19-470
PLAN CHECK #	
DRAWN	SJM
CHECKED	KJE
1ST SUBMITTAL	2019.12.06
2ND SUBMITTAL	2020.02.25
ARB SUBMITTAL	2020.07.15

ARCHITECTURAL  
SITE PLAN

**ARB1**

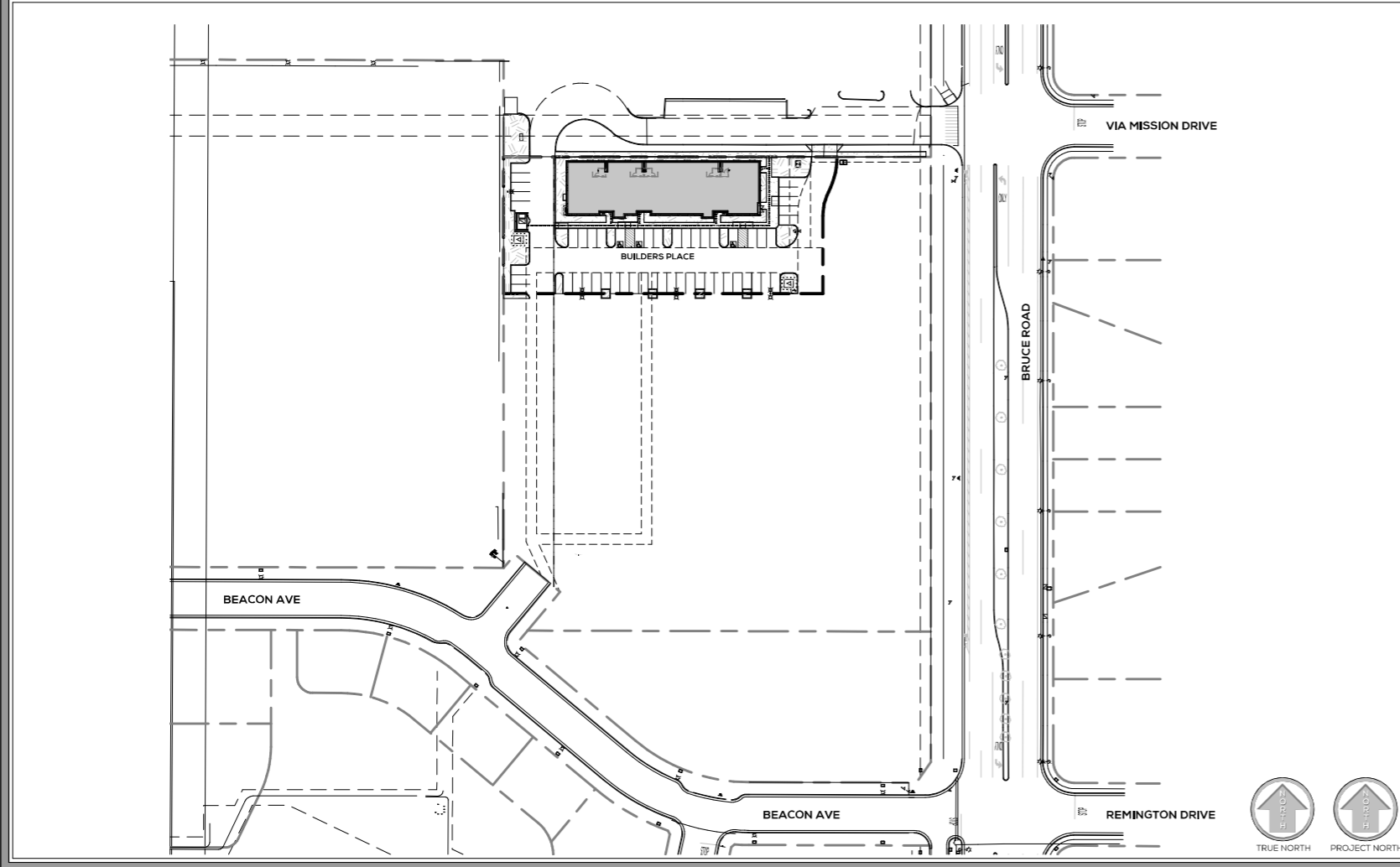
<b>PARKING REQUIRED</b>			
9,584 SF @ 1.6 SPACES / 1,000 SF GROSS	16 SPACES	(CHICO MC TABLE 6-36)	
<b>BICYCLE PARKING (20% OF VEHICLE)</b>	4 SPACES	(CHICO MC TABLE 19.88.070)	
<b>CLEAN AIR / VANPOOL / EV FUTURE EV</b>	6 SPACES	(COBSC 5.106.5.2)	
	4 SPACES	(COBSC 5.106.5.3.3)	
<b>VEHICLE PARKING PROVIDED</b>			
FULL SEE STALL	46 SPACES		
COMPACT STALLS	4 SPACES		
ACCESSIBLE STALLS	3 SPACES		
TOTAL SPACES PROVIDED	53 SPACES		
<b>CLEAN AIR / VANPOOL / EV FUTURE EV</b>	6 SPACES	(COBSC 5.106.5.2)	
	4 SPACES	(COBSC 5.106.5.3.3)	
<b>BICYCLE PARKING PROVIDED</b>			
BICYCLE RACK	4 SPACES		
<b>TND ZONING SUMMARY</b>			
ZONING	TND-CORE	(CHICO MC 19.80)	
BUILDING TYPE	SMALL SINGLE STORY SHOPFRONT	(CHICO MC 19.86.300)	
FRONTAGE TYPE	SHOPFRONT	(CHICO MC 19.84.040)	
SETBACKS	FRONT ZERO TO BACK OF WALK	(CHICO MC 19.86.300)	
	SIDE 5 FT MIN	(CHICO MC 19.86.300)	
	REAR 5 FT MIN	(CHICO MC 19.86.300)	
BUILDING HEIGHT	1 STORY	(CHICO MC 19.86.300)	
	35 FT MAX		
PARKING	28 FT MIN BEHIND BACK OF WALK	(CHICO MC 19.86.300)	
PLANTING	SEE LANDSCAPE DRAWINGS		
INFRASTRUCTURE	SEE CIVIL DRAWINGS		
WALKWAYS	SHALL BE ACCESSIBLE - SEE SITE CIRCULATION ROUTE NOTES		
<b>SCREENING REQUIREMENTS</b>			
ALL WALL-MOUNTED UTILITIES AND ROOF OR WALL PENETRATIONS, INCLUDING VENT STACKS, UTILITY BOXES, EXHAUST VENTS, GAS METERS AND SIMILAR EQUIPMENT, SHALL BE SCREENED BY APPROPRIATE MATERIALS AND COLORS. ADEQUATE SCREENING SHALL BE VERIFIED BY CITY OF CHICO PLANNING STAFF PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.			
<b>UNDERGROUND REQUIREMENTS</b>			
ALL NEW ELECTRIC, TELEPHONE, AND OTHER WIRING CONDUITS FOR UTILITIES SHALL BE PLACED UNDERGROUND IN COMPLIANCE WITH CHICO MUNICIPAL CODE 19.80.120			
<b>SITE CIRCULATION ROUTE NOTES:</b>			
SITE CIRCULATION ROUTE, AS INDICATED, IS A COMMON BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. THE PATH SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. PASSING SPACES (18'-0" X 6'0") AT LEAST 60" X 60" ARE LOCATED NOT MORE THAN 200' APART. THE CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL AND IS LESS THAN 5% UNLESS OTHERWISE INDICATED. (P.O.T.) SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (18'-30" 4) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (18'-30" 2).			
.....	SITE CIRCULATION ROUTE	♿	ACCESSIBLE PARKING SPACE. SEE CIVIL DWGS
---	PROPERTY LINE		
---	EASEMENT - SEE CIVIL DRAWINGS	⚡	FIRE HYDRANT - SEE CIVIL DWGS
█	PROJECT AREA - NEW BUILDING	⚡	BIKE PARKING SEE DETAIL (HH ARB1)
▨	LANDSCAPING SEE LANDSCAPE DRAWINGS	⚡	FUTURE ELECTRIC VEHICLE CHARGING STATION - SEE ELECTRICAL AND CIVIL DRAWINGS
▨	CONCRETE WALK SEE CIVIL DRAWINGS	CAVPEV	DESIGNATED PARKING FOR CLEAN AIR VEHICLES - SEE CIVIL DRAWINGS



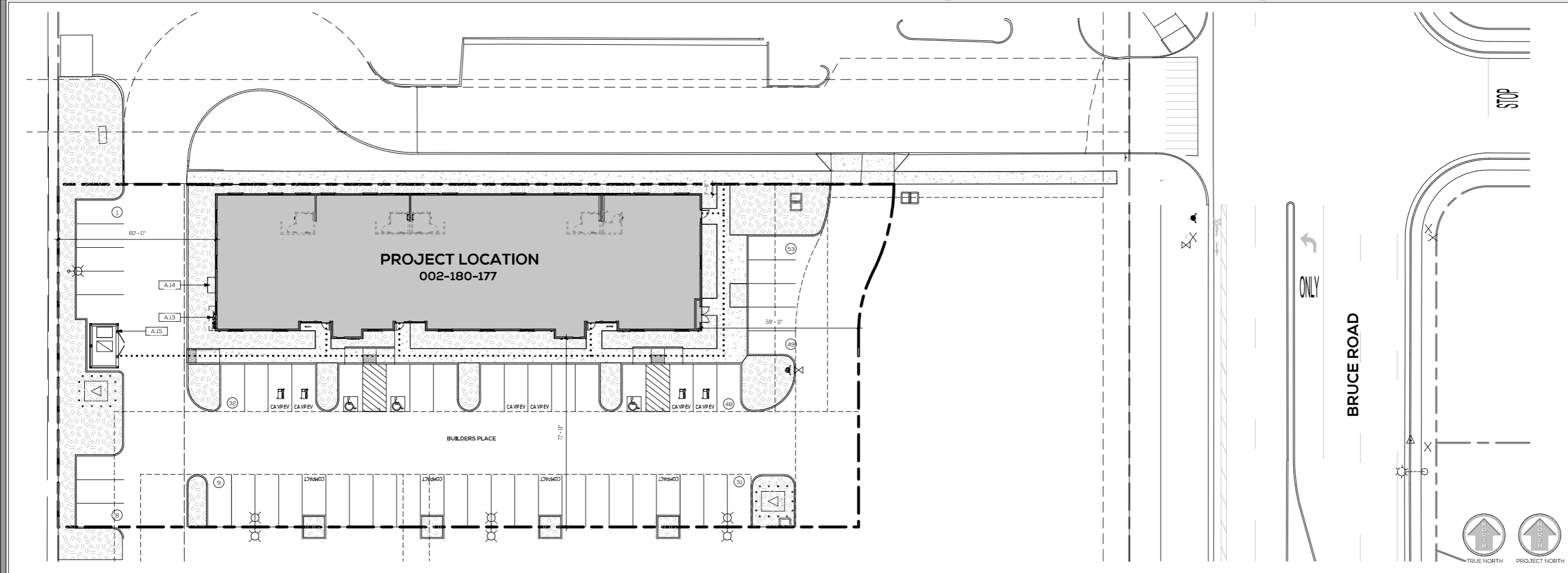
**HH - BIKE RACKS**  
SCALE: 1/2" = 1'-0"

KEYNOTES	
A.13	GAS METERS - SEE CIVIL DWGS
A.14	ELECTRICAL SWITCHGEAR - SEE CIVIL DWGS
A.15	COVERED TRASH ENCLOSURE - SEE CIVIL DWGS

**GG - KEYNOTES**  
SCALE: NONE



**SS - OVERALL SITE PLAN**  
SCALE: 1" = 60'-0"



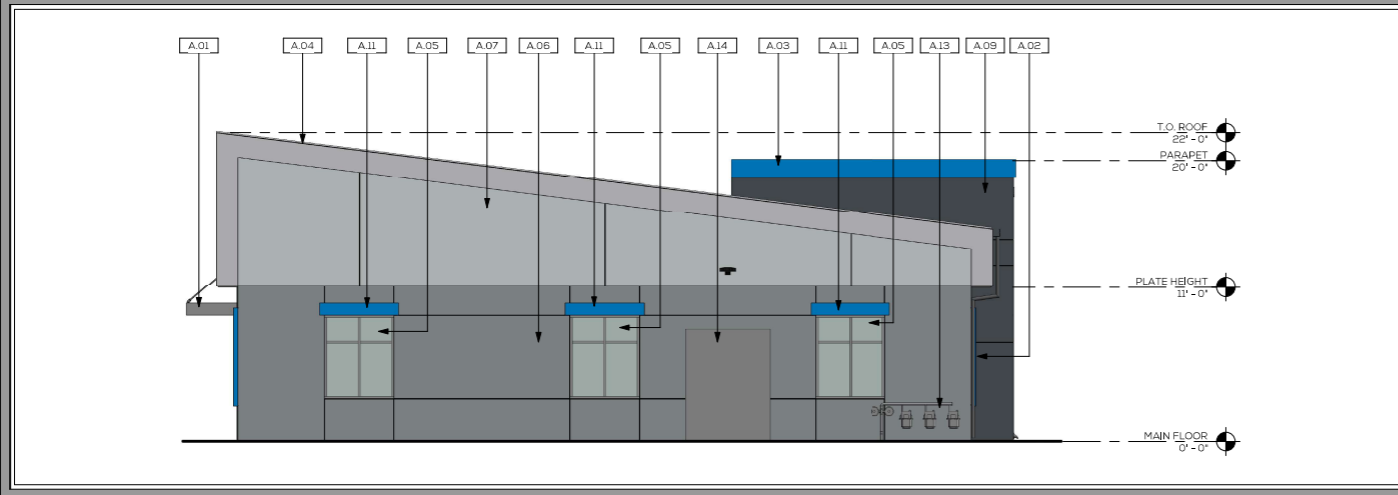
**QQ - ENLARGED SITE PLAN**  
SCALE: 1/16" = 1'-0"

KEYNOTES	
A.01	METAL CANOPY, FINISH PC-1
A.02	WINDOW SURROUND TRIM 22 GA. DREFINISHED BRAKE METAL, COLOR MTL-2
A.03	METAL PARAPET CAP, COLOR MTL-4
A.04	ROOF AND FASCIA - 24 GA. 18" STANDING SEAM METAL, ROOF, COLOR MTL-3
A.05	ALUMINUM STOREFRONT WINDOW AND/OR DOOR SYSTEM, FINISH AL-1 AND GL-1
A.06	EXTERIOR PLASTER SYSTEM, COLOR PL-1
A.07	EXTERIOR PLASTER SYSTEM, COLOR PL-2
A.08	EXTERIOR PLASTER SYSTEM, COLOR PL-3
A.09	EXTERIOR PLASTER SYSTEM, COLOR PL-4
A.10	METAL WALL PANELS - 24 GA. 36" REVERSED BOX RIB, COLOR MTL-1
A.11	METAL BOX TRIM, PRE-FINISHED BRAKE METAL, COLOR MTL-2
A.12	HOLLOW METAL DOOR, PRIME AND PAINT TO MATCH PL-1
A.13	GAS METERS - SEE CIVIL DWGS
A.14	ELECTRICAL SWITCHGEAR - SEE CIVIL DWGS

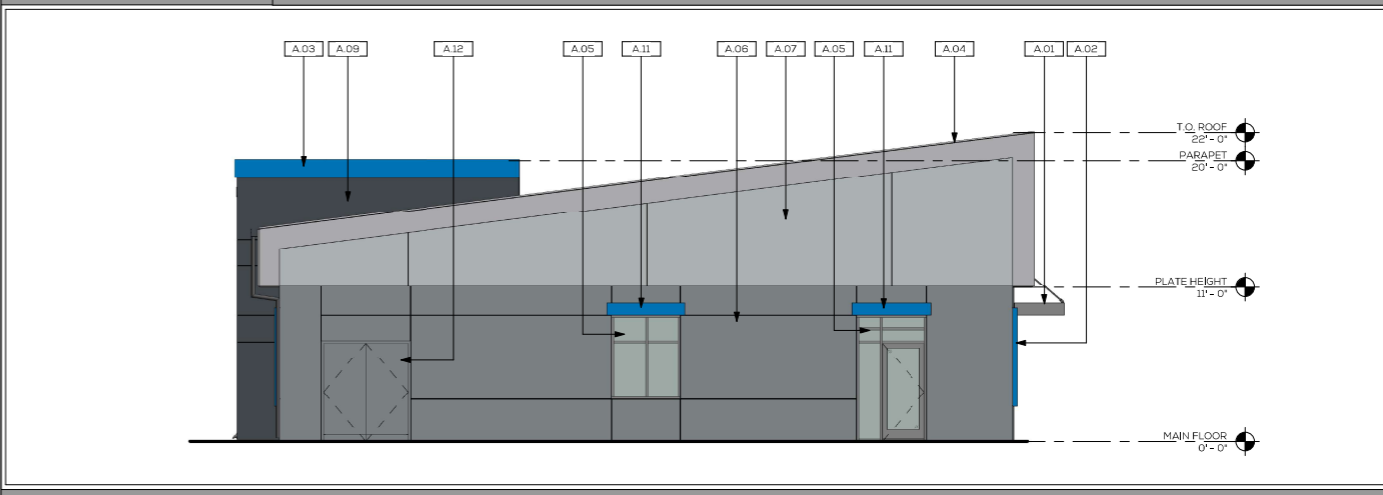
- AL-1 STOREFRONT, CLEAR ANODIZED ALUMINUM
- GL-1 EXTERIOR GLAZING, CARDINAL GRAY O/LoE2-366(K3)
- MTL-1 EXTERIOR METAL SIDING, AEP SPAN COLOR, COOL SLATE GRAY
- MTL-2 EXTERIOR WINDOW TRIM, PAC-CLAD BERSHIRE BLUE
- MTL-3 EXTERIOR METAL ROOF, METAL SALES COLOR, METALLIC SILVER
- MTL-4 EXTERIOR PARAPET CAP, PAC-CLAD BERSHIRE BLUE
- PL-1 EXTERIOR PLASTER, SMOOTH FINISH, OMEGAFLEX FINE ACRYLIC TOP COAT w/ INTEGRAL COLOR, SW 7074 SOFTWARE
- PL-2 EXTERIOR PLASTER, SMOOTH FINISH, OMEGAFLEX FINE ACRYLIC TOP COAT w/ INTEGRAL COLOR, SW 7072 ONLINE
- PL-3 EXTERIOR PLASTER, SMOOTH FINISH, OMEGAFLEX FINE ACRYLIC TOP COAT w/ INTEGRAL COLOR, SW 6803 DANUBE
- PL-4 EXTERIOR PLASTER, SMOOTH FINISH, OMEGAFLEX FINE ACRYLIC TOP COAT w/ INTEGRAL COLOR, SW 7076 CYBERSPACE
- PC-1 EXTERIOR CANOPIES, POWDERCOAT, TIGER DRYLAC - SPECIAL EFFECTS ANODIZED EFFECT SILVER (CLEAR) 61/00015

**HH - FINISHES & KEYNOTES**  
SCALE: NONE

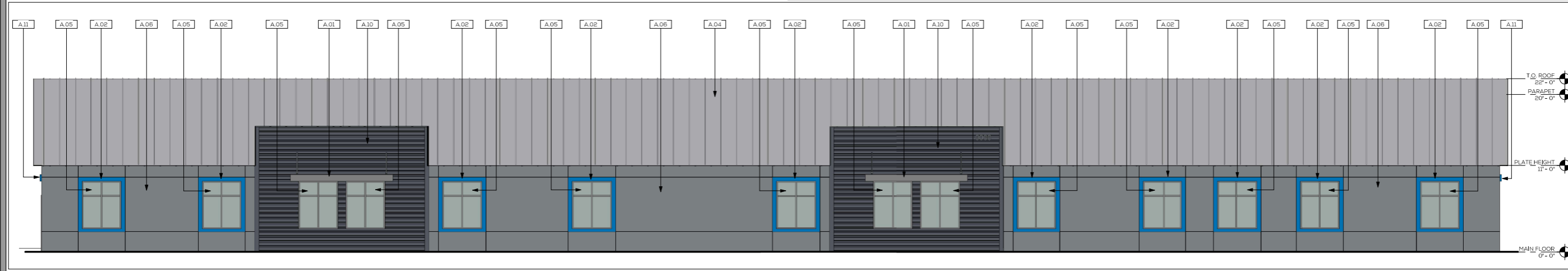
**RUSSELL GALLOWAY ASSOCIATES inc.**  
115 MEYERS STREET SUITE 110 CHICO, CA 95928 530 342 0302  
www.rgachico.com



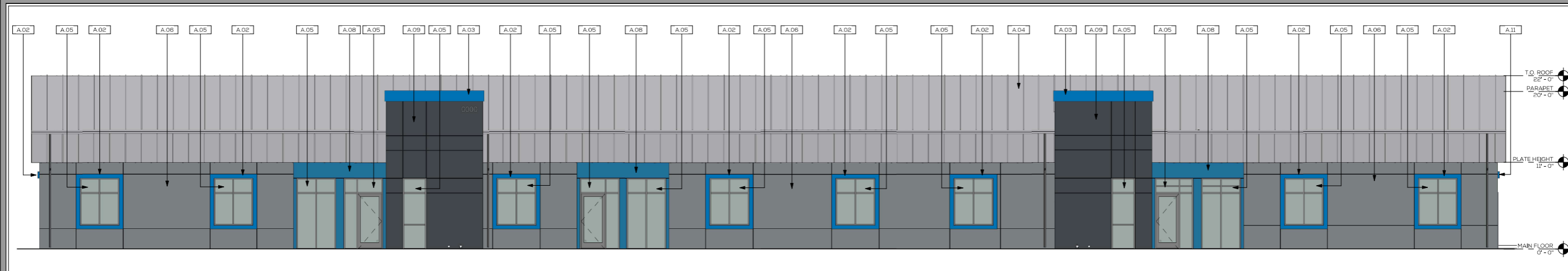
**SS - WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**KK - EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**RR - NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**QQ - SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"

PROJECT  
**C5 OFFICE BUILDING**

OWNER  
**MPH COMPANY LLC**

PROJECT ADDRESS  
1700 BRUCE ROAD  
LOT C5  
MERIAM PARK  
CHICO, CA

ASSESSORS PARCEL NUMBER  
**002-180-177**



RG4 PROJECT #	19-470
PLAN CHECK #	
DRAWN	SJM
CHECKED	KJE
1ST SUBMITTAL	2019.12.06
2ND SUBMITTAL	2020.02.25
ARB SUBMITTAL	2020.07.15

**EXTERIOR ELEVATIONS**

**ARB2**



Attachment E3



# C5 OFFICE BUILDING

MERIAM PARK

2020.07.15





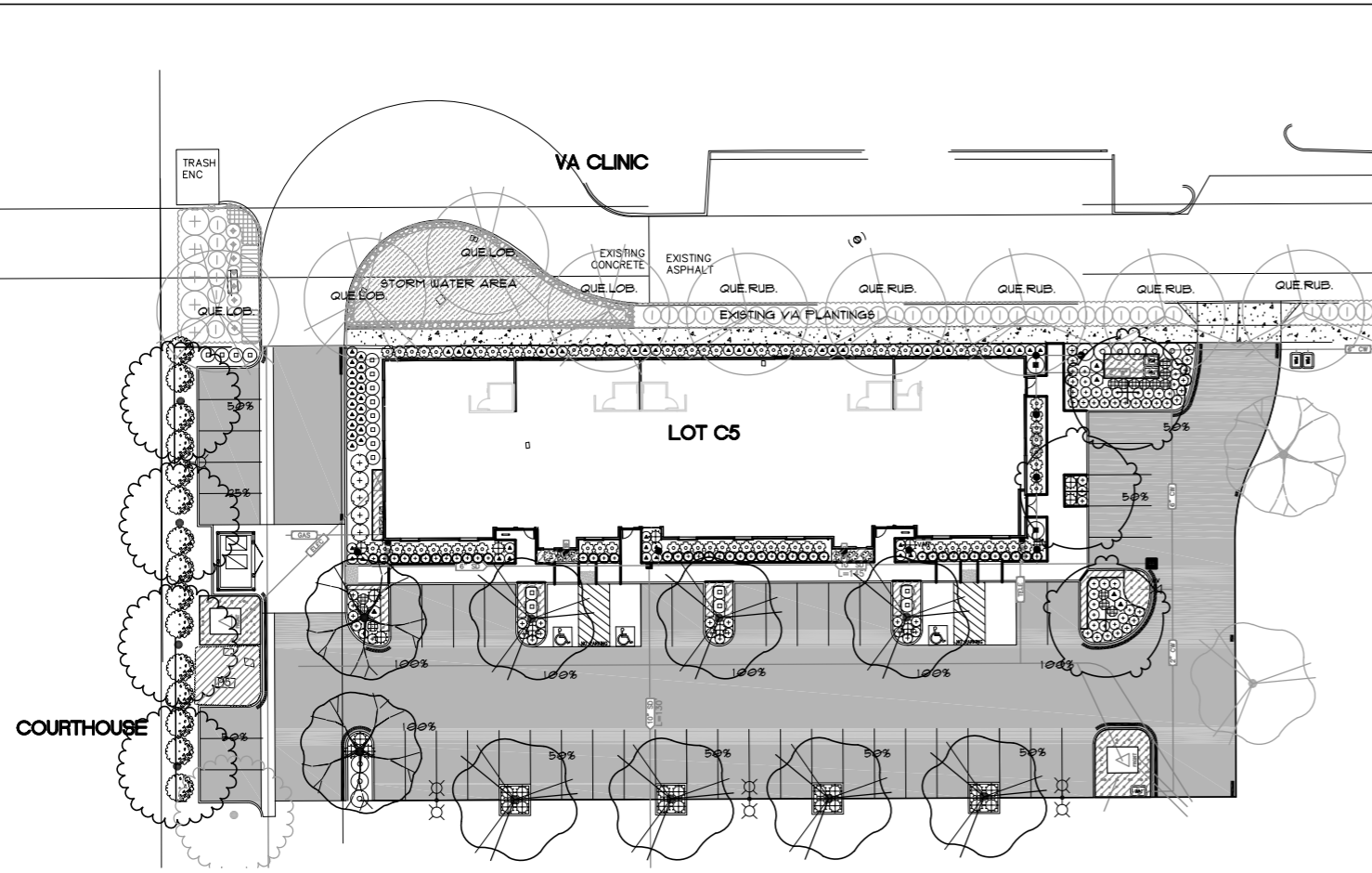
Attachment E3



# C5 OFFICE BUILDING

MERIAM PARK

2020.07.15



PLANTING PLAN

SHADE CALCULATIONS

Shade Calculations for Meriam Park Lot C5

Botanical Name	Common Name	Quantity	Shade allowed	at 25%	at 50%	at 75%	at 100%	Total
Fistacia chinensis 'Keith Davey'	Chinese Pistache	2	1,250	0	0	0	2	2,500.00
Quercus sberber	Valley Oak	3	1,256	1	2	0	0	1,570.00
Ulmus parvifolia 'True Green'	Evergreen Chinese Elm	3	1,256	0	2	0	1	2,512.00
Zelkova serrata 'Village Green'	Japanese Zelkova	7	1,256	0	4	0	3	5,280.00
<b>Total Shade Allowed</b>		<b>15</b>		<b>1</b>	<b>8</b>	<b>0</b>	<b>6</b>	<b>12,862.00</b>
parking lot areas to be shaded								19,258.00
50% shade required								9,649.00
% Shade Provided								66.65%
15% shade from evergreen tree species required								
4,082 sf provided = 21.1% (* indicates evergreen tree species)								

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	FISTACIA CHINENSIS 'KEITH DAVEY'	KEITH DAVEY CHINESE PISTACHE	15 GAL	2	
	QUERCUS SUBER	CORK OAK	15 GAL	4	
	ULMUS PARVIFOLIA 'TRUE GREEN'	TRUE GREEN ELM	15 GAL	3	
	ZELKOVA SERRATA 'VILLAGE GREEN'	SAWLEAF ZELKOVA	15 GAL	7	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN'	HOWARD MCMINN MANZANTA	5 GAL	5	
	CISTUS X PURPUREUS	ORCHID ROCKROSE	5 GAL	3	
	DODONAEA VISCOSA 'PURPUREA'	PURPLE LEAFED HOPSEED BUSH	5 GAL	15	
	MAHONIA REPENS	CREEPING MAHONIA	1 GAL	51	
	NANDINA DOMESTICA 'GULF STREAM' TM	HEAVENLY BAMBOO	5 GAL	76	
	PITTOSPORUM TOBIRA 'VARIEGATA'	VARIEGATED MOCK ORANGE	5 GAL	2	
	RHAPHIOLEPIS INDICA 'BALLERINA'	BALLERINA INDIAN HAWTHORN	5 GAL	18	
	TEUCRIUM X LUCIDRYS PROSTRATUM	GERMANDER	1 GAL	52	
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	ACHILLEA X 'MOONSHINE'	MOONSHINE YARROW	1 GAL	24	
	DIETES VEGETA	AFRICAN IRIS	1 GAL	31	
	LIRIOPE SPICATA 'SILVER DRAGON'	CREEPING LILY TURF	1 GAL	44	
	SALVIA GREGGII 'RED'	AUTUMN SAGE	5 GAL	5	
	ZAUSCHNERIA CALIFORNICA	CALIFORNIA FUCHSIA	5 GAL	14	
SUCCULENTS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	AGAVE PARRYI	PARRY'S AGAVE	5 GAL	6	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY
	ROSMARINUS OFFICINALIS 'PROSTRATUS'	DWARF ROSEMARY	1 GAL	36" O.C.	37
MATERIALS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY
	1/4" BLACK CHIP CRUSHED ROCK	2" DEPTH OVER LANDSCAPE FABRIC	2" DEPTH		1,010 SF

- SOIL PREPARATION AND AMENDING:**
- AFTER ROUGH GRADING OPERATIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A SOILS REPORT THAT PROVIDES AN ANALYSIS OF THE EXISTING SOIL THAT STATES WHAT SOIL AMENDMENTS ARE REQUIRED FOR OPTIMUM PLANTING GROWTH. THE CONTRACTOR SHALL INCORPORATE THE RECOMMENDED QUANTITIES BY THOROUGHLY CULTIVATING ALL PLANTING AREAS TO A DEPTH OF EIGHT (8) INCHES. ROUGH FINISH GRADE ALL AREAS.
  - BROADCAST THE FOLLOWING SOIL AMENDMENTS. QUANTITIES GIVEN ARE PER 1,000 SQUARE FEET OF AREA.
    - NITROGEN STABILIZED AND IRON FORTIFIED COMPOST: PER SOIL ANALYSIS RECOMMENDATIONS, OR A CIV FOR BID PURPOSES
    - PELLETIZED FERTILIZER (21-0-0) 10LBS., OR AS PER SOIL ANALYSIS RECOMMENDATIONS
    - SOIL SULFUR: PER SOIL ANALYSIS RECOMMENDATIONS
  - CULTIVATE AND THOROUGHLY INCORPORATE THE AMENDMENTS INTO THE TOP EIGHT (8) INCHES OF SOIL.
  - DE-ROCK AREA TO BE PLANTED: ALL ROCKS LARGER THAN 1 INCH IN DIAMETER ARE TO BE REMOVED.
- INSTALL WEED BARRIER FILTER FABRIC OVER DRIP IRRIGATION COMPONENTS, MANUFACTURED OF POLYPROPYLENE, 20 MIL THICKNESS, AND 2.6 OUNCES PER SQUARE YARD, DESIT PRO-5, OR EQUAL. SECURE FABRIC SEGMENTS TO SOIL WITH 6"x6" STEEL 1/2 SHAPE PINS. OVERLAP ADJACENT FABRIC SEGMENTS A MINIMUM OF SIX (6) INCHES AND SECURE WITH PINS AT TWENTY FOUR (24) INCHES ON CENTER.**
- INSTALL 3" DEPTH FIR BARK MULCH OVER THE FILTER FABRIC ON ALL SHRUB AND GROUND COVER PLANTING AREAS. BARK MULCH SHALL BE WOOD RESIDUAL DERIVED AND MANUFACTURED FROM PINE, WHITE AND/OR RED FIR TREE BARK. THE MATERIAL SHALL BE EQUAL TO THAT REFERRED TO AS 'WALK ON BARK' IN THE TRADE.**
- TREES PLANTED WITHIN TEN (5'-0") FEET OF A STREET, SIDEWALK, PAVED TRAIL, OR WALKWAY SHALL BE A DEEP-ROOTED SPECIES OR SHALL BE SEPARATED FROM HARDSCAPES BY A ROOT BARRIER TO PREVENT PHYSICAL DAMAGE TO PUBLIC IMPROVEMENTS.**
- A CERTIFICATE OF COMPLETION SHALL BE OBTAINED FROM THE CITY AND THE PROJECT APPLICANT SHALL FILL OUT THE CERTIFICATE TO THE SATISFACTION OF THE CITY UPON COMPLETION OF THE LANDSCAPE PROJECT.**
- THE INSTALLING LANDSCAPE CONTRACTOR SHALL MAINTAIN THE NEW LANDSCAPE AREAS FOR A (90) NINETY DAY PERIOD.**
- FINISH GRADING SHALL BE DONE FOLLOWING THE CIVIL ENGINEER RIM ELEVATIONS FOR DRAINS, REFER TO THE CIVIL ENGINEERING PLANS. ALL FINISH GRADING SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND TOWARDS DRAIN LOCATIONS AS INDICATED ON THE CIVIL PLANS. IF ANY DISCREPANCIES ARE PRESENT, CONTACT THE PROJECT SUPERINTENDENT, OR LANDSCAPE ARCHITECT.**
- CONTRACTOR TO VERIFY ALL QUANTITIES FROM PLAN. PLANT LEGEND IS FOR REFERENCE ONLY. NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT FROM THE LAND. ARCH.**
- WUCOLS IV SPECIES EVALUATION LIST, V.2014  
WUCOLS REGION 2 CENTRAL VALLEY. SUNSET ZONE 8-9**
- INSPECTION SCHEDULE:**
- THE LANDSCAPE ARCHITECT SHALL ACCOMPLISH THE FOLLOWING INSPECTIONS IN CONCERT WITH THE PROJECT COORDINATOR, AND THE LANDSCAPE CONTRACTOR. CALL AT LEAST 48 HOURS IN ADVANCE OF THE REQUESTED INSPECTION.
  - PRE-LANDSCAPE CONSTRUCTION MEETING WITH LANDSCAPE ARCHITECT, LANDSCAPE CONTRACTOR AND CONSTRUCTION SITE SUPERVISOR.
  - LANDSCAPE ARCHITECT INSPECTION:
    - IRRIGATION SYSTEM LAYOUT AND COVERAGE INSPECTION, INCLUDING
    - IRRIGATION MAINLINE AND LATERAL PRESSURE CHECK LAYOUT INSPECTION OR DEVIATION FROM
    - IRRIGATION SYSTEM AS PER PLANS
    - INSTALLATION INSPECTION OF MAIN LINES
    - INSTALLATION INSPECTION OF LATERALS AND NON-PRESSURE SYSTEM TRENCHES
  - LANDSCAPE ARCHITECT INSPECTION:
    - PLANT INSPECTION AND SOIL PREPARATION INSPECTION, INCLUDING
    - REVIEW/APPROVE AMENDMENTS
    - ENSURE CORRECT SOIL PREPARATION
    - VERIFY FINISH GRADE
    - PLANT MATERIAL QUALITY
    - LAYOUT IN CONFORMANCE WITH PROJECT PLANS/SPECIFICATION
  - FINAL LANDSCAPE IMPROVEMENTS INSPECTION AND APPROVAL. COMMENCEMENT OF MAINTENANCE PERIOD WITH LETTER OF APPROVAL FROM THE LANDSCAPE ARCHITECT. ALL PUNCH LIST ITEMS FROM PREVIOUS INSPECTION MUST BE COMPLETE REQUESTS FOR PROGRESS PAYMENTS MUST INCLUDE APPROVED INSPECTION REPORTS AUTHORIZED BY THE LANDSCAPE ARCHITECT AND OR THE OWNER'S AGENT.
- OBSERVATION AND ACCEPTANCE**
- AFTER ALL PLANTS HAVE BEEN INSTALLED, THE OWNER'S REPRESENTATIVE WILL MAKE A PRELIMINARY OBSERVATION.**
- UPON PRELIMINARY OBSERVATION AND APPROVAL OF THE WORK, A THREE HUNDRED AND SIXTY (360) DAY CALENDAR DAY WARRANTY PERIOD WILL BEGIN.**
- THE WARRANTY WILL PROVIDE LANDSCAPING, DRAINAGE, SPRINKLER SYSTEM, AND PLANT WARRANTY FOR THE FULL COST OF THE MATERIAL AND LABOR FOR ONE YEAR FROM DATE OF INSTALLATION. ANY PLANT THAT FAILS TO SURVIVE ONE YEAR FROM PLANTING WILL BE REPLACED ONE TIME FREE OF CHARGE PROVIDED THE PLANTS HAVE BEEN PROPERLY CARED FOR BY THE OWNER.**
- IF ANY PLANTS OR WORK ARE NOT APPROVED, IMMEDIATE REPLACEMENT AND/OR REPAIR WILL BE MADE.**
- PLANT BASINS SHALL BE REPAIRED, ALL PLANTINGS GIVEN A FINAL WATERING, AND THE JOB CLEARED OF ALL WEEDS AND DEBRIS AND PRESENTED IN A NEAT AND ORDERLY FASHION.**
- THE WORK, EXCLUSIVE OF THE REPLACEMENT OF PLANT MATERIALS, SHALL BE ACCEPTED BY THE OWNER'S REPRESENTATIVE UPON COMPLETION OF THE NINETY (90) DAY MAINTENANCE PERIOD AND UPON WRITTEN APPROVAL OF THE WORK BY THE OWNER'S REPRESENTATIVE.**
- CLEAN PAVED AREA BY SWEEPING AND/OR WASHING. REMOVE ANY DEFACEMENT OR STAINS CAUSED BY WORK OF THIS SECTION.**
- REMOVE CONSTRUCTION EQUIPMENT, EXCESS MATERIALS, TOOLS, DEBRIS, AND RUBBISH.**
- REPAIR ANY EXISTING PROPERTY DAMAGED OR ALTERED DUE TO WORK OF THE LANDSCAPE PLANTING.**
- FINAL OBSERVATION WILL BE MADE AT THE END OF THE THREE HUNDRED AND SIXTY (360) DAY CALENDAR DAY WARRANTY PERIOD. SUBMIT WRITTEN NOTICE REQUESTING THIS OBSERVATION AT LEAST ONE WEEK IN ADVANCE.**

**THOMAS H. PHELPS**  
LANDSCAPE ARCHITECTURE

California Landscape Architect #4122  
P.O. BOX 6328  
Chico, CA 95927-8328  
(530)892-8897 fax (530)892-9588  
thphelps@thpglobal.net  
THPLARCH.com

**MERIAM PARK - LOT C5**  
**BLOCK C, GONZALES DEVELOPMENT CORP.**  
CHICO, CALIFORNIA  
APN 002-180-177

This drawing is preliminary and made out on the property of Thomas H. Phelps Landscape Architecture. It is not to be used for construction purposes without the written approval of the author.

Sheet Title: **PLANTING PLAN**

Seal:

No.	Date	Revision
▲		
▲		
▲		
▲		

Project Mgr.: THP      Sheet No.:  
Drawn By: THP     

Scale: 1"=20'  
Date: 12.06.14  
File Name: \_\_\_\_\_ of \_\_\_\_\_ sheets



July 31, 2020

Plan Reviewer  
City of Chico Planning Department  
P.O. Box 3420  
Chico, CA 95927

RE: Office Building  
Lot C5 in The Thrive District  
1700 Bruce Road  
Chico, CA 95928  
APN 002-180-177

Dear Reviewer,

It is with pleasure that I take this opportunity to provide you the following overview of the new commercial office building to be constructed at Meriam Park in the Thrive District. The following narrative makes references to the City of Chico Design Guidelines.

### **Brief History**

This property is currently undeveloped and is in the process of becoming part of the new walkable community development, Meriam Park.

### **Building Program**

The proposed new building will be a single-story shop front office building.

### **Proposed Architectural Elements**

The design, building materials, and colors were selected to harmonize with buildings in the existing neighborhood. Most of which have modern design elements. All buildings make use of similar design styles characterized by a clean, simple, modern look.



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### Applicable City of Chico Design Guidelines Objectives

**DG1.1.13**-Reinforce a pedestrian-friendly environment regarding building placement and orientation.

*Consistent with the small shopfront frontage type from Title 19, building placement provides that building façade is aligned close to the property line, and that all main entrances are located at sidewalk grade.*

**DG1.1.14 & 3.1.25**-Minimize views of automobiles from the public right-of-way by locating the majority of parking areas and major driveways to the rear or side of sites wherever feasible.

*Access to the parking area is located at the northwest side of the office building. Views of the parking area from this access road are obscured by the building and landscape planting. Future development of adjacent lots will provide additional screening of the parking lot from Bruce road and surrounding streets.*

**DG1.2.22**-Utilize rooflines and exposed (pitched) roofs to add character and style to a building, reinforcing its sense of place.

*This building utilizes a single-slope roof, which wraps downward vertically on both the high and low side of the roof. Roof overhangs and visual articulation of the roof line on both the east and west walls creates a strong profile of the roofline, which is punctuated by vertical parapets at two locations on the south façade of the building.*

**DG1.2.34**-Bicycle parking is located close to main entrances.

*In addition to bicycle parking located throughout the Meriam Park development, bicycle parking is provided at the south side of the building. One bicycle rack is located adjacent to two of the three building entrances along the south façade, providing a total of two bicycle racks.*

**DG3.1.35**-Screen and buffer trash enclosures, and utility services from public views.

*The covered trash enclosure is located on the west side of the building and matches the rest of the existing trash enclosures in the Meriam Park Development. An electrical transformer is located in the planter adjacent to the covered trash enclosure, tucked away from the building and screened by adjacent planting. Gas meters and electrical switchgear located at the west end of the building will be painted to match adjacent building material/color, and will be screened by adjacent landscape planting.*

**DG3.2.21**-Design Concept

*The composition of this building consists of a single-story mass aligned directly with the adjacent street and sidewalk along the parking lot. Large storefront windows provide a direct connection to the sidewalk and provide light and views between the interior and exterior of the building.*



**DG3.2.22**–Avoid unarticulated elevations and incorporate varied building depth and shadow.

*Every elevation offers depth and interest with the use of façade articulation, varied materials, and accentuation of windows and storefront openings. The addition of metal canopies assists in adding shadowing and depth on the north facade. Vertical parapets on the south facade assist in breaking up the roof line and concealing HVAC equipment. Finally, the use of window box elements in a primary color add energy and highlights to all elevations.*

**DG3.2.23**–Design and locate building entries to create a sense of focus so people may easily find the entrance. Roof overhangs and wall recesses, are two examples of features which help define a sense of entry for a building.

*Vertical parapet elements along the south façade provide additional depth contrast to the recessed main entry doors. These shadows and depth create focus and assist in wayfinding.*

**DG3.2.25**- Avoid continuous flat roofs with monotonous cornices or parapets.

*This unique building features an overall form and roofline based upon architectural elements established at the B7 and B8 lots in the Thrive District. The turned-down roof line is broken up by vertical parapets to establish a rhythm of roof and wall with unique colors that maintain compatibility with the overall color scheme of the Thrive District.*

**DG3.2.28**- Minimize the appearance of wall mounted utility equipment, including electrical panels, gas meters, conduit, plumbing or downspouts, by integrating with in the building structure or by screening and buffering techniques.

*Utilities located on the west façade of the building will be painted to match adjacent colors and materials. Gutters are color matched to the adjacent roof, and downspouts will be used sparingly along the south side only. HVAC equipment is designed to be placed behind the parapets at two locations, completely hidden from street views.*

**DG3.2.31 & 33**- Include variations in the depth of surfaces or changes in surface materials to provide visual interest to walls. Express continuity through all elevations through complementary use of form, materials, color, and detailing.

*Using two different metal building colors for the roofs and walls in addition to wall offsets creates the requested articulation. There are repeated materials, colors, and features on all elevations to create continuity.*



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**DG3.2.32**–Select building colors and accent materials from a rich palette.

*The color palette for this building is based on tones selected primarily from cool gray color tones. The accent color was selected specifically for this building drawing from color schemes from existing buildings in the Meriam Park Development.*

Sincerely,

A handwritten signature in blue ink that reads 'Kevin Easterling'. The signature is fluid and cursive, with a large, sweeping flourish at the end.

Kevin Easterling  
Project Architect  
Russell, Gallaway, Associates Inc.

**Mitigation Measures Applicable to  
Site Design and Architectural Review Projects**  
From the Meriam Park Environmental Impact Report  
and Mitigation Monitoring Program

**AESTHETICS**

**AES-1:** In order to minimize impacts of new sources of light and glare:

1. All new lighting shall be designed to eliminate direct light spilling onto adjacent properties.
2. Lighting for new development within Meriam Park, including parking areas, shall be designed to include shields, ranging from 120-180 degrees and cut-offs that minimize light spillage onto unintended surfaces and minimize atmospheric light pollution, use minimal wattage.
3. Exterior surfaces should not be reflective glass or other reflective materials.
4. As part of the Architectural Review process, light and glare should be given specific consideration and measures incorporated into project design to minimize both.
5. Where possible, limit height of light standards to 12 feet.

**AIR QUALITY**

**AIR-1a:** All construction plans and documents for construction projects in the TND zone shall include the measures set forth below to reduce construction-related air quality impacts.

1. All active construction areas shall be watered at least twice daily. The frequency shall be based on the type of operation, soil conditions, and wind exposure.
2. Apply chemical soil stabilizers to inactive construction areas (disturbed areas that are unused for at least four consecutive days) to control dust emissions. Dust emission shall be controlled at the site for both active and inactive construction areas throughout the entire construction period (including holidays).
3. Storage piles shall be controlled for dust emissions as needed by covering the storage pile, application of chemical soil stabilizers, or other technique acceptable to the City.
4. Vehicle speeds shall be limited to 15 mph on unpaved roads and areas.
5. Land clearing, grading, earth moving, or excavation activities shall be suspended when wind speeds exceed 20 mph.
6. Non-toxic binders (e.g. latex acrylic copolymer) shall be applied to exposed areas after cut and fill operation and the area hydroseeded when the area becomes inactive for 10 days or more.
7. Prior to any grading or construction taking place, the developer shall consult with the Butte County Air Quality Management District regarding the application of a paved (or dust palliative treated) apron onto the Meriam Park site.
8. Inspect adjacent streets at least once per day and sweep or wash paved streets adjacent to the site where visible silt or mud deposits have accumulated due to construction activities.

9. Building and Engineering Division staff shall review final improvement plans for all construction projects to ensure that the above notes are included on such plans. Building and Engineering Division staff shall inspect the property for compliance with the above air quality measures.

**AIR-1b:** One or more publicly-visible signs shall be posted at each construction site with the name and telephone number of the developer representative to contact regarding dust complaints. Complaints received about dust shall be responded to, and corrective action taken, immediately. The telephone number of the BCAQMD shall be included on the signs and visible to ensure compliance with BCAQMD Rules 201 and 207.

**AIR-1c:** Construction shall be phased so that only a portion of the Meriam Park site is graded at a time. Areas in which one large piece of earth-moving equipment is working shall not exceed 10 acres on a daily basis, and areas in which two or more large pieces of earth-moving equipment are working simultaneously shall not exceed 4 acres per day.

**AIR-1d:** Prior to final occupancy, all exposed ground surfaces shall be landscaped, seeded or chemically treated to minimize fugitive dust emissions (dust clouds caused by wind, traffic, or other disturbances to exposed ground surfaces).

**AIR-2:** The following measures would reduce diesel particulate matter and NOx emissions from construction equipment, and represent a level of reasonable control that would reduce these emissions to a less-than-significant level.

1. Prior to commencement of any grading or construction, a NOx reduction plan shall be prepared and submitted for approval by the City and BCAQMD demonstrating that heavy-duty (> 50 horsepower) off-road vehicles to be used during construction, including owned, leased and subcontracted vehicles, will achieve a project-wide fleet-average NOx reduction equivalent to or exceeding the most recent CARB fleet average at the time of construction. Acceptable options for reducing emissions may include use of late model engines, low-emission diesel products, alternative fuels, engine retrofit technology, after-treatment products, and/or other options as they become available.
2. The NOx reduction plan shall include a comprehensive inventory of all off-road construction equipment, equal to or greater than 50 horsepower, that would be used an aggregate of 40 or more hours during any portion of the construction project. The inventory shall include the horsepower rating, engine production year, and projected hours of use or fuel throughput for each piece of equipment. The inventory shall be updated on a monthly basis throughout the duration of the grading portion of construction.
3. Opacity is an indicator of exhaust particulate emissions from off-road diesel powered equipment. The Meriam Park project shall ensure that emissions from all construction diesel powered equipment used on the Meriam Park site do not exceed 40 percent opacity for more than three minutes in any one hour. Any equipment found to exceed 40 percent opacity (or Ringelmann 2.0) shall be repaired immediately.
4. The contractor shall install temporary electrical service whenever possible to avoid the need for independently powered equipment (e.g. compressors).
5. Diesel equipment standing idle for more than two minutes shall be turned off. This would include trucks waiting to deliver or receive soil, aggregate, or other bulk materials.



Rotating drum concrete trucks could keep their engines running continuously as long as they were on-site and away from residences.

6. Properly tune and maintain equipment for low emissions.

## **BIOLOGICAL RESOURCES**

**BIO-8:** Adequate measures shall be taken to avoid inadvertent take of loggerhead shrike, raptors, and nests of other birds protected under the Migratory Bird Treaty Act when in active use. This shall be accomplished by taking the following steps.

1. If construction is proposed during the nesting season (March - August), a focused survey for nesting raptors and other migratory birds shall be conducted by a qualified biologist within 30 days prior to the commencement of construction, in order to identify any active nests on the proposed project site and the vicinity of proposed construction.
2. If no active nests are identified during the survey period, or if construction is initiated during the non-breeding season (September - February), grading and construction may proceed.
3. If active raptors nests are found, an adequate setback shall be established around the nest location and construction activities restricted within this no-disturbance zone until the qualified biologist has confirmed that any young birds have fledged and are able to function outside the nest location. Required setback distances for the no-disturbance zone shall be determined in consideration with the CDFG and/or USFWS, and may vary depending on species and sensitivity to disturbance. The no-disturbance zone shall be fenced with temporary orange construction fencing.
4. A report of findings shall be prepared by the qualified biologist and submitted to the City for review and approval prior to initiation of grading and construction during the nesting season (March - August). The report shall either confirm absence of any active nests or shall confirm establishment of a designated no-disturbance zone for any active nests. Supplemental reports shall be submitted to the City for review and approval where no-disturbance zones have been required to allow construction to proceed within these zones after any young birds have fledged.

## **CULTURAL RESOURCES**

**CUL-2a:** In the event any cultural materials are discovered or unearthed during the course of grading or construction activities, all work shall cease within 100 feet of the discovered site and a qualified archeologist shall be retained by the project applicant to evaluate the significance of the site. If the archeologist determines that the materials represent a potentially-significant resource, the project proponent, archeologist, City Planning Director, and local tribal coordinator shall begin a consultation process to determine a plan of action either for: 1) total data recovery, as a mitigation; 2) tribal cultural resource monitoring; 3) displacement protocol; or 4) total avoidance of the resource, if possible.

**CULT-2b:** A note shall be placed on all construction plans which informs the construction contractor that if any bones, pottery fragments or other potential cultural resources are encountered during construction, all work shall cease within the area of the find pending an

examination of the site and materials by a professional archaeologist. The Planning Division and Engineering Division staff will verify that this wording is included in project grading plans.

**CUL-3:** In the event that human remains are discovered during the course of grading or construction activities, all work shall cease within 100 feet of the find and the construction supervisor must immediately notify the Butte County Coroner pursuant to Section 7050.5 of California's Health and Safety Code, and the City Planning Director. The construction supervisor shall also take appropriate action to ensure that the discovery is protected from further disturbance and vandalism. If the remains are of a Native American, the coroner must notify the California Native American Heritage Commission within 24 hours, which in turn will inform a most likely descendent pursuant to Section 5097.98 of the State Resources Code. The designated descendant would then negotiate with the land owner for final disposition of identified remains, which may include reburial within an appropriate location within the project area.

**CUL-4:** In the event that paleontological resources are encountered during construction activities, consultation with a professional paleontologist, geologist or archaeologist, as appropriate, shall be undertaken immediately, and the significance of the find evaluated. Appropriate specific mitigation measures would be recommended, based on the finding of significance of the discovery. The project proponent shall implement recommended mitigation measures.

### **HYDROLOGY AND DRAINAGE**

**HYDRO-3:** The developer shall develop a stormwater master plan and a SWPPP for the Project site. No grading permits or other construction permits for the Project site shall be issued until the developer prepares a SWPPP and the SWPPP is reviewed and approved by the City of Chico and reviewed by the Caltrans District 3 office and the Central Valley Regional Water Quality Control Board (Redding office). The SWPPP shall describe the construction- phase and post-construction control measures to improve water quality of runoff. Selection and design of the water quality BMPs shall be reviewed and approved by City staff and operations and maintenance considerations shall be described in the SWMP or Operations and Maintenance Manual (OMM) prepared for the treatment facilities.

### **UTILITIES**

**UTIL-1b:** At least 75 percent of the remaining project-related construction and demolition waste shall be diverted to an approved facility or by salvage. The City shall give the applicant a list of approved facilities or reuse options. A Waste Diversion Plan including the total weight or volume of demolition and construction waste and the plan for diverting the waste shall be provided to and approved by the City pursuant to commencement of construction.