



Architectural Review and Historic Preservation Board Agenda Report

Meeting Date 9/2/2020

DATE: August 17, 2020

File: AR 20-01

TO: Architectural Review and Historic Preservation Board

FROM: Dexter O'Connell, Associate Planner. 530-879-6810
dexter.oconnell@chicoca.gov

RE: Architectural Review 20-01 (Tank District) – Lots A9, A13, A28 and A29 of Meriam Park. (APNs 002-690-001; 002-690-002; and 002-710-059 and 002-710-060)

RECOMMENDATION

Staff recommends that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve of the project, subject to conditions.

Proposed Motion:

I move that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve Architectural Review 20-01 (Tank District), subject to the recommended conditions therein.

BACKGROUND AND ANALYSIS

The applicant requests approval of four buildings in three distinct areas of the Tank District of Meriam Park. The site is designated Special Mixed Use on the City of Chico General Plan Land Use Diagram, is zoned TND (Traditional Neighborhood Development) and designated CORE and NC (Lots A28 and A29) by the Regulating Plan.

The Tank District is situated at the southwest corner of Meriam Park (see **Attachment A**, Location Map) primarily along Notre Dame Boulevard near its intersection with East 20th Street. The settings of the individual proposed structures are described individually in the analysis below. Existing uses in the Tank District include Burban Kitchen, Pacific Culture, and Daycamp Coffee, along with the district's eponymous water tank. The buildings already constructed in the Tank District are eclectic, and the surrounding uses are as well.

The Traditional Neighborhood Development (TND) zone is designed to encourage positive design features of traditional neighborhoods. The purpose of the TND zone is to create compact neighborhoods with defined neighborhood centers, encourage a mixture of residential and non-residential land uses, promote a mixture of housing types and create a pedestrian friendly environment. TND land use designations provide for the allocation of building types, street types, development and land uses to the subzones. Designations are intended to accommodate a diverse mixture of building and housing types and land uses.

The Tank District is primarily designated CORE by the regulating plan, but lots A28 and A29 are designated NC. The CORE designation is intended for the most urban conditions within the TND zone, and the NC designation is similar. They are intended to accommodate a mixture of land uses emphasizing ground-floor retail with offices and residential above and to provide for lodging, restaurant, entertainment, and civic uses. Street frontages are pedestrian-oriented and defined by building facades at the back of the sidewalk, with off-

street parking provided in structures or located away from street frontages, behind buildings and includes on-street parking as a component of the total parking program.

PROPOSED BUILDINGS

“Market” Building

The proposed structure is a one-story multipurpose retail building with an intriguing contemporary architectural style. New landscaping, lighting and bicycle parking are all proposed (**Attachment C1**, Site Plan).

Building Type

The building type for the project is Small Single-Story Shopfront. Consistent with this building type, the proposed project includes flexible ground floor space which is likely to be used for restaurant and retail primarily but could be converted to other uses as the need arises or as market patterns shift.

Frontage Type

The frontage type for the proposed project is Shopfront. This frontage type has the building facade is aligned close to the property line with the building entrance at sidewalk grade. It requires a substantial glazing area at the sidewalk level, and an awning that may overlap the sidewalk. The proposal is consistent with the Shopfront frontage type, and addresses and engages the sidewalk best among the buildings proposed in this round of Meriam Park structures.

Architecture

The building would feature a distinctly modern appearance with a winged roof structure (see **Attachment C2**, Exterior Elevations and **Attachment C3**, Renderings) and extensive glazing on the street and side elevations that is reminiscent of industrial buildings from the Age of Steam, creating an effect similar to Walter Gropius’ famous pre-Bauhaus Fagus Factory. The industrial theme is continued with natural cement plaster siding which wraps the other two elevations and contrasts well with wood siding accents and black metallic awning and roof accents on the glazed elevations. The proposed structure is a maximum of slightly more than 26 feet in height, sloping downward toward the parking lot side and meeting a second, smaller angled roof pointing up in the opposite direction. The building’s proposed interior space features three proposed suites of differing size, and it is likely to contain a variety of different uses.

The proposed structure meets City of Chico Design Guidelines (DGs) in a variety of ways. It strengthens neighborhood identity by incorporating design elements that reflect the surrounding neighborhood (DG 2.1.11) and screens parking areas from street views. (DG 2.1.25). The building has an engaging roof design (DG 2.2.25) and trademark elements which distinguish it from others in the area.

The parking area meets the City’s parking requirements. Four new bicycle parking spaces would be provided. A trash enclosure is proposed to the south of the structure.

Landscaping

The landscape plan mostly calls for native shrubs and trees, which are intended to

complement the existing aesthetics natural to Northern California (see **Attachment C4**, Landscape Plan). The species would have low water demands and would be aesthetically appropriate. The parking lot shade requirement would also be met.

A28 and A29 Buildings

The proposed structures are compact, potentially-multipurpose office buildings with a complimentary architectural style. Their contrasting styles will provide an interesting juxtaposition drawing attention to Meriam Park's southwesternmost gateway. New landscaping, lighting, parking, and bicycle parking are all proposed (see **Attachment D1**, Site Plans) along with other site improvements.

Building Type

The building type standards determine the allowed building disposition and massing, frontage design, primary pedestrian access, vehicle access, parking and services, and open space and landscaping design requirements for each of the building types allowed in the TND zone. The building type for the project is Small Single-Story Shopfront. Consistent with this building type, the proposed project includes a variety of ground-floor space potentially for multiple uses. The front façade of the building is placed at the back of the sidewalk, and entrances use cover and other elements to engage the street, as is required by CMC 19.86.220.D. The buildings are one story in height.

Frontage Type

The frontage type for the proposed project is Shopfront. This frontage type has the building facade aligned close to the property line with the building entrance at sidewalk grade. This type is conventional for retail, restaurants and other similar uses. It requires a substantial glazing area at the sidewalk level, and an awning that may overlap the sidewalk. The proposed buildings are aligned close to the sidewalk, with access to the commercial suites taken from sidewalk grade. The proposal is consistent with the Shopfront frontage type.

Architecture

The two buildings would be modern in style (see **Attachment D2**, Exterior Elevations and **Attachment D3**, Renderings) with significant glazing on the front and rear facades. They would be in contrasting architectural styles. The structure on lot A29 at the corner of East 20th Street and Notre Dame Boulevard, would be a strictly-modern building clad in an alabaster shade of uniform paneling with black and grey paneling accenting the glazing and entrances. The structure on Lot A28 would be its opposite, primarily dark-grey with lighter grey and corrugated metal paneling to emphasize contrasts, and tasteful wood accents on two elevations. The buildings are both approximately rectangular and 20 feet tall at the top of their squared-off flat roofs. The contrast in styles of the two buildings tends to compensate for the limited architectural interest that each one carries individually, creating an intriguing contrast that will appeal well to passers-by.

The proposed structures meet City of Chico Design Guidelines (DGs) in a variety of ways. The buildings meet DG 3.1.21 by providing quality pedestrian connections, particularly to the residential buildings slightly to their north. The buildings screen parking areas from street views (DG 3.1.24) and provide bicycle parking close to main entrances (DG 3.1.34). The Buildings offer a rich palate that creates interest (DG 3.2.32) and enhances the streetscape, and taken together the two buildings have the effect of offering changes in surface materials (DG 3.2.31) to create interest and appeal.

Vehicle parking is provided by a large parking lot to the northwest of the structures. Access is provided to these structures from Notre Dame Boulevard for vehicles, and pedestrians, who would enter from the sidewalk via pathways through the lot. Condition #7 would require the proposed parking lot to be set back at least 28 feet from the street, as required by the Small Single-Story Shopfront building type. As conditioned, the lot meets the City's parking requirements. Four new bicycle parking spaces would be provided on parking lot islands. The proposed buildings meet DG 3.1.24 by using the buildings to screen parking areas from street views.

Landscaping

The landscape plan mostly calls for native shrubs and trees, which are intended to complement the existing aesthetics natural to Northern California (see **Attachment D4**, Landscape Plan). The species would have low water demands and would be aesthetically appropriate. The parking lot shade requirement would also be met.

Climbing Gym Building

The proposed structure is a large, spacious building designed to accommodate specialist recreation for indoor rock climbing as well as related uses including a cafe. New landscaping, lighting and bicycle parking are all proposed (**Attachment E1**, Site Plans).

Building Type

The building type for the proposed project is Large Mixed-Use Building. Designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors also used for those uses or for dwelling units, the Large Mixed-Use Building is appropriate for this very unusual space.

Frontage Type

The proposal utilizes the Shopfront frontage type. This frontage type is appropriate for the use and requires substantial glazing at the sidewalk level. Consistent with this frontage type, the proposed building is aligned close to walkable areas at several points, with building entrances at sidewalk grade and extensively glazed front and formal side entrance elevations.

Architecture

The building is tall and cavernous resembling an airplane hangar (see **Attachment E2**, Exterior Elevations and **Attachment E3**, Renderings). Substantial glazing on the first floor elevations on both active sides of the building will bathe the interior in natural light, providing appropriate conditions for the proposed interior uses.

The entrances continue the theme, with two distinctly-accented boxy masses protruding from the primary structure. Condition #6 requires that the entryway masses be installed as indicated on the renderings. There are several awnings reaching out over the entrances and providing pops of color and interest to the streetscape. The proposed structure is a maximum of 46 feet in height, but is only two stories at the largest portion. Most of the second story is open to below, but there are a small number of rooms and catwalks available. A portion of the structure, toward the rear, is only one story in height. The building's proposed interior space features a variety of programmed interior space, and it is likely that a variety of different users will be in this structure.

The proposed structure meets City of Chico Design Guidelines (DGs) in a variety of ways. While the proposed building's main entrance is not a dominant element, challenging DG 5.1.11, the striking side arch does create a recognizable sense of place, in line with Design Objective 5.2.1 and DG 1.2.32. The proposed structure also uses that distinctive area to define a pedestrian gathering area with the architectural element of the orange arch (DG 5.1.32). The structure also has varied surface materials (DG 3.2.31) and screens parking areas from street views (DG 3.1.24) in line with its other secondary uses.

The parking area meets the City's parking requirements. Eight new bicycle parking spaces would be provided. A trash enclosure is proposed to the northeast of the structure.

Landscaping

The landscape plan mostly calls for native shrubs and trees, which are intended to complement the existing aesthetics natural to Northern California. The species would have low water demands and would be aesthetically appropriate. The parking lot shade requirement would also be met.

DISCUSSION

The proposed architecture is consistent with the overall theme of Meriam Park. The projects proposed as a part of this district are all bold additions to the landscape and appropriate for the gateway location in which they will sit. The Tank District's architecture is eclectic and interesting, and these structures will complement the existing buildings in the district, including the large multifamily residential structures that wrap the eponymous water tank. The site is served by both commercial services and shared parking amenities, and the proposed projects would add to that.

The proposal is consistent with General Plan goals and policies that encourage architectural designs that exhibit timeless character and create a culturally relevant sense of place (CD-3.1 and CD-4.1.3). The proposed design promotes pedestrian and bicycle access by directly engaging the public sidewalk, providing safe bike parking, and situating parking toward the side and rear of the site, consistent with policies CD-3.2 and CD-3.3. The native, drought tolerant species selections for the proposed landscaping are consistent with sustainability policies that promote water conservation and energy efficiency (SUS-4.2).

REQUIRED FINDINGS FOR APPROVAL

Environmental Review

The project falls within the scope of the Environmental Impact Report (EIR) for the Meriam Park Master Plan, which was certified by the City Council on June 19, 2007. The EIR included several mitigation measures that apply to the proposed development, which are provided as **Attachment F**, and referenced in the recommended conditions of approval.

Pursuant to Section 15162 of the California Environmental Quality Act, no subsequent environmental review is necessary, as there have been no substantial changes to the project which would require revisions of the EIR, no substantial changes have occurred with respect to the circumstances under which the project is being undertaken which would require major revisions of the EIR, and no new information has become available which was not known and could not have been known at the time the EIR was completed.

1. *The proposed development is consistent with the General Plan, any applicable specific plan, and any applicable neighborhood or area plans.*

The proposal is consistent with several General Plan goals and policies, including those that encourage architectural designs that create a culturally relevant sense of place, and promote pedestrian-oriented development (CD-3.1, CD-4.1.3, CD-3.2 and CD-3.3). Further, the native, drought tolerant species selections for the proposed landscaping are consistent with sustainability policies that promote water conservation and energy efficiency (SUS-4.2). The proposals are also consistent with the Meriam Park Master Plan.

2. *The proposed development, including the character, scale, and quality of design are consistent with the purpose/intent of this chapter and any adopted design guidelines.*

Each individual structure proposed in the Tank District is consistent with the City's design guidelines in a variety of ways, as discussed above. Though some of them may be challenged in some respects, in all cases they represent the quality of design that has come to characterize Meriam Park, and the aspects of the proposed development are all consistent with the intent of the Guidelines.

3. *The architectural design of structures, including all elevations, materials and colors are visually compatible with surrounding development. Design elements, including screening of equipment, exterior lighting, signs, and awnings, have been incorporated into the project to further ensure its compatibility with the character and uses of adjacent development.*

The design, materials and colors of the proposed new buildings are consistent with existing development and anticipated to be visually compatible with future surrounding development in the Neighborhood Center and CORE designation for this area of Meriam Park. Further, approval of these three proposals as a district ensures internal compatibility with character and uses. Exterior equipment will be properly screened from view.

4. *The location and configuration of structures are compatible with their sites and with surrounding sites and structures, and do not unnecessarily block views from other structures or dominate their surroundings.*

As discussed above, the structures will be architecturally intriguing. They will be compatible with their site particularly due to their simultaneous approval as a district, and while the Climbing Gym structure will be very large, it is designed purposefully as a dominant element near the middle of the Market Street Neighborhood Center and will create a sense of place.

5. *The general landscape design, including the color, location, size, texture, type, and coverage of plant materials, and provisions for irrigation and maintenance, and protection of landscape elements, have been considered to ensure visual relief, to complement structures, and to provide an attractive environment.*

The proposed landscaping will provide a variety of seasonal color, while minimizing

irrigation demands. The proposed landscaping offers native plant varieties that are carefully located to ensure visual relief and provide an attractive environment around the new building.

RECOMMENDED CONDITIONS OF APPROVAL

1. The front page of all approved building plans shall note in bold type face that the project shall comply with Architectural Review 20-02 (Thrive District). No building permits related to this approval shall receive final approval without prior authorization of Community Development Department Planning staff.
2. All development shall comply with all other State and local Code provisions, including those of the City of Chico Community Development and Public Works Departments. The permittee is responsible for contacting these offices to verify the need for compliance.
3. All wall-mounted utilities and roof or wall penetrations, including vent stacks, utility boxes, exhaust vents, gas meters and similar equipment, shall be screened by appropriate materials and colors. Adequate screening shall be verified by Planning staff prior to issuance of a certificate of occupancy.
4. All new electric, telephone, and other wiring conduits for utilities shall be placed underground in compliance with CMC 19.60.120.
5. The applicant shall comply with all applicable mitigation measures from the Meriam Park Environmental Impact Report and Mitigation Monitoring Program. These include, but are not limited to AES-1, AIR-1a, AIR-1b, AIR-1c, AIR-1d, AIR-2, BIO-8, CUL-2a, CUL-2b, CUL-3, CUL-4, HYDRO-3, and UTIL-1b which are incorporated herein by reference.
6. The design of the Climbing Gym building shall be as shown on the colored renderings of the project, and any deviation from that design shall be subject to review and approval by Planning Staff, or in the case of major changes the ARHPB.
7. Parking areas on Lots A28 and A29 shall be set back at least 28 feet from the public right-of-way, and areas proposed for parking on the site plan that do not meet that requirement shall be thoroughly landscaped in keeping with the landscape plan as proposed.
8. The applicant shall defend, indemnify, and hold harmless the City of Chico, its boards and commissions, officers and employees against and from any and all liabilities, demands, claims, actions or proceedings and costs and expenses incidental thereto (including costs of defense, settlement and reasonable attorney's fees), which any or all of them may suffer, incur, be responsible for or pay out as a result of or in connection with any challenge to or claim regarding the legality, validity, processing or adequacy associated with: (i) this requested entitlement; (ii) the proceedings undertaken in connection with the adoption or approval of this entitlement; (iii) any subsequent approvals or permits relating to this entitlement; (iv) the processing of occupancy permits and (v) any amendments to the approvals for this entitlement. The City of Chico shall promptly notify the applicant of any claim, action or proceeding which may be filed

and shall cooperate fully in the defense, as provided for in Government code section 66474.9.

PUBLIC CONTACT

A 10-day public hearing notice was mailed to all landowners and residents within 500 feet of the site, a legal notice was published in the *Chico Enterprise Record* and a notice was posted on the project site at least 10 days prior to this ARHPB meeting. As of the date of this report no comments have been received in response to the public notice.

DISTRIBUTION

Internal

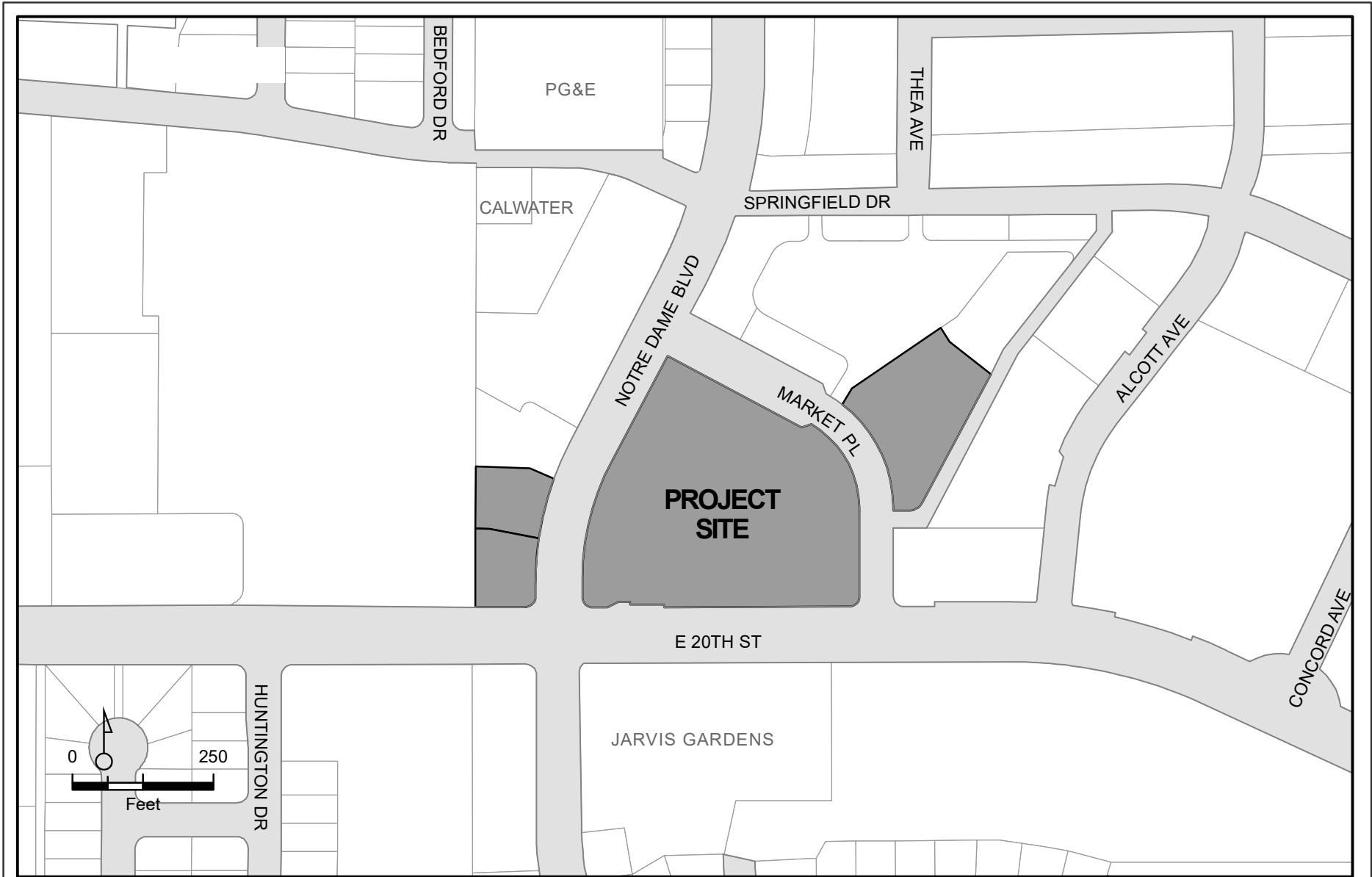
Mike Sawley, Senior Planner
Dexter O'Connell, Associate Planner
File: AR 20-01

External

Kevin Easterling, RGA. kevin@rgachico.com
Dan Gonzales, P.O. Box 6744, Chico, CA 95927

ATTACHMENTS

- A. Location Map
- B. Overall Site Plan
- C. Market Building Plans
 - 1. Site Plan
 - 2. Exterior Elevations
 - 3. Renderings
 - 4. Landscape Plan
 - 5. Floor Plans
- D. A28 and A29 Building Plans
 - 1. Site Plan
 - 2. Exterior Elevations
 - 3. Renderings
 - 4. Landscape Plan
- E. Climbing Gym Plans
 - 1. Site Plan
 - 2. Exterior Elevations
 - 3. Renderings
 - 4. Floor Plans
- F. Mitigation Measures



AR 20-01 (Tank District) - Lots A9, A13, A28, 29 of Meriam Park Subdivision
Notre Dame Boulevard and Market Place
APNs 002-690-(001, 002)-000 and 002-710-(059, 060)-000



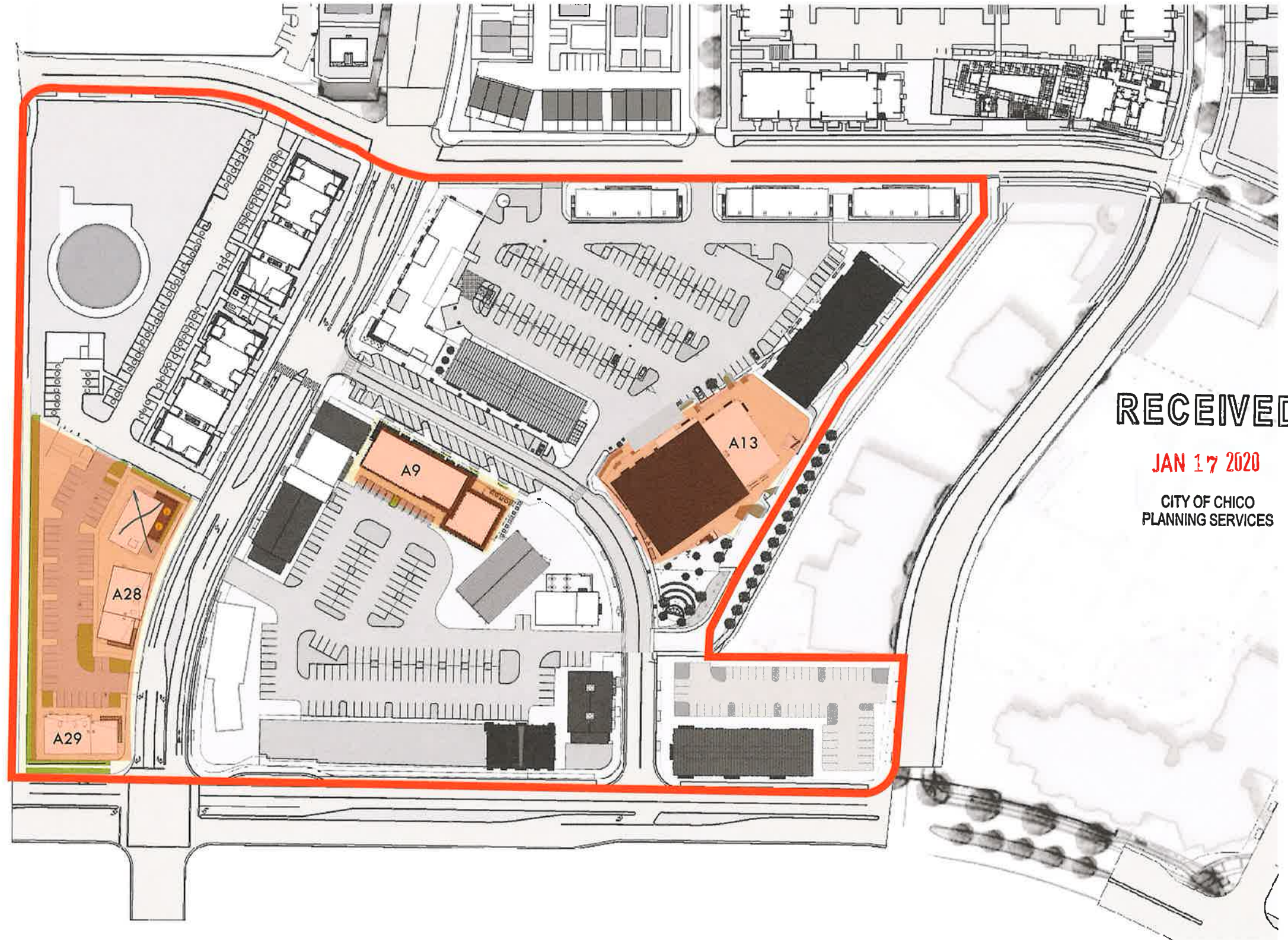
Tank District

MERIAM PARK - CHICO CA

Gonzales Dev Co



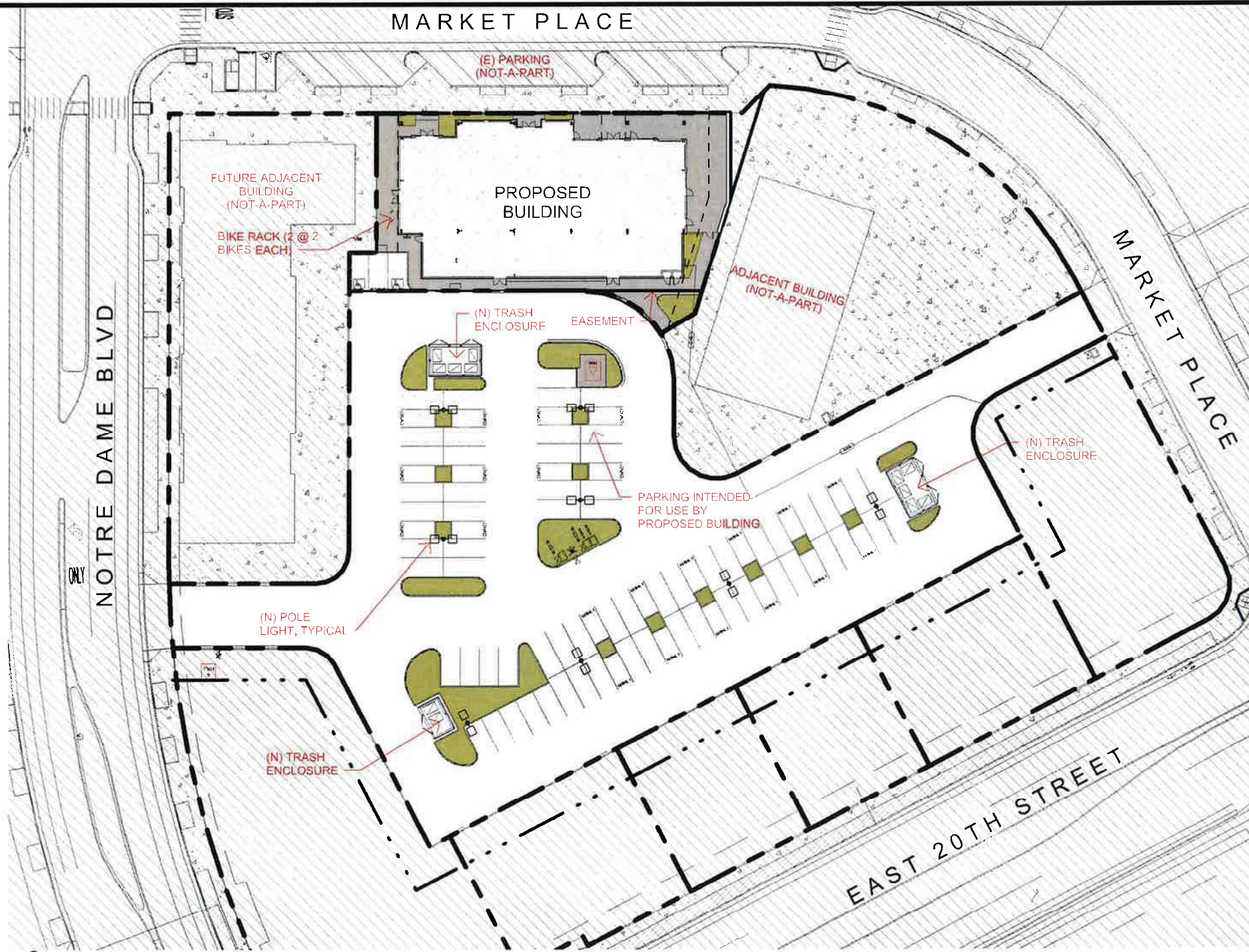
- A9
- A13
- A28
- A29



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ARHPB OVERALL SITE PLAN

SCALE: 1" = 60'-0"



SITE COVERAGE SUMMARY	
GROSS SITE AREA:	14,207 SF = 0.33 ACRES
BUILDING COVERAGE:	9,002 SF / 14,207 SF = 63.0%
LANDSCAPE COVERAGE:	256 SF / 14,207 SF = 0.02%
PARKING SUMMARY	
ZONING:	TND
DESIGNATION:	CORE
BUILDING TYPE:	SMALL SINGLE-STORY SHOPFRONT BUILDING
BUILDING AREA:	9,002 SF
REQUIRED VEHICLE PARKING:	
CORE Parking Factor: (per TND table 6-36)	
= 1.6/1,000 SF	
= 15 Required	
PROVIDED VEHICLE PARKING:	
9 STANDARD SPACES	
4 COMPACT SPACES	
1 STANDARD ACCESSIBLE	
1 VAN ACCESSIBLE	
= 15 Provided	
BICYCLE PARKING:	
20% of Required Vehicle Spaces	
= 3 Required	
= 4 Provided	
(signage not a part of this proposal)	

SITE LEGEND	
	PROPERTY LINE
	EASEMENT
	SETBACK
	PROPOSED LANDSCAPE AREA (SEE LANDSCAPE DRAWINGS)
	PROPOSED BUILDING FOOTPRINT AND ASSOCIATED PARKING
	PROPOSED ON-SITE HARDSCAPE
	NOT-A-PART OF PROJECT SCOPE
	POLE MOUNTED LIGHT, +14'-6"
	ELECTRICAL TRANSFORMER

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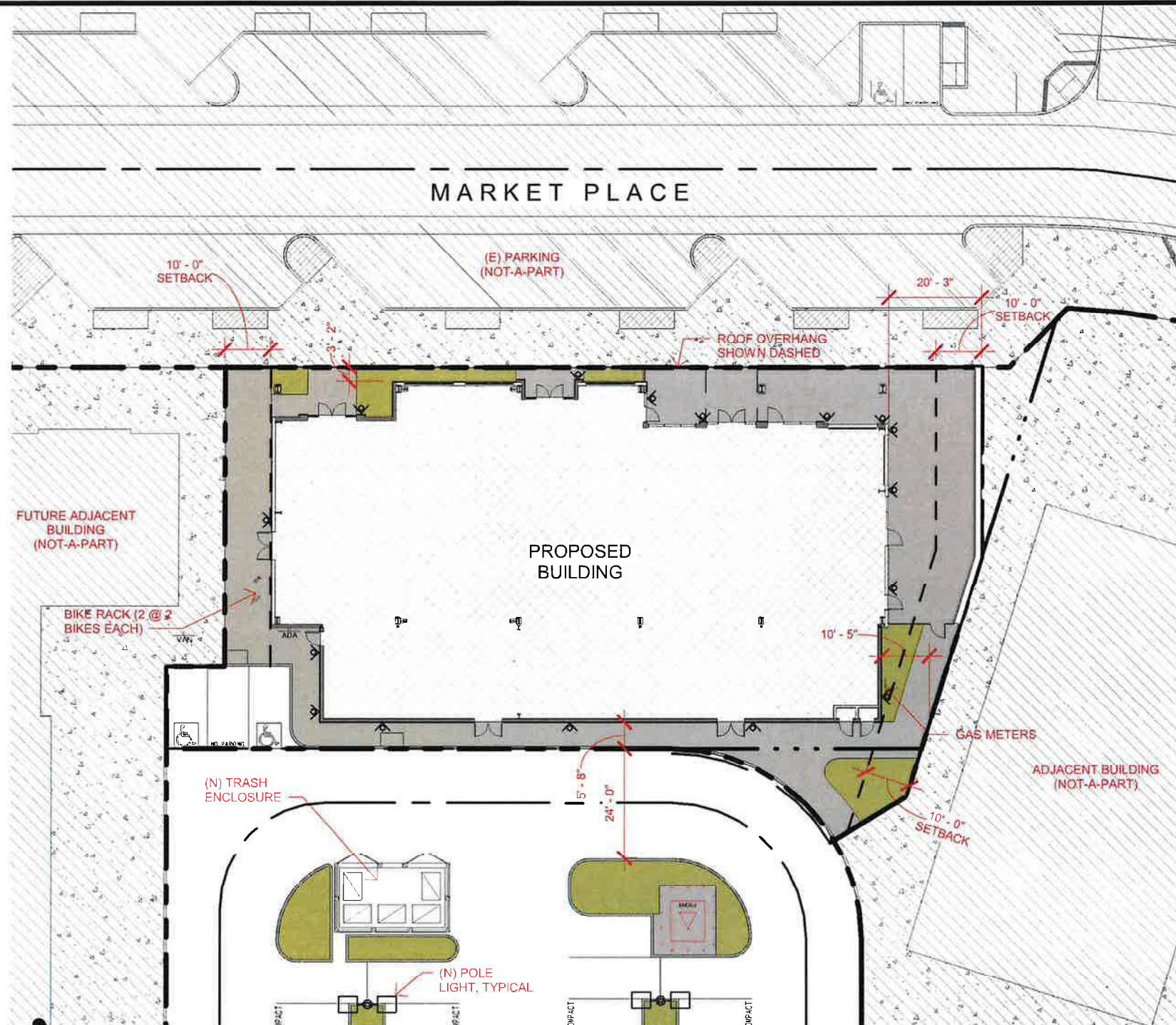
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THE MARKET BUILDING

for TANK DISTRICT, LLC.
 MARKET PLACE, LOT A9 - THE TANK DISTRICT
 MERIAM PARK - CHICO, CA 95928

Date Issued:	01-03-20
NS Project No.	19-152
Sheet:	OVERALL SITE PLAN
of	A-1.1



ARHPB ENLARGED SITE PLAN

SCALE: 1" = 30'-0"



SITE LEGEND	
	PROPERTY LINE
	RIGHT OF WAY CENTERLINE
	EASEMENT
	SETBACK
	PROPOSED LANDSCAPE AREA (SEE LANDSCAPE DRAWINGS)
	PROPOSED BUILDING FOOTPRINT AND ASSOCIATED PARKING
	PROPOSED ON-SITE HARDSCAPE
	NOT-A-PART OF PROJECT SCOPE
	POLE MOUNTED LIGHT, +14'-6"
	WALL MOUNTED LIGHT FIXTURE, @ +11'-0" TO CENTER OF ELECTRICAL BOX, SEE ELECTRICAL DRAWINGS
	ELECTRICAL TRANSFORMER

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THE MARKET BUILDING

for TANK DISTRICT, LLC.

MARKET PLACE, LOT A9 - THE TANK DISTRICT
MERIAM PARK - CHICO, CA 95928

Date Issued: 01-03-20

NS Project No. 19-152

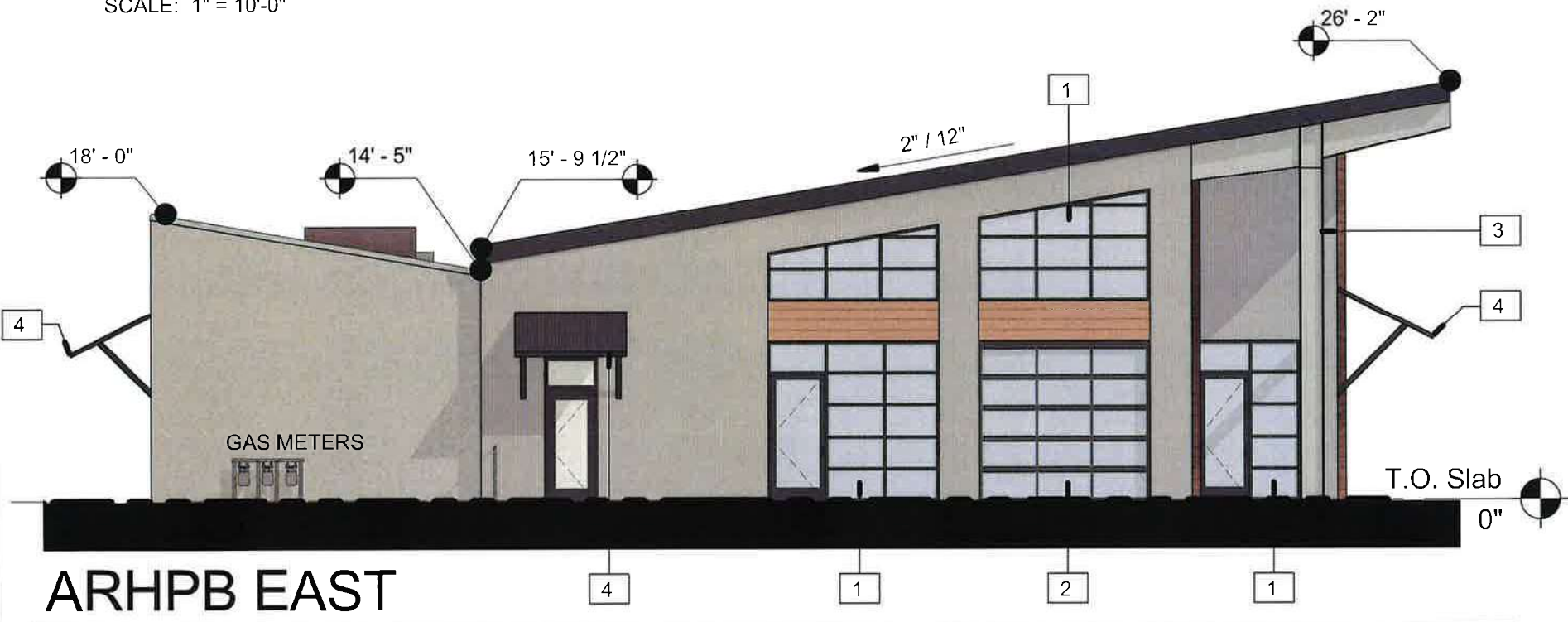
Sheet: ENLARGED SITE PLAN

of **A-1.2**



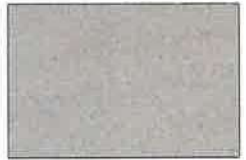
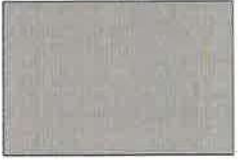


ARHPB NORTH

SCALE: 1" = 10'-0"



ARHPB EAST

SCALE: 1" = 10'-0"

	CEMENT PLASTER - SEE SHEET A-4.1		CORRUGATED INSULATED METAL WALL PANELS - SEE SHEET A-4.1
	WOOD SIDING - SEE SHEET A-4.1		STANDING SEAM INSULATED METAL ROOF PANELS - SEE SHEET A-4.1

KEYNOTES	
1	STOREFRONT SYSTEM
2	OVERHEAD SECTIONAL DOOR
3	PEMB RIGID FRAME - SEE METAL BUILDING DRAWINGS (COLUMNS TO BE PAINTED TO MATCH CEMENT GRAY)
4	CORRUGATED METAL AWNING - COLOR TO MATCH STOREFRONT



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THE MARKET BUILDING

for TANK DISTRICT, LLC.

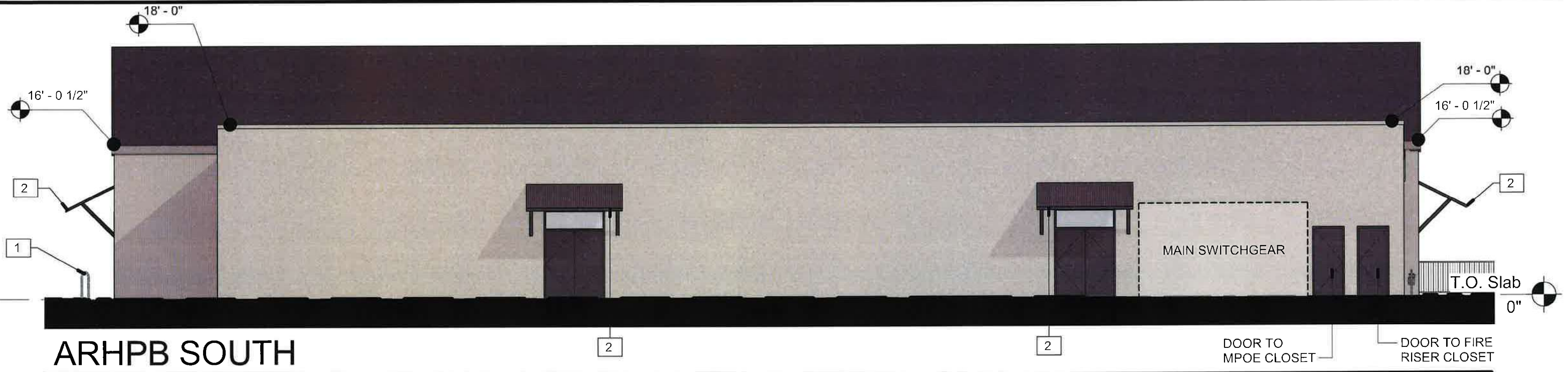
MARKET PLACE, LOT A9 - THE TANK DISTRICT
MERIAM PARK - CHICO, CA 95928

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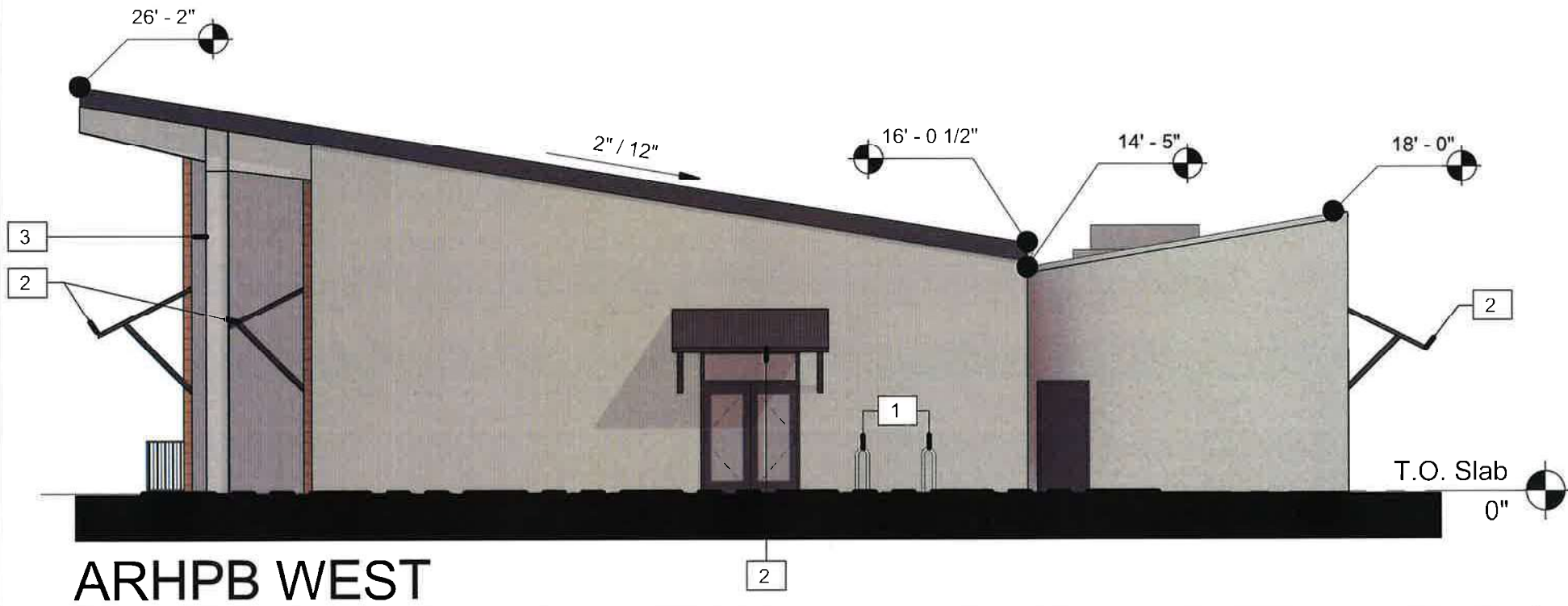
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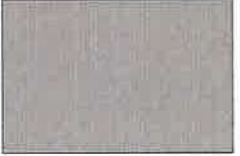


Date Issued:	01-03-20
NS Project No.	19-152
Sheet:	EXTERIOR ELEVATIONS
of	A-3.1



SCALE: 1" = 10'-0"



SCALE: 1" = 10'-0"

	CEMENT PLASTER - SEE SHEET A-4.1		CORRUGATED INSULATED METAL WALL PANELS - SEE SHEET A-4.1
	WOOD SIDING - SEE SHEET A-4.1		STANDING SEAM INSULATED METAL ROOF PANELS - SEE SHEET A-4.1

KEYNOTES	
1	BICYCLE PARKING (2 RACKS @ 2 BIKES EACH) - SEE CIVIL DRAWINGS
2	CORRUGATED METAL AWNING - COLOR TO MATCH STOREFRONT
3	PEMB RIGID FRAME - SEE METAL BUILDING DRAWINGS (COLUMNS TO BE PAINTED TO MATCH CEMENT GRAY)

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THE MARKET BUILDING

for TANK DISTRICT, LLC.

MARKET PLACE, LOT A9 - THE TANK DISTRICT
MERIAM PARK - CHICO, CA 95928

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Date Issued: 01-03-20

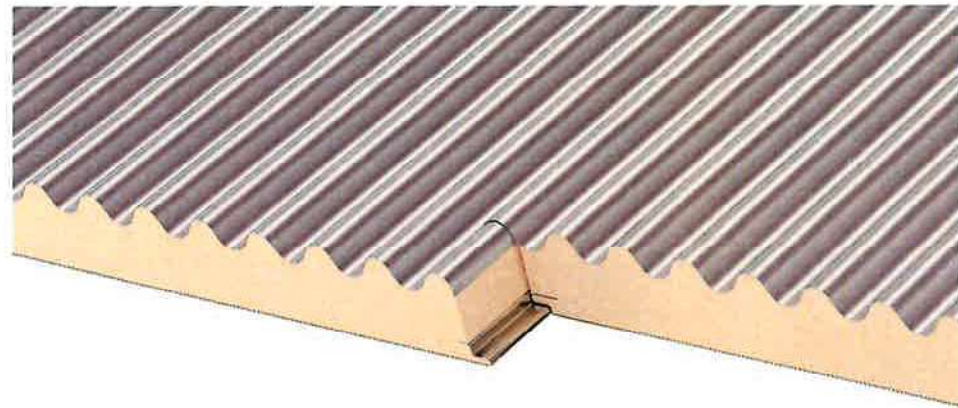
NS Project No. 19-152

Sheet: EXTERIOR ELEVATIONS

of **A-3.2**



CEMENT PLASTER:
Finish: Fine
Color: Cement Gray



CORRUGATED INSULATED METAL WALL PANEL:
Color/Finish: Galvalume



RECLAIMED WOOD SIDING



STANDING SEAM INSULATED METAL ROOF PANEL:
Color: Matte Black, or Eq.

(All Fascia, Roof Purlins, Gutter, Downspouts shall be painted to match Standing Seam Roofing)

STOREFRONT:
Material: Aluminum
Color: Black



POLE MOUNTED LIGHT:
Leotek AR 18 (10M2 LED), or Eq.



WALL MOUNTED LIGHT:
Lithonia D Series Size 1 (DSXW1 LED), or Eq.



BICYCLE RACK:
City Standard U-rack, or Eq.
Material: Steel
Color: Black



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THE MARKET BUILDING

for TANK DISTRICT, LLC.
MARKET PLACE, LOT A9 - THE TANK DISTRICT
MERIAM PARK - CHICO, CA 95928

Date Issued: 01-03-20
NS Project No. 19-152
Sheet: DIGITAL MATERIAL BOARD
of **A-4.1**



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for TANK DISTRICT, LLC.
 MARKET PLACE, LOT A9 - THE TANK DISTRICT
 MERIAM PARK - CHICO, CA 95928

Date Issued: 01-03-20

NS Project No. 19-152

Sheet: BUILDING PERSPECTIVE

of **A-6.1**



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THE MARKET BUILDING

for TANK DISTRICT, LLC.
MARKET PLACE, LOT A9 - THE TANK DISTRICT
MERIAM PARK - CHICO, CA 95928

Date Issued: 01-03-20

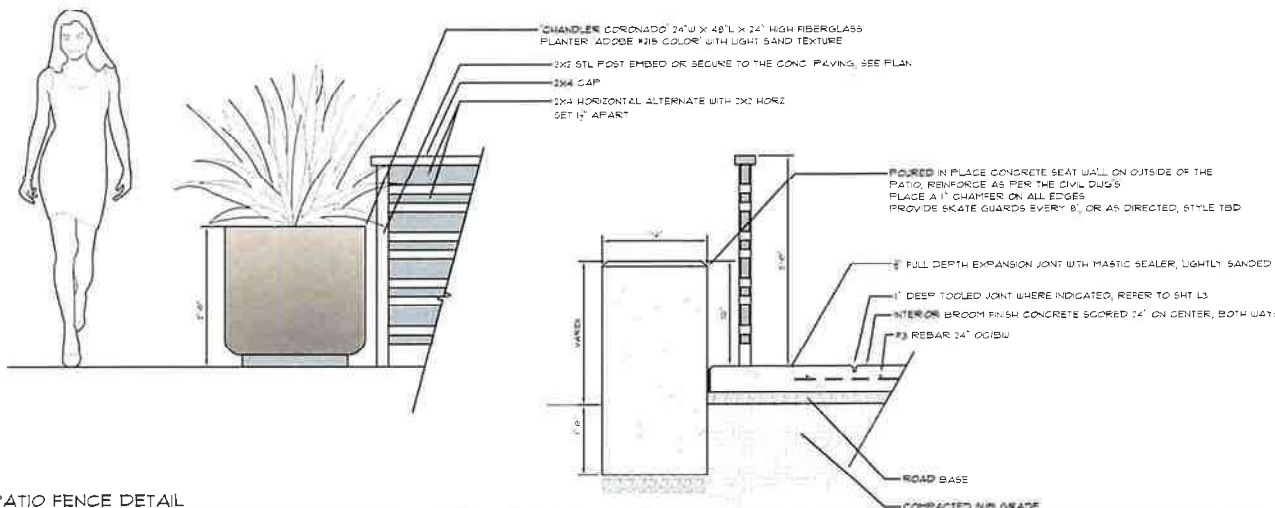
NS Project No. 19-152

Sheet: BUILDING PERSPECTIVE

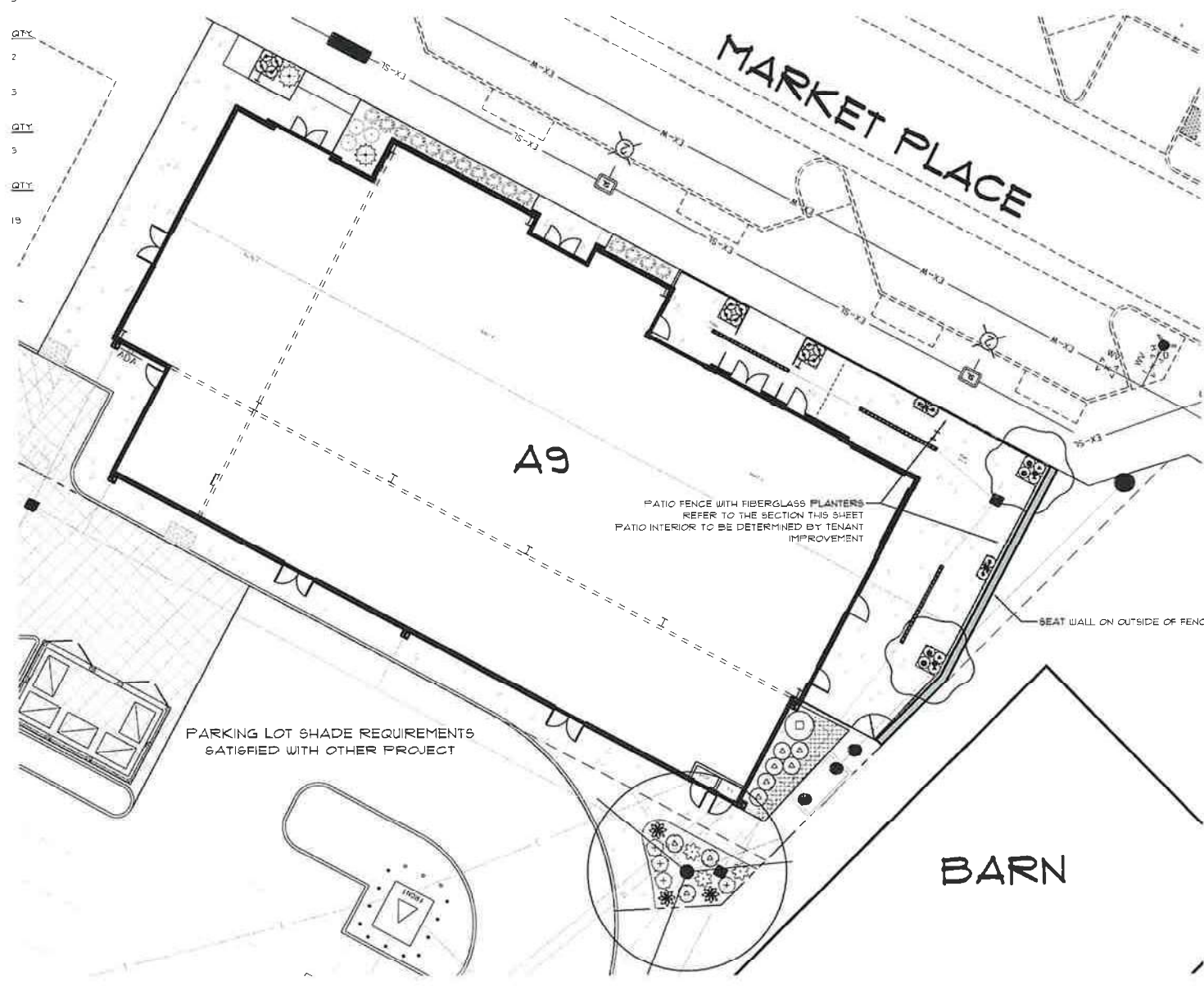
of **A-6.2**

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	24"		3	
	OLEA EUROPAEA 'SWAN HILL'™	SWAN HILL OLIVE	24"	MULTI-STEM	2	
	QUERCUS RUBRA	RED OAK	15 GAL		1	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
	AZALEA KURUME HYBRID 'SNOW'	SNOW KURUME AZALEA	5 GAL		6	
	CAUBRACHOA X 'CANARY YELLOW'	ALOHA CANARY YELLOW CALBRACHOA	1 GAL		12	
	CAMELLIA SASANQUA 'APPLE BLOSSOM'	APPLE BLOSSOM CAMELLIA	5 GAL		1	
	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	1 GAL		8	
	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL		3	
	LANTANA MONTEVIDENSIS 'PURPLE'	TRAILING LANTANA	1 GAL		4	
	PHORMIUM TENAX 'BRONZE BABY'	BRONZE BABY NEW ZEALAND FLAX	5 GAL		2	
	TEUCRIUM X LUCIDRY'S PROSTRATUM	GERMANDER	1 GAL		4	
GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
	FESTUCA IDAHOENSIS 'SISKIYOU BLUE'	SISKIYOU BLUE FESCUE	1 GAL		15	
	MUHLENBERGIA RIGIDA 'NASHVILLE'™	PURPLE MUHLY	5 GAL		3	
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
	DIETES VEGETA	AFRICAN IRIS	1 GAL		2	
	LAVANDULA STOECHAS 'OTTO QUAST'	SPANISH LAVENDER	1 GAL		3	
SUCCULENTS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
	AGAVE PARRYI	PARRY'S AGAVE	5 GAL		3	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY
	VINCA MINOR	COMMON PERIWINKLE	1 GAL		24" O.C.	19



PATIO FENCE DETAIL
SCALE: 1"=8"



PLANTING PLAN

FIBERGLASS PLANTERS

Coronado Square Planter

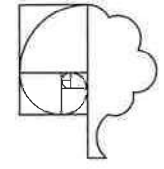
The Chandler Company features many different types of special planters and containers. These include ash urns, trash receptacles, low profile planters, decorative planters and waterproof planter liners.

The Chandler Company prides itself in their ability to deliver the product on time, enabling their customer to perform as promised. The Chandler Company warrants its products, when purchased new, to be free from defects in materials and workmanship under normal use and service for one year from the original date of purchase. Resale or repair of the product of The Chandler Company of defective parts shall be the sole remedy of this warranty.

Coronado				Height
24"	30"	36"	48"	18"
24"	30"	36"	48"	24"
30"	36"	42"	48"	30"
36"	42"	48"	60"	36"
42"	48"	60"	72"	42"

THE CHANDLER COMPANY
2021 South Birch Street
Santa Ana, California 92707

Contact: Bob Alvarado or Ric Woodhull
Phone: (714) 979-4212 Fax: (714) 979-4854
E-mail: bob@chandlercompany.com or ric@chandlercompany.com
Website: www.chandlercompany.com



THOMAS H. PHELPS
LANDSCAPE ARCHITECTURE

California Landscape Architect #4702
P.O. BOX 9328
Chico, CA 95927-8328
(530) 892-8877 fax (530) 892-8599
thphelps@chphelps.net
THPLARC.com

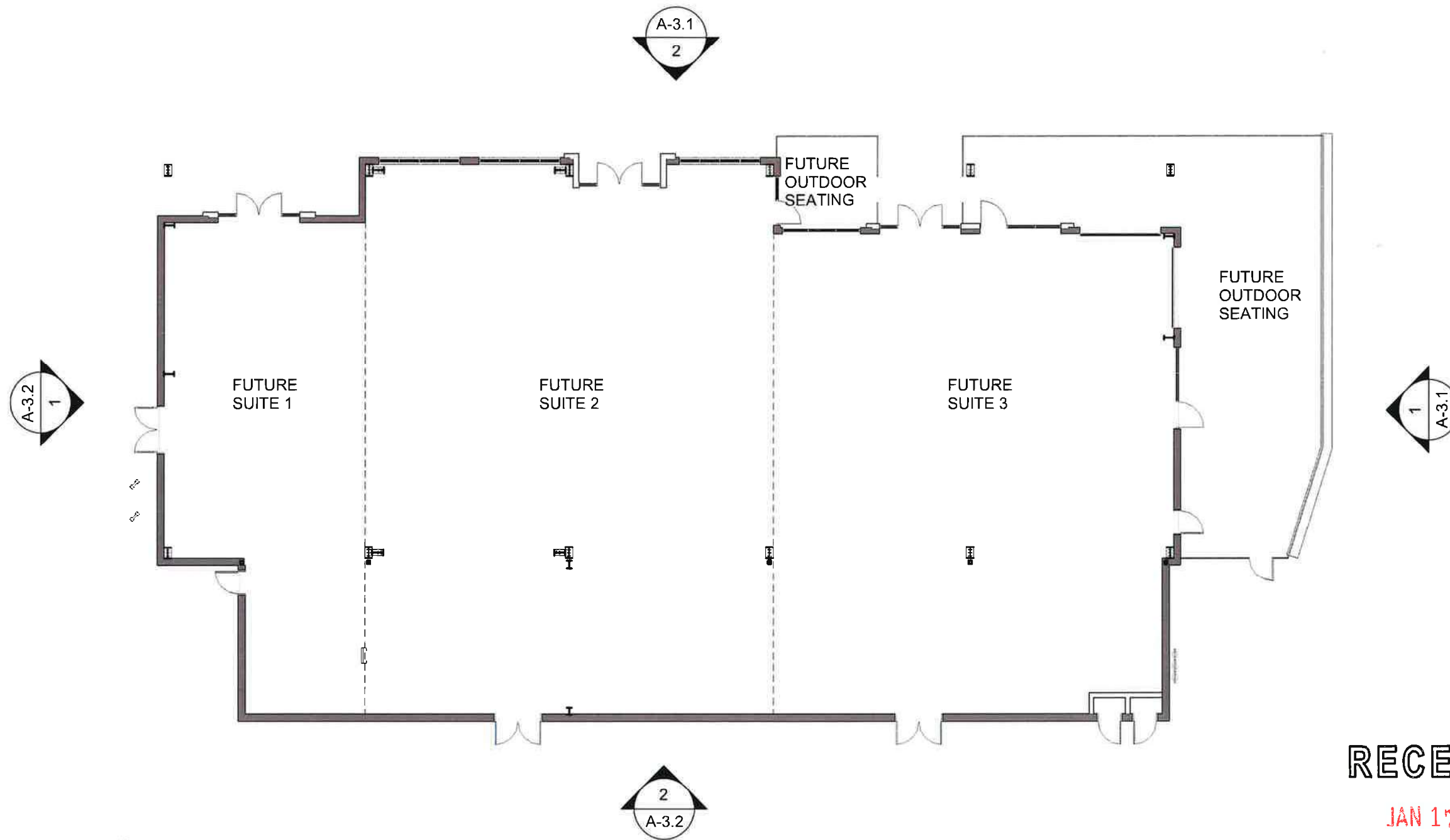
THE MARKET BUILDING
TANK DISTRICT, LLC
MARKET PLACE LOT A9-THE TANK DISTRICT
CHICO, CALIFORNIA

Sheet Title: **PLANTING PLAN**

Scale:

No.	Date	Revision
△		
△		
△		
△		

Project Mgr: THP Sheet No: _____
Drawn By: THP
Scale: 1"=10'
Date: 12.14.19
File Name: _____ of _____ sheets



ARHPB FLOOR PLAN

SCALE: 1/16" = 1'-0"

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THE MARKET BUILDING

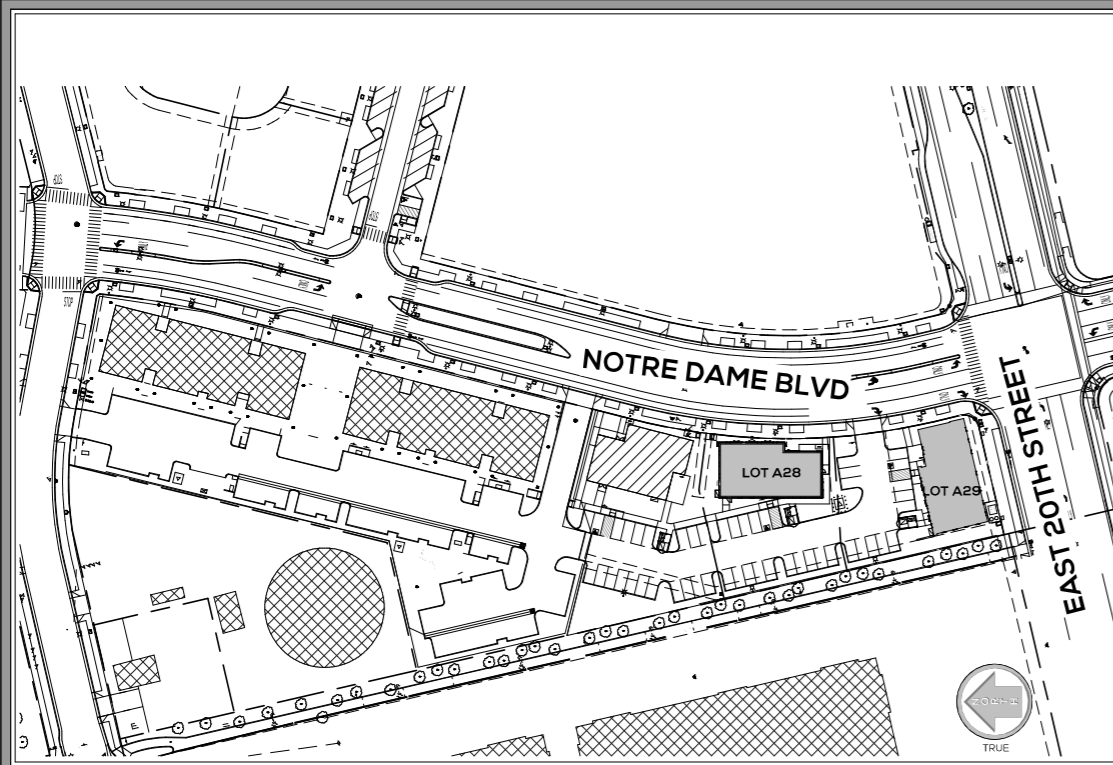
for TANK DISTRICT, LLC.
MARKET PLACE, LOT A9 - THE TANK DISTRICT
MERIAM PARK - CHICO, CA 95928

Date Issued: 01-03-20

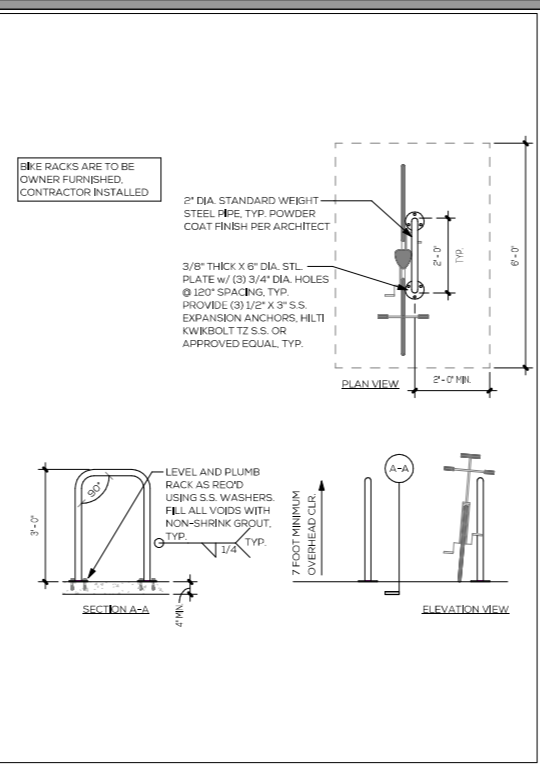
NS Project No. 19-152

Sheet: SCHEMATIC FLOOR PLAN

of **A-2.1**



SS - OVERALL SITE PLAN
SCALE: 1/8" = 1'-0"



KK - BIKE RACKS
SCALE: 1/2" = 1'-0"

SCREENING REQUIREMENTS
ALL WALL-MOUNTED UTILITIES AND ROOF OR WALL PENETRATIONS, INCLUDING VENT STACKS, UTILITY BOXES, EXHAUST VENTS, GAS METERS AND SIMILAR EQUIPMENT, SHALL BE SCREENED BY APPROPRIATE MATERIALS AND COLORS. ADEQUATE SCREENING SHALL BE VERIFIED BY CITY OF CHICO PLANNING STAFF PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

UNDERGROUND REQUIREMENTS
ALL NEW ELECTRIC, TELEPHONE, AND OTHER WIRING CONDUITS FOR UTILITIES SHALL BE PLACED UNDERGROUND IN COMPLIANCE WITH CHICO MUNICIPAL CODE 19.80.120.

SITE CIRCULATION ROUTE NOTES:
SITE CIRCULATION ROUTE, AS INDICATED, IS A COMMON BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEYOND AT 1/2" MAXIMUM SLOPE. EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. THE PATH SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. PASSING SPACES (11B-403.5.3) AT LEAST 60" X 60" ARE LOCATED NOT MORE THAN 200' APART. THE CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL AND IS LESS THAN 5% UNLESS OTHERWISE INDICATED. (P.O.T.) SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (11B-307.4) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (11B-307.2).

PARKING REQUIRED

3,964 SF @ 1.8 SPACE / 1,000 SF GROSS	8 SPACES (CHICO MC TABLE 6-36)
BICYCLE PARKING (20% OF VEHICLE)	2 SPACES (CHICO MC 19.86.070)

VEHICLE PARKING PROVIDED (LOT A28)

FULL SIZE STALL	14 SPACES
COMPACT STALLS	0 SPACES
ACCESSIBLE STALLS	1 SPACES
TOTAL SPACES PROVIDED	15 SPACES

VEHICLE PARKING PROVIDED (LOT A29)

FULL SIZE STALL	12 SPACES
COMPACT STALLS	0 SPACES
ACCESSIBLE STALLS	1 SPACES
TOTAL SPACES PROVIDED	13 SPACES

BICYCLE PARKING PROVIDED

BICYCLE RACK	2 SPACES EACH LOT
--------------	-------------------

TND ZONING SUMMARY

ZONING	TND-NC	(CHICO MC 19.80)
BUILDING TYPE	SMALL SINGLE STORY SHOPFRONT	(CHICO MC 19.86.300)
SHOPFRONT	SHOPFRONT	(CHICO MC 19.84.040)
FRONTAGE TYPE	FRONT	(CHICO MC 19.86.300)
SETBACKS	ZERO TO BACK OF WALK	(CHICO MC 19.86.300)
	SIDE 5 FT MIN	(CHICO MC 19.86.300)
	REAR 5 FT MIN	(CHICO MC 19.86.300)
BUILDING HEIGHT	1 STORY	(CHICO MC 19.86.300)
	35 FT MAX	(CHICO MC 19.86.300)
PARKING	28 FT MIN BEHIND BACK OF WALK	(CHICO MC 19.86.300)
PLANTING	SEE LANDSCAPE DRAWINGS	
INFRASTRUCTURE WALKWAYS	SEE CIVIL DRAWINGS	
	SHALL BE ACCESSIBLE - SEE SITE CIRCULATION ROUTE NOTES	

GENERAL NOTES

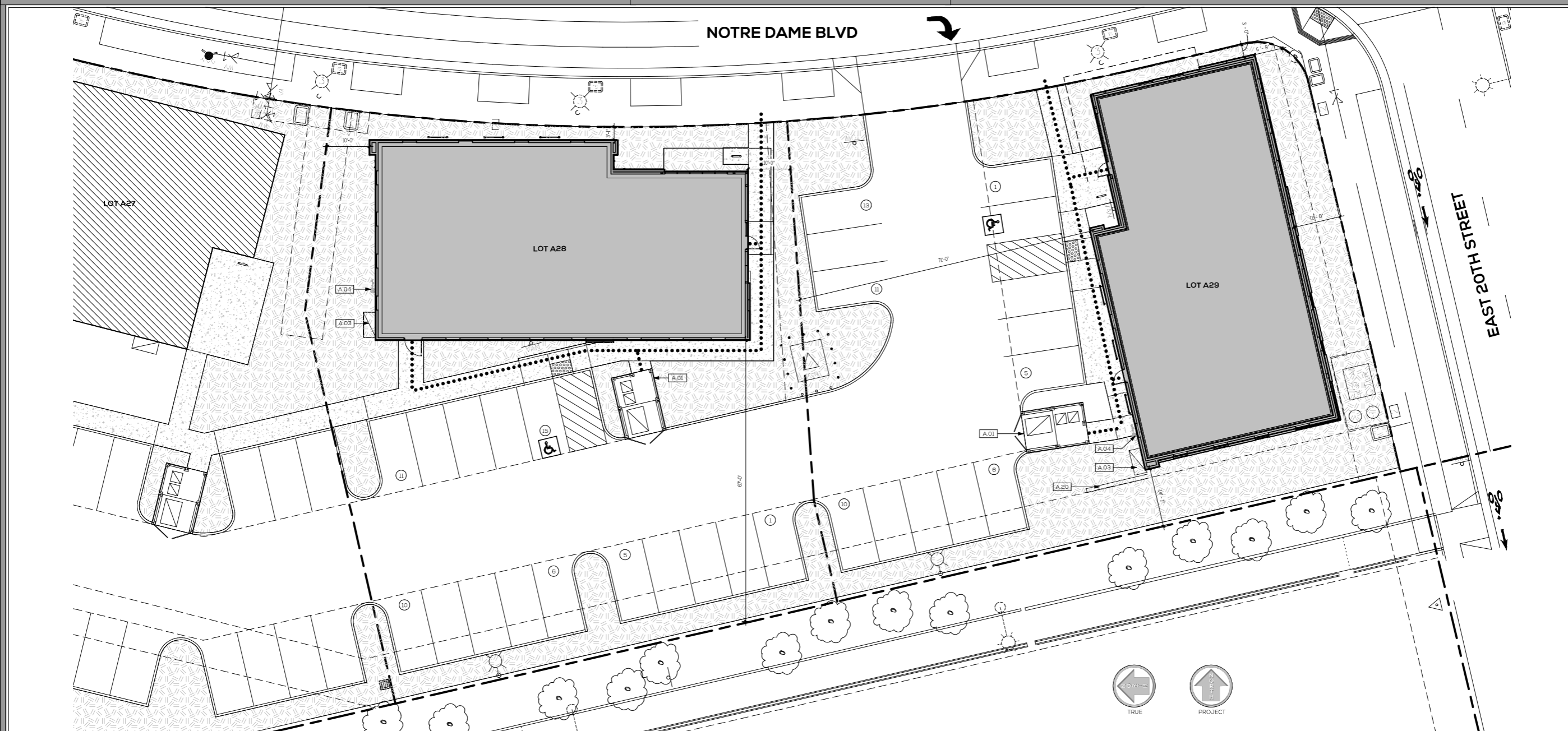
- SEE LANDSCAPE DRAWINGS FOR FENCING, PLANTING, TREE MITIGATION, AND SHADE ANALYSIS
- ACCESSIBLE SITE CIRCULATION ROUTE SHALL COMPLY WITH CIRCULATION ROUTE NOTES

KEYNOTES

A.01	COVERED TRASH ENCLOSURE - SEE CIVIL DWGS
A.03	ELECTRICAL SWITCHGEAR - SEE CIVIL DWGS
A.04	GAS METERS - SEE CIVIL DWGS
A.20	RETAINING WALL - SEE CIVIL DWGS

GG - SITE LEGEND
SCALE: NONE

- SITE CIRCULATION ROUTE
- - - - - ZONING SETBACK
- PROPERTY LINE
- - - - - EASEMENT - SEE CIVIL DWGS
- PROJECT AREA - NEW BUILDING
- FUTURE BUILDINGS - NOT A PART
- EXISTING BUILDINGS - NOT A PART
- LANDSCAPING - SEE LANDSCAPE DWGS
- CONCRETE WALK - SEE CIVIL DWGS
- ACCESSIBLE PARKING SPACE - SEE CIVIL DWGS
- BIKE PARKING - SEE DETAIL (KK ARB1)
- FIRE HYDRANT - SEE CIVIL DWGS



QQ - ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"

rga
architecture + engineering

RUSSELL GALLAWAY ASSOCIATES inc.

115 MEYERS STREET
SUITE 110
CHICO, CA 95928
530 342 0302

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PROJECT
**MASTER PLAN
MP OFFICE
3964**

OWNER
**GONZALES
DEVELOPMENT CO.**



RG4 PROJECT #	19-474
PLAN CHECK #	
DRAWN	SJM
CHECKED	KJE
1ST SUBMITTAL	2019.12.13
END SUBMITTAL	2020.03.16
ARB SUBMITTAL	2020.07.15

**ARCHITECTURAL
SITE PLAN**

ARB1

KEYNOTES	
A.03	ELECTRICAL SWITCHGEAR - SEE CIVIL DWGS
A.04	GAS METERS - SEE CIVIL DWGS
A.05	METAL CANOPY, FINISH PC-1 WITH 1X6 INFILL, FINISH WD-1
A.06	TRELLIS, FINISH PC-1
A.07	METAL PARAPET CAP, FINISH MTL-1
A.09	ALUMINUM SIDING, FINISH WD-2
A.10	CORRUGATED ALUMINUM METAL SIDING, FINISH MTL-2
A.11	STOREFRONT DOOR AND WINDOW SYSTEM, FINISH AL-1 AND GL-1
A.12	STOREFRONT WINDOW, FINISH AL-1 AND GL-1
A.13	ALUMINUM NAIL ON WINDOW, FINISH AL-1 AND GL-1
A.16	EXTERIOR PLASTER SYSTEM, COLOR PL-3
A.18	EXTERIOR PLASTER SYSTEM, COLOR PL-5
A.19	EXTERIOR PLASTER SYSTEM, COLOR PL-6
A.21	ADDRESS SIGNAGE

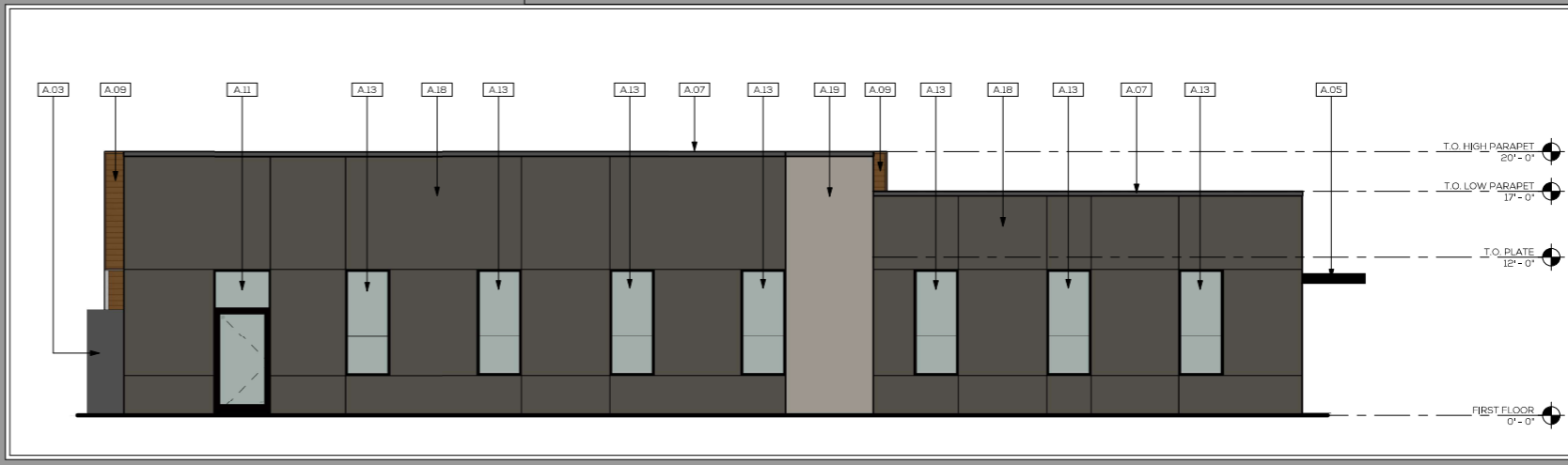
AL-1	STOREFRONT, DARK BRONZE ANODIZED ALUMINUM
GL-1	EXTERIOR GLAZING, CARDINAL GRAY O/LoE2-366(#3)
MTL-1	A28 PARAPET CAP, AEP SPAN VINTAGE
MTL-2	A28 METAL SIDING, CORRUGATED ALUMINUM METAL SIDING, COLOR: AEP SPAN VINTAGE
P-1	A28 PARAPET CAP, PRIME AND PAINT TO MATCH PL-1
PC-1	METAL CANOPY AND TRELLIS, POWDER COAT, TIGER DRYLAC, ANODIZED EFFECT DARK BRONZE, 61/88001
PL-1	A28 EXTERIOR PLASTER, SMOOTH FINISH, OMEGA FLEX FINE ACRYLIC TOP COAT W/ INTEGRAL COLOR: SW 7837 OYSTER WHITE
PL-2	A28 EXTERIOR PLASTER, SMOOTH FINISH, OMEGA FLEX FINE ACRYLIC TOP COAT W/ INTEGRAL COLOR: SW 9170 ACIER
PL-3	A28 EXTERIOR PLASTER, OMEGA DIAMOND WALL 3-COAT W/CRACK ISOLATION, FINISH TRAVERTINE FINE AGGREGATE, TEXTURE: WET GROOVED PLASTER W/ CUSTOM 8' BOARD-FORMED CONCRETE, COLOR: 414 CLOUD COVER
PL-4	A28 EXTERIOR PLASTER, OMEGA DIAMOND WALL 3-COAT W/CRACK ISOLATION, FINISH COLOR TEK SMOOTH COAT, TEXTURE: SANTA BARBARA, COLOR: 414 CLOUD COVER
PL-5	A28 EXTERIOR PLASTER, SMOOTH FINISH, OMEGA FLEX FINE ACRYLIC TOP COAT W/ INTEGRAL COLOR: SW 7048 URBANE BRONZE
PL-6	A28 EXTERIOR PLASTER, SMOOTH FINISH, OMEGA FLEX FINE ACRYLIC TOP COAT W/ INTEGRAL COLOR: SW 9170 ACIER
WD-1	EXTERIOR CANOPY INFILL, LONGBOARD 1X5 PRIVACY SCREEN, LIGHT NATIONAL WALNUT
WD-2	A28 EXTERIOR WOOD SIDING, LONGBOARD, LIGHT NATIONAL WALNUT, 6" WIDTH W/ REVEAL

CC - KEYNOTES & FINISH LEGEND
SCALE: NONE

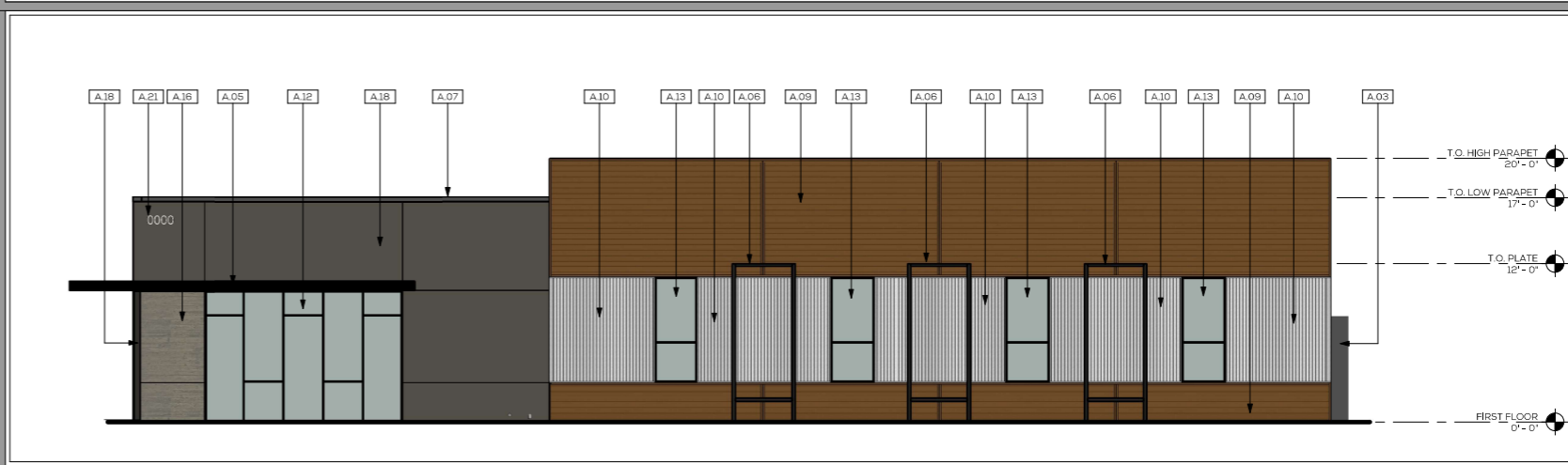
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115 MEYERS STREET SUITE 110 CHICO, CA 95928 530 342 0302
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PROJECT
**MASTER PLAN
MP OFFICE
3964**

OWNER
**GONZALES
DEVELOPMENT CO.**



KK - OPTION A28 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



JJ - OPTION A28 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



MM - OPTION A28 EAST ELEVATION
SCALE: 3/16" = 1'-0"



EE - OPTION A28 WEST ELEVATION
SCALE: 3/16" = 1'-0"



RG4 PROJECT #	19-474
PLAN CHECK #	
DRAWN	SJM
CHECKED	KJE
1ST SUBMITTAL	2019.12.13
END SUBMITTAL	2020.03.16
ARB SUBMITTAL	2020.07.15

**OPTION A28
EXTERIOR
ELEVATIONS
ARB2**

KEYNOTES	
A.03	ELECTRICAL SWITCHGEAR - SEE CIVIL DWGS
A.04	GAS METERS - SEE CIVIL DWGS
A.05	METAL CANOPY, FINISH PC-1 WITH 1X6 INFILL, FINISH WD-1
A.06	TRELLIS, FINISH PC-1
A.08	PARAPET CAP, COLOR P-1
A.11	STOREFRONT DOOR AND WINDOW SYSTEM, FINISH AL-1 AND GL-1
A.13	ALUMINUM NAIL ON WINDOW, FINISH AL-1 AND GL-1
A.14	EXTERIOR PLASTER SYSTEM, COLOR PL-1
A.15	EXTERIOR PLASTER SYSTEM, COLOR PL-2
A.17	EXTERIOR PLASTER SYSTEM, COLOR PL-4
A.21	ADDRESS SIGNAGE

- AL-1 STOREFRONT, DARK BRONZE ANODIZED ALUMINUM
- GL-1 EXTERIOR GLAZING, CARDINAL GRAY O/ L6E2-366(#3)
- MTL-1 A29 PARAPET CAP, AEP SPAN VINTAGE
- MTL-2 A29 METAL SIDING, CORRUGATED ALUMINUM METAL SIDING, COLOR: AEP SPAN VINTAGE
- P-1 A29 PARAPET CAP, PRIME AND PAINT TO MATCH PL-1
- PC-1 METAL CANOPY AND TRELLIS, POWDER COAT, TIGER DRYLAC, ANODIZED EFFECT DARK BRONZE, 61/68001
- PL-1 A29 EXTERIOR PLASTER, SMOOTH FINISH, OMEGA FLEX FINE ACRYLIC TOP COAT W/ INTEGRAL COLOR, SW 7637 OYSTER WHITE
- PL-2 A29 EXTERIOR PLASTER, SMOOTH FINISH, OMEGA FLEX FINE ACRYLIC TOP COAT W/ INTEGRAL COLOR, SW 9170 ACIER
- PL-3 A29 EXTERIOR PLASTER, OMEGA DIAMOND WALL 3-COAT W/CRACK ISOLATION, FINISH TRAVERTINE, FINE AGGREGATE, TEXTURE: WET GROOVED PLASTER W/ CUSTOM 6" BOARD-FORMED CONCRETE, COLOR: 414 CLOUD COVER
- PL-4 A29 EXTERIOR PLASTER, OMEGA DIAMOND WALL 3-COAT W/CRACK ISOLATION, FINISH COLOR TEK SMOOTH COAT, TEXTURE: SANTA BARBARA, COLOR: 414 CLOUD COVER
- PL-5 A29 EXTERIOR PLASTER, SMOOTH FINISH, OMEGA FLEX FINE ACRYLIC TOP COAT W/ INTEGRAL COLOR, SW 704B URBANE BRONZE
- PL-6 A29 EXTERIOR PLASTER, SMOOTH FINISH, OMEGA FLEX FINE ACRYLIC TOP COAT W/ INTEGRAL COLOR, SW 9170 ACIER
- WD-1 EXTERIOR CANOPY INFILL, LONGBOARD 1X5 PRIVACY SCREEN, LIGHT NATIONAL WALNUT
- WD-2 A29 EXTERIOR WOOD SIDING, LONGBOARD, LIGHT NATIONAL WALNUT, 6" WIDTH W/ REVEAL

CC - KEYNOTES & FINISH LEGEND
SCALE: NONE

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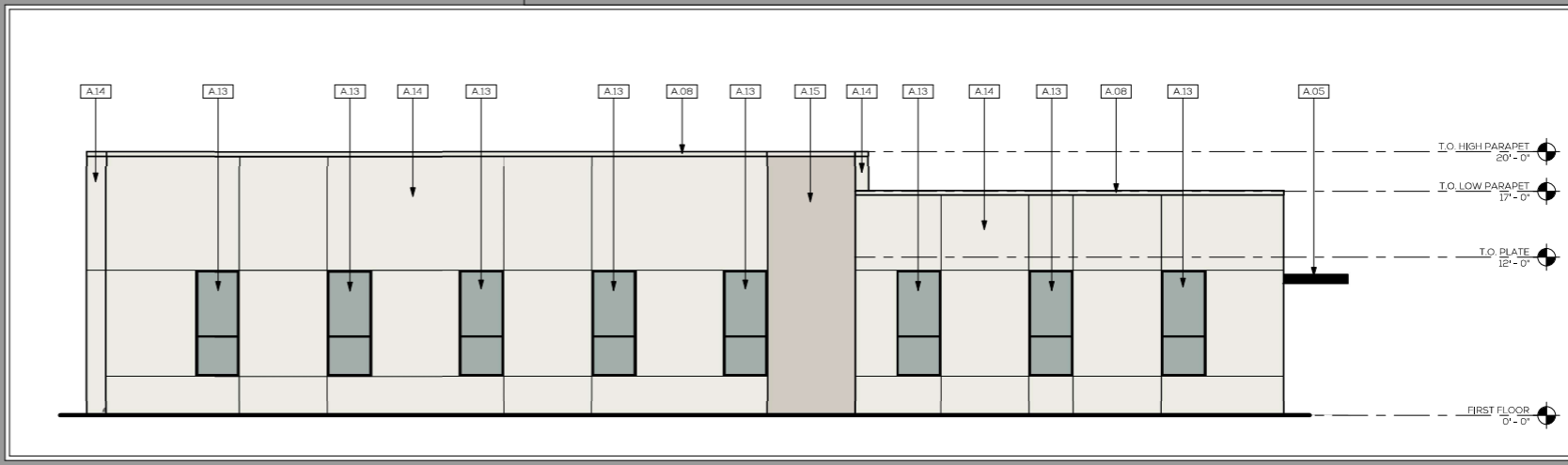
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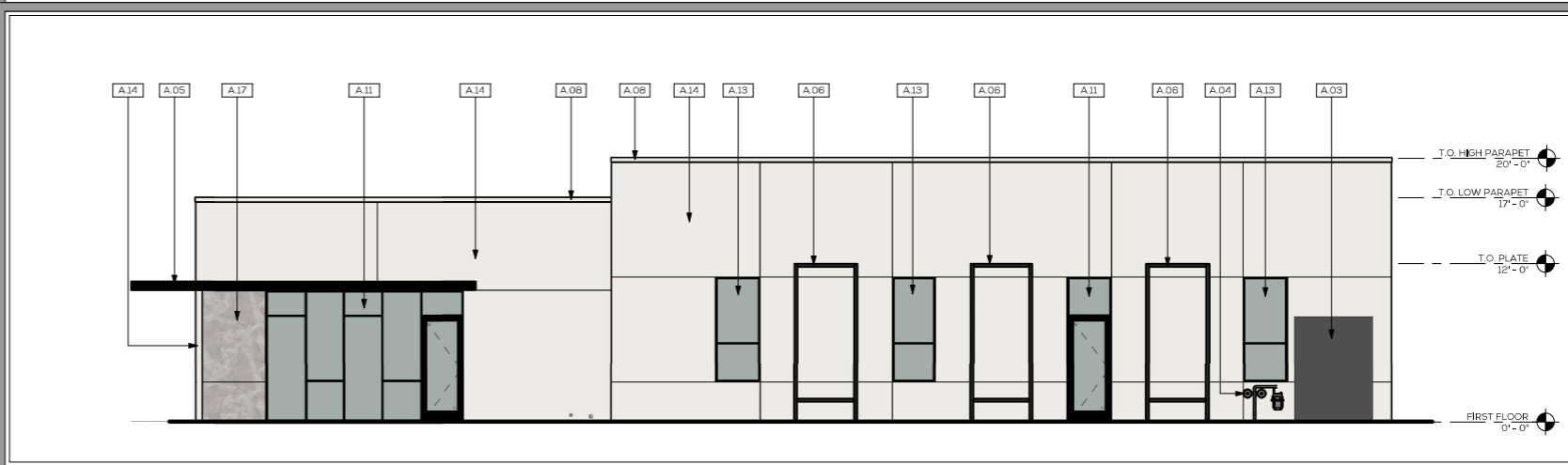
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PROJECT
**MASTER PLAN
MP OFFICE
3964**

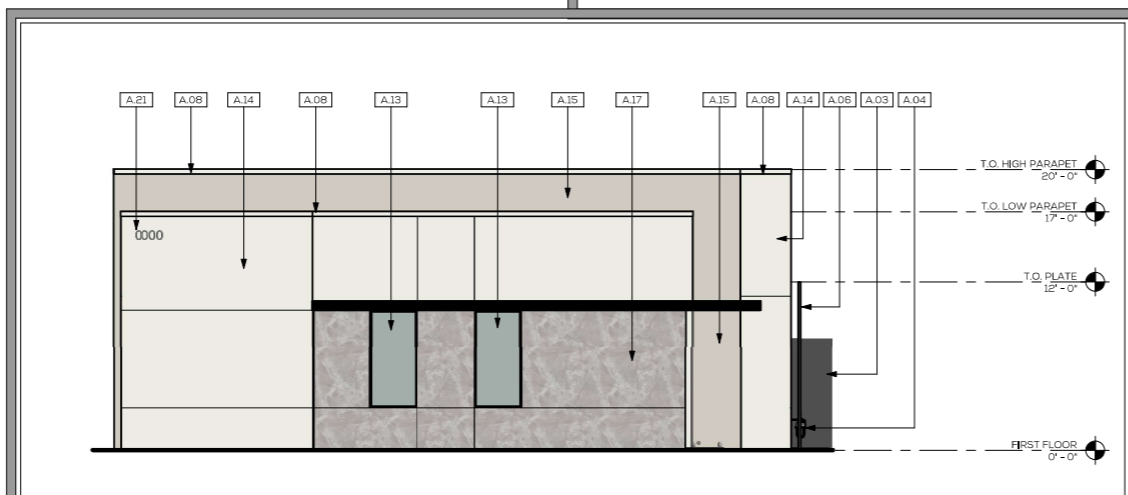
OWNER
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DEVELOPMENT CO.**



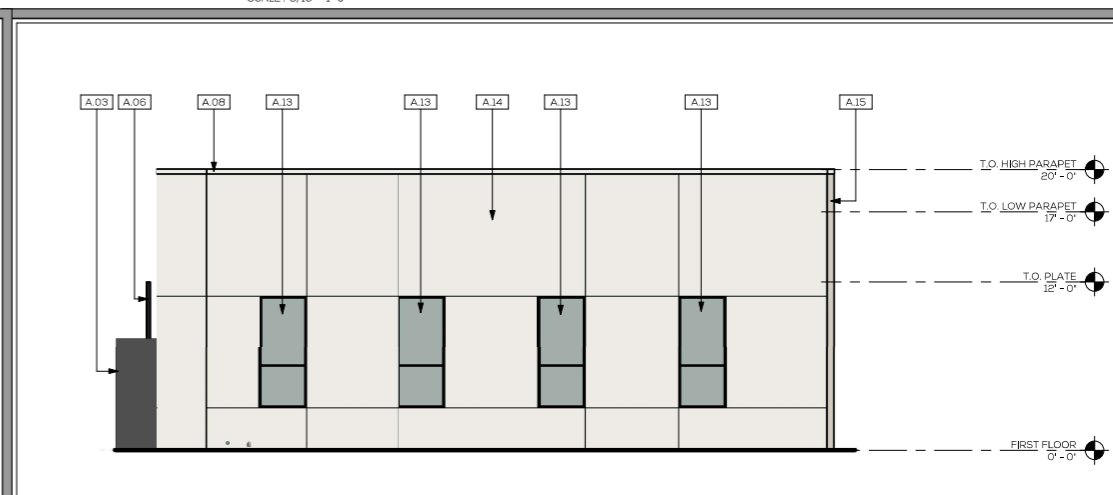
KK - OPTION A29 EAST ELEVATION
SCALE: 3/16" = 1'-0"



JJ - OPTION A29 WEST ELEVATION
SCALE: 3/16" = 1'-0"



MM - OPTION A29 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



EE - OPTION A29 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



RG4 PROJECT #	19-474
PLAN CHECK #	
DRAWN	SJM
CHECKED	KJE
1ST SUBMITTAL	2019.12.13
2ND SUBMITTAL	2020.03.16
ARB SUBMITTAL	2020.07.15

**OPTION A29
EXTERIOR
ELEVATIONS
ARB3**



MASTER PLAN OFFICE 3964

OPTION A28

2020.07.15



MASTER PLAN OFFICE 3964

OPTION A29

2020.07.15

SOIL PREPARATION AND AMENDING:

A. AFTER ROUGH GRADING OPERATIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A SOILS REPORT THAT PROVIDES AN ANALYSIS OF THE EXISTING SOIL THAT STATES WHAT SOIL AMENDMENTS ARE REQUIRED FOR OPTIMUM PLANTING GROWTH. THE CONTRACTOR SHALL INCORPORATE THE RECOMMENDED QUANTITIES BY THOROUGHLY CULTIVATING ALL PLANTING AREAS TO A DEPTH OF EIGHT (8) INCHES. ROUGH FINISH GRADE ALL AREAS.

B. BROADCAST THE FOLLOWING SOIL AMENDMENTS. QUANTITIES GIVEN ARE PER 1,000 SQUARE FEET OF AREA.

1. NITROGEN STABILIZED AND IRON FORTIFIED COMPOST PER SOIL ANALYSIS RECOMMENDATIONS, OR 4 CY FOR BID PURPOSES
2. PELLETIZED FERTILIZER (21-0-0) 10LBS., OR AS PER SOIL ANALYSIS RECOMMENDATIONS
3. SOIL SULFUR PER SOIL ANALYSIS RECOMMENDATIONS
4. CULTIVATE AND THOROUGHLY INCORPORATE THE AMENDMENTS INTO THE TOP EIGHT (8) INCHES OF SOIL
5. DE-ROCK AREA TO BE PLANTED: ALL ROCKS LARGER THAN 1 INCH IN DIAMETER ARE TO BE REMOVED.

C. INSTALL WEED BARRIER FILTER FABRIC OVER DRIP IRRIGATION COMPONENTS, MANUFACTURED OF POLYPROPYLENE, 20 MIL THICKNESS, AND 2.6 OUNCES PER SQUARE YARD. DEWITT PRO-5, OR EQUAL. SECURE FABRIC SEGMENTS TO SOIL WITH 6"x6" STEEL U' SHAPE PINS. OVERLAP ADJACENT FABRIC SEGMENTS A MINIMUM OF SIX (6) INCHES AND SECURE WITH PINS AT TWENTY FOUR (24) INCHES ON CENTER.

D. INSTALL 3" DEPTH FIR BARK MULCH OVER THE FILTER FABRIC ON ALL SHRUB AND GROUND COVER PLANTING AREAS. BARK MULCH SHALL BE WOOD RESIDUAL DERIVED AND MANUFACTURED FROM PINE, WHITE AND/OR RED FIR TREE BARK. THE MATERIAL SHALL BE EQUAL TO THAT REFERRED TO AS 'WALK ON BARK' IN THE TRADE.

E. TREES PLANTED WITHIN TEN (10') FEET OF A STREET, SIDEWALK, PAVED TRAIL, OR WALKWAY SHALL BE A DEEP-ROOTED SPECIES OR SHALL BE SEPARATED FROM HARDSCAPES BY A ROOT BARRIER TO PREVENT PHYSICAL DAMAGE TO PUBLIC IMPROVEMENTS.

F. A CERTIFICATE OF COMPLETION SHALL BE OBTAINED FROM THE CITY AND THE PROJECT APPLICANT SHALL FILL OUT THE CERTIFICATE TO THE SATISFACTION OF THE CITY UPON COMPLETION OF THE LANDSCAPE PROJECT.

G. THE INSTALLING LANDSCAPE CONTRACTOR SHALL MAINTAIN THE NEW LANDSCAPE AREAS FOR A (90) NINETY DAY PERIOD.

H. FINISH GRADING SHALL BE DONE FOLLOWING THE CIVIL ENGINEER RIM ELEVATIONS FOR DRAINS; REFER TO THE CIVIL ENGINEERING PLANS. ALL FINISH GRADING SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND TOWARDS DRAIN LOCATIONS AS INDICATED ON THE CIVIL PLANS. IF ANY DISCREPANCIES ARE PRESENT, CONTACT THE PROJECT SUPERINTENDENT, OR LANDSCAPE ARCHITECT.

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	15 GAL	3	
	CERCIS CANADENSIS 'FOREST PANSY' TM	FOREST PANSY REDBUD	15 GAL	9	
	EXISTING STREET TREE		---	12	
	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	15 GAL	8	
	ULMUS PARVIFOLIA 'TRUE GREEN'	TRUE GREEN ELM	15 GAL	9	
	ZELKOYA SERRATA 'VILLAGE GREEN'	SAWLEAF ZELKOYA	15 GAL	8	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN'	HOWARD MCMINN MANZANITA	5 GAL	35	
	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	5 GAL	58	
	CISTUS X PURPUREUS	ORCHID ROCKROSE	5 GAL	9	
	DODONAEA VISCOSA 'PURPUREA'	PURPLE LEAFED HOPSEED BUSH	5 GAL	12	
	LOROPETALUM CHINENSE RUBRUM 'PLUM DELIGHT' TM	PURPLE LEAF FRINGE FLOWER	5 GAL	15	
	MAHONIA REPENS	CREEPING MAHONIA	1 GAL	21	
	NANDINA DOMESTICA 'GULF STREAM' TM	HEAVENLY BAMBOO	5 GAL	23	
	PITOSPORUM TOBIRA 'VARIEGATA'	VARIEGATED MOCK ORANGE	5 GAL	1	
	PRUNUS CAROLINIANA 'BRIGHT 'N TIGHT' TM	BRIGHT 'N TIGHT CAROLINA LAUREL	5 GAL	12	
	RHAPHIOLEPIS INDICA 'BALLERINA'	BALLERINA INDIAN HAWTHORN	5 GAL	11	
	ROSA X 'FLOWER CARPET RED'	ROSE	2 GAL	45	
	TEUCRIUM X LUCIDRYS PROSTRATUM	GERMANDER	1 GAL	51	
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	ACHILLEA X 'MOONSHINE'	MOONSHINE YARROW	1 GAL	5	
	DIETES VEGETA	AFRICAN IRIS	1 GAL	30	
	LIRIOPE SPICATA 'SILVER DRAGON'	CREEPING LILY TURF	1 GAL	1	
	SALVIA GREGGII 'RED'	AUTUMN SAGE	1 GAL	1	
	TULBAGHIA VIOLACEA 'SILVER LACE'	SILVER LACE SOCIETY GARLIC	1 GAL	26	
	ZAUSCHNERIA CALIFORNICA	CALIFORNIA FUCHSIA	5 GAL	9	
GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	FESTUCA IDAHOENSIS 'SISKIYOU BLUE'	SISKIYOU BLUE FESCUE	1 GAL	32	
	MUHLENBERGIA RIGIDA 'NASHVILLE' TM	PURPLE MUHLY	1 GAL	3	
VINE/ESPAUER	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	FICUS PUMILA	CREEPING FIG	5 GAL	4	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY
	ARCTOSTAPHYLOS UVA-URSI 'EMERALD CARPET'	EMERALD CARPET MANZANITA	1 GAL	36" O.C.	225
	BACCHARIS PILLULARIS 'TWIN PEAKS #2'	TWIN PEAKS COYOTE BRUSH	1 GAL	36" O.C.	93
	ROSMARINUS OFFICINALIS 'PROSTRATUS'	DWARF ROSEMARY	1 GAL	36" O.C.	93
MATERIALS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY
	3/8" IN SIZE	'BLAACK CHIP' CRUSHED ROCK	2" DEPTH		524 SF
	COBBLE 4-6"	RIVER WASHED COBBLE	4-6" DIA.		2,426 SF

SHADE CALCULATIONS

Shade Calculations for Meriam Park Lot A27/A28/A29

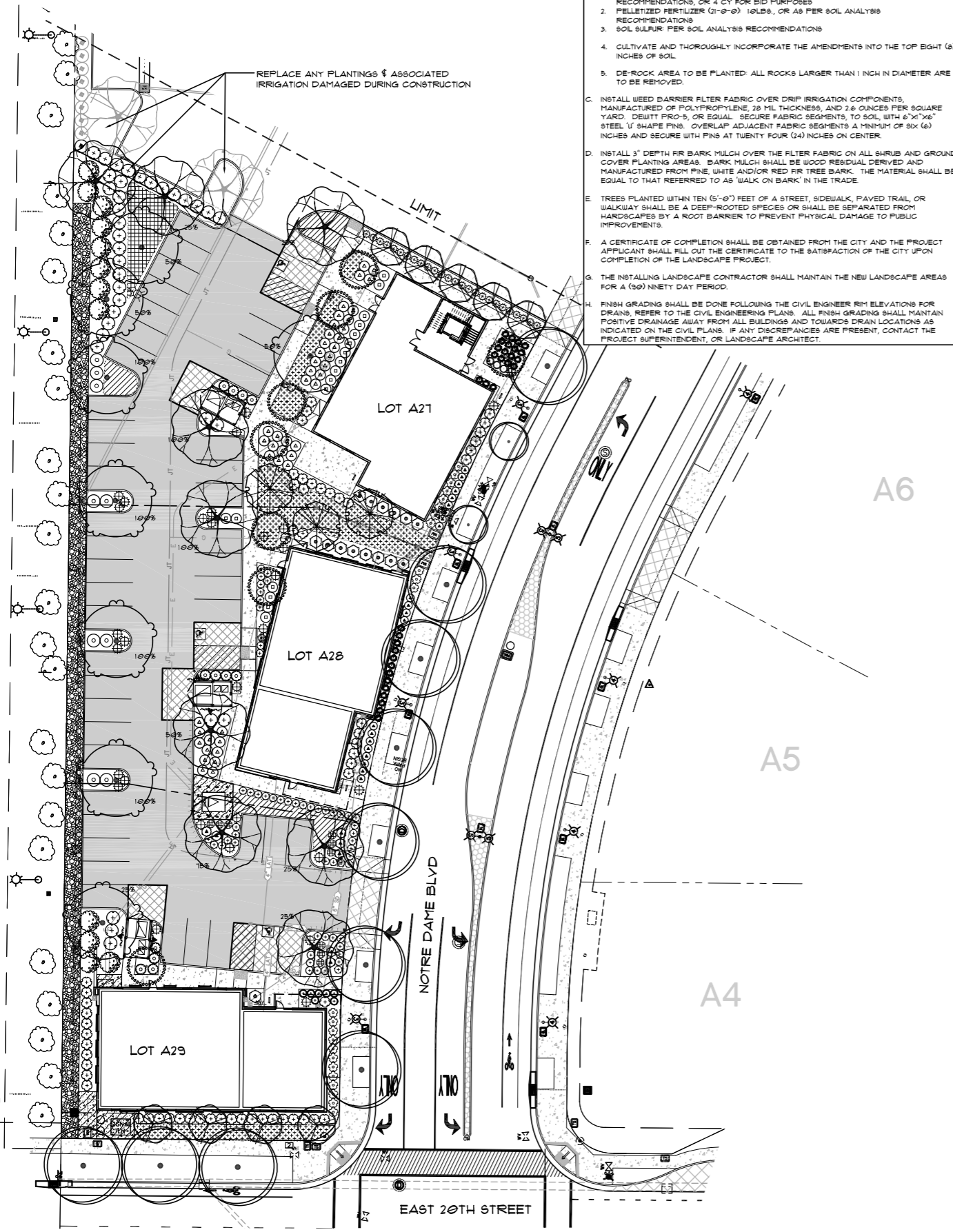
Botanical Name	Common Name	Quantity	Shade allowed	at 25%	at 50%	at 75%	at 100%	Total
Ulmus parvifolia 'True Green'	Evergreen Chinese Elm	7	1,255	3	1	1	2	5,014.00
Zelkova serrata 'Village Green'	Japanese Zelkova	8	1,255	2	2	0	4	6,938.00
Total Shade Allowed		15		5	3	1	6	11,952.00
parking lot area to be shaded								14,532.60
50% shade required								7,266.30
% Shade Provided								81.82%

15% shade from evergreen tree species required
5,024 sf provided / 14,582 sf shade required = 34.4% (* indicates evergreen tree species)

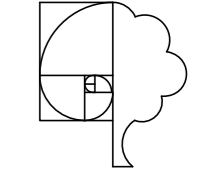
CONTRACTOR TO VERIFY ALL QUANTITIES FROM PLAN. PLANT LEGEND IS FOR REFERENCE ONLY.

NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT FROM THE LAND ARCH.

WUCOLS IV SPECIES EVALUATION LIST, V.2014
WUCOLS REGION 2 CENTRAL VALLEY. SUNSET ZONE 8-9



PLANTING PLAN



THOMAS H. PHELPS
LANDSCAPE ARCHITECTURE

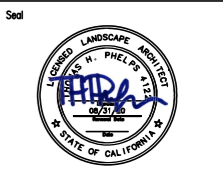
California Landscape Architect #4122
P.O. BOX 8328
Chico, CA 95927-8328
(530)892-8877 fax (530)892-9588
thphelps@sbcaglobal.net
THPLARCH.com

MERIAM PARK - LOTS A27/A28/A29
GONZALEZ DEVELOPMENT CO.

CHICO, CALIFORNIA

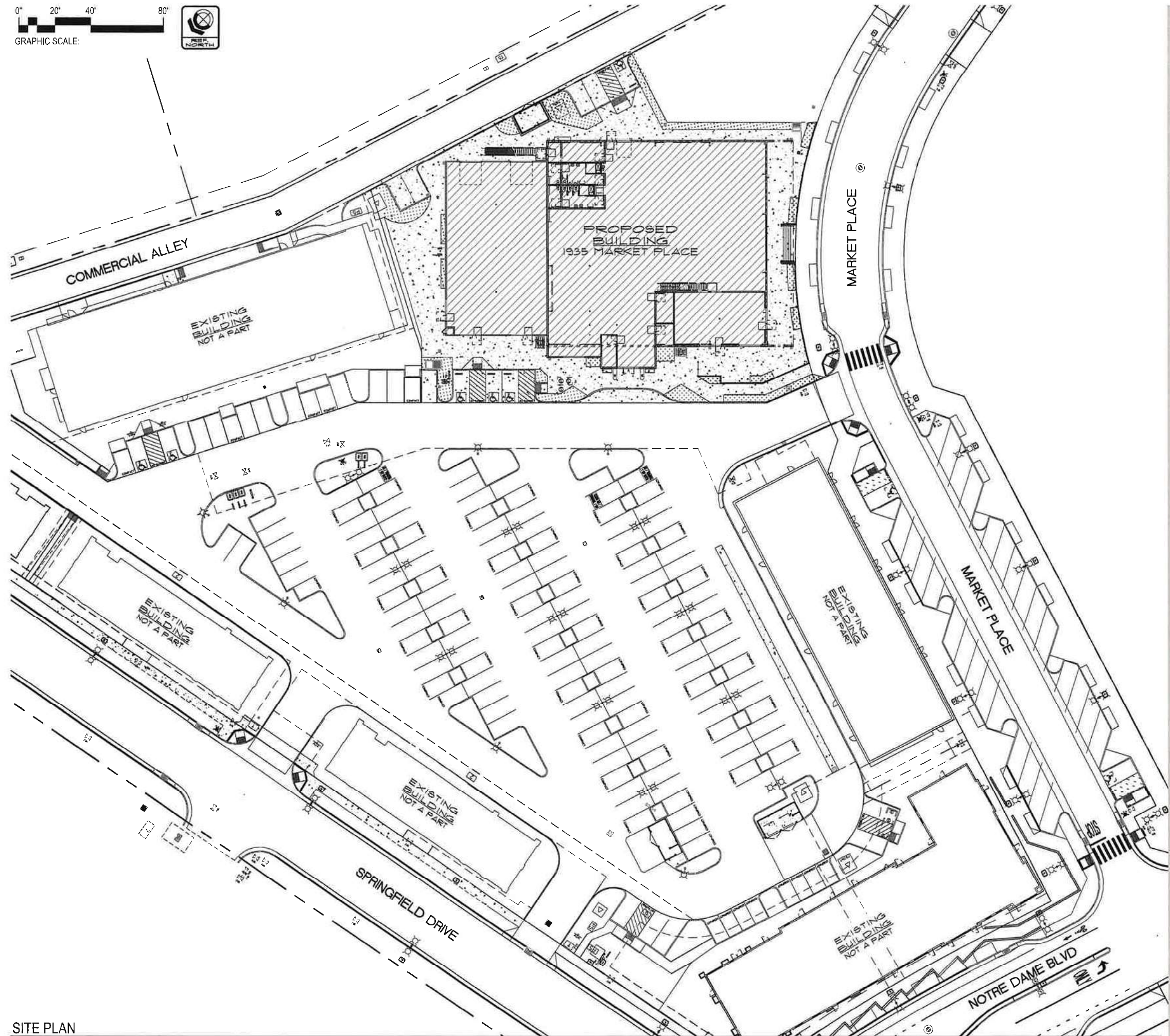
See details on hardscape of grade and on the property of Thomas H. Phelps Landscape Architecture. The contractor shall be responsible for the hardscape and the contractor shall be responsible for the hardscape.

Sheet Title
PLANTING PLN



No.	Date	Revision
▲		
▲		
▲		
▲		

Project Mgr: THP
Drawn By: THP
Scale: 1"=20'
Date: DEC 2014
File Name: of _____ sheets



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COMPANY
Chico, California

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SITE PLAN

SITE PLAN

SHEET No.

A0

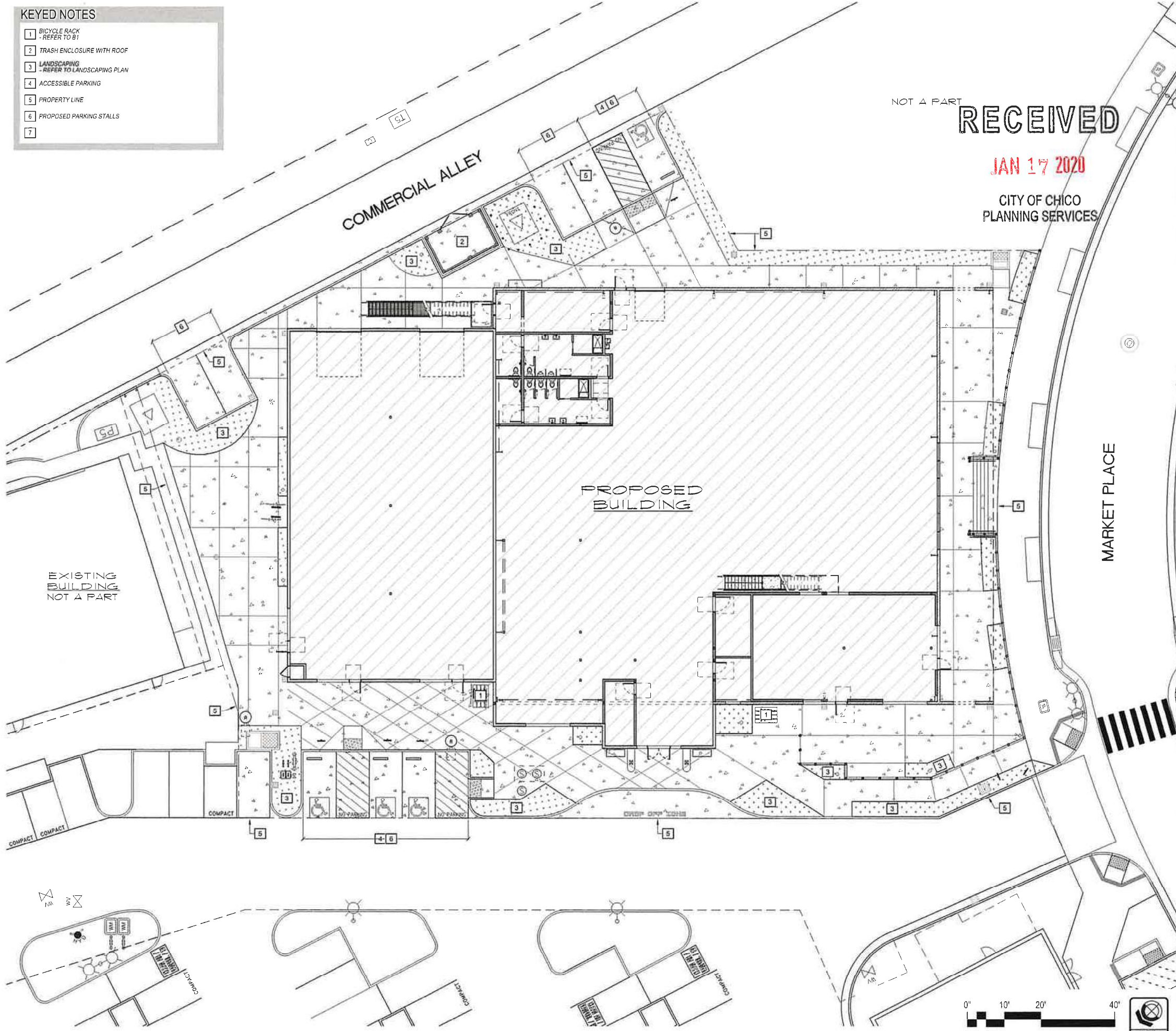
Date: 01/10/2020
Project Number: 19.076

SCALE: 1" = 20'-0" (AT 30"x42" SHEET SIZE)

Attachment E1

KEYED NOTES

- 1 BICYCLE RACK
- REFER TO B1
- 2 TRASH ENCLOSURE WITH ROOF
- 3 LANDSCAPING
- REFER TO LANDSCAPING PLAN
- 4 ACCESSIBLE PARKING
- 5 PROPERTY LINE
- 6 PROPOSED PARKING STALLS
- 7



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**GONZALES
 DEVELOPMENT
 COMPANY**
 Chico, California



SUMMARY AND DATA:

SITE DATA
 APN: 002 - 690 - 002
 LOCATION: MERIAM PARK
 LAND (SF): 35,022 SF
 BLDG AREA (SF): 24,645 SF
 (19,643 SF FIRST FLR / 5,002 SF SECOND FLR)
 LAND / BLDG.: 1.33 / 1
 BLDG. %: 75%
 ZONING:
 1. General Plan: Special Mixed Use
 2. Zoning: Traditional Neighborhood Development
 3. TND Designation: CORE
 USE: GYM / RESTAURANT

PARKING DATA
 PARKING REQ'D
 STANDARD REQUIRED PARKING:
 TND SUBZONE C (CORE)
 24,645 S.F. @ 1.6 / 1,000 S.F. = 40 STALLS
 TOTAL STALLS REQUIRED: 40 STALLS

ACCESSIBLE REQUIRED PARKING:
 40 SPACES PER 11B-208.2 = 2 ACCESSIBLE STALLS
 TOTAL ACCESSIBLE STALLS REQUIRES: 2 STALLS

PARKING SIZES:
 STANDARD 9'x20' (18' WITH 2' O.H.)
 COMPACT 8'x16' (14' WITH 2' O.H.)
 DRIVE AISLES: 24'

PARKING BASIS:
 TND SUBZONE C (CORE)
 OTHER 1.6 / 1,000 S.F.

TOTAL PARKING REQ'D: 40
 - STANDARD ACCESSIBLE 02
 - CLEAN AIR / VANPOOL / EV SPACES 03
 - FUTURE EV CHARGING SPACES 02

PARKING PROVIDED:
 - STANDARD 05
 - STANDARD AT SHARED LOT 19
 - COMPACT 00
 - COMPACT AT SHARED LOT 12
 - ACCESSIBLE (INCLUDES 2 VAN ACCESSIBLE) 04
 - CLEAN AIR / VANPOOL / EV SPACES: 03
 - FUTURE ACCESSIBLE EV CHARGING SPACES: 02
 TOTAL PARKING PROVIDED: 45 STALLS

BIKE RACK

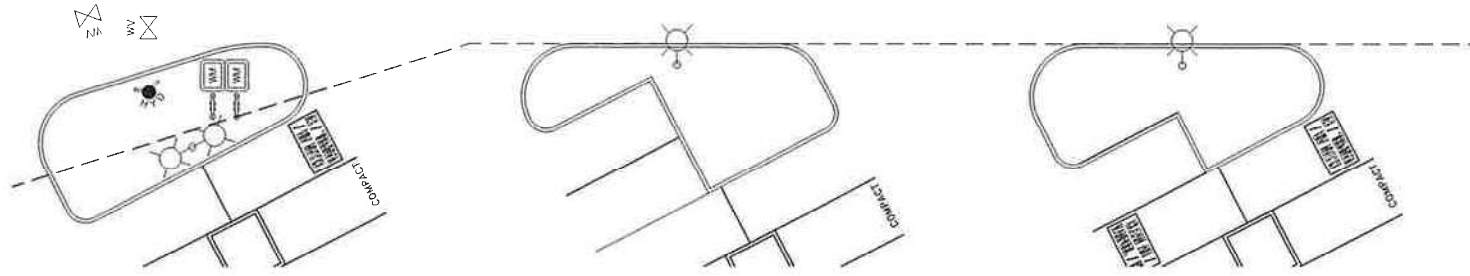
B1 BIKE RACK (COLOR: BLACK) - MFR: HIGHLAND
 SPEC: 145-1438 STANDARD STYLE BIKE RACK



BICYCLE DATA:
 BICYCLE RACKS COUNT:
 SHORT TERM: 40 x 5% = 2
 TOTAL BICYCLE RACKS REQ'D:
 2 RACKS
 BICYCLE RACKS PROVIDED:
 4 RACKS (8 BICYCLES)



**Climbing
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 at Meriam Park
 Chico, California



ENLARGED SITE PLAN



SCALE: 1"=0' = 10'-0" (AT 30"x42" SHEET SIZE)

ENLARGED
 SITE PLAN

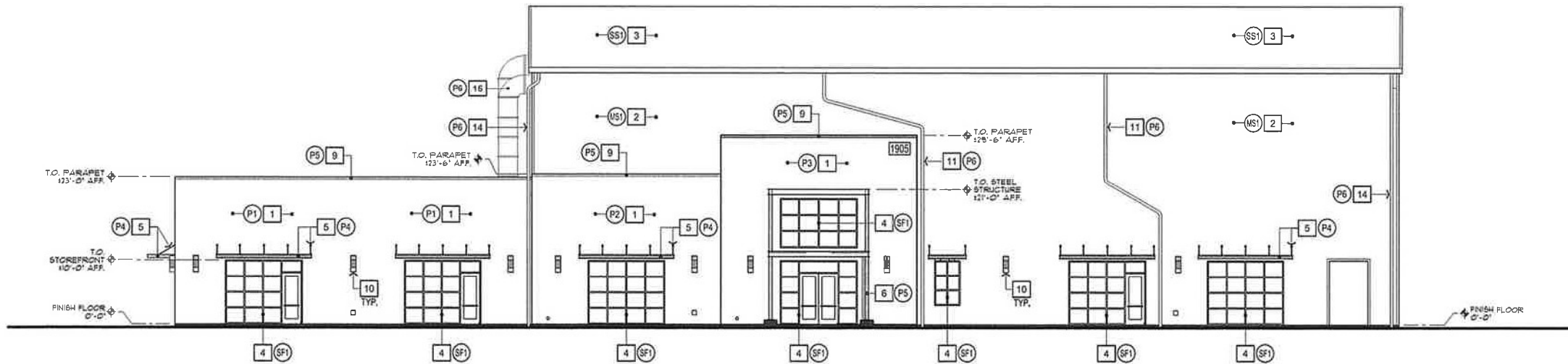
Date: 01/10/2020
 Project Number: 19.076

SHEET No.

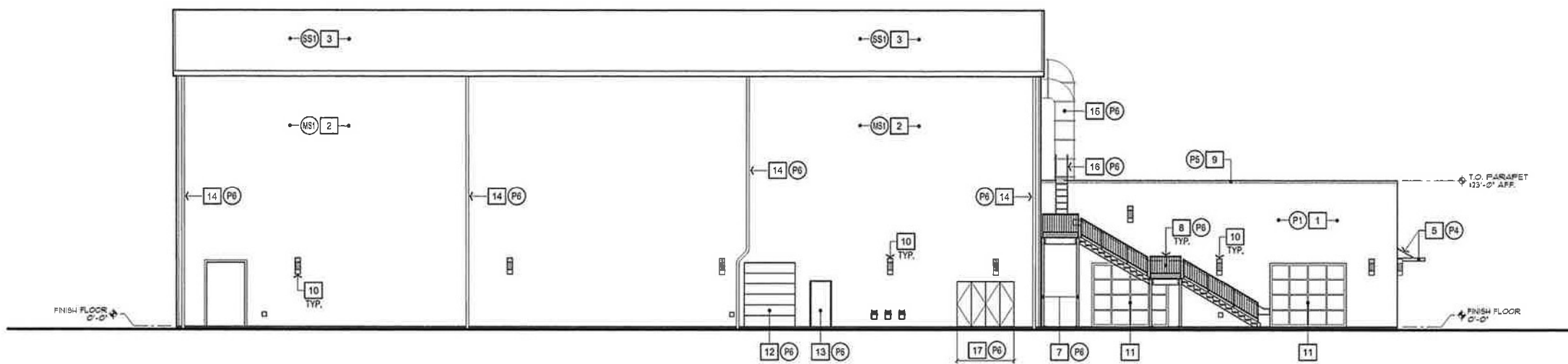
A1

KEYED NOTES

- 1 CEMENT PLASTER EXTERIOR FINISH - SANTA BARBARA FINISH
- 2 METAL BUILDING EXTERIOR SIDING
- 3 STANDING SEAM METAL ROOFING
- 4 STOREFRONT DOOR AND WINDOW SYSTEM
- 5 ALUMINUM PRE-MANUFACTURED CANOPY
- 6 METAL ENTRANCE STRUCTURE
- 7 METAL EXIT STAIR SYSTEM WITH LANDINGS
- 8 METAL HAND RAILING / GUARD RAILING
- 9 METAL PARAPET CAP
- 10 WALL MOUNTED LIGHT FIXTURE
- 11 METAL / GLASS OVERHEAD DOOR SYSTEM
- 12 OVERHEAD COILING DOOR
- 13 EXTERIOR METAL DOOR AND FRAME
- 14 METAL GUTTER / DOWNSPOUTS
- 15 H.V.A.C. DUCT WORK
- 16 EXTERIOR ROOF ACCESS LADDER
- 17 ELECTRICAL CABINET
- 18 METAL BUILDING STRUCTURE
- 19 NOT USED



NORTHWEST EXTERIOR ELEVATION (Front Elevation)



SOUTHEAST EXTERIOR ELEVATION (Rear Elevation)



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Chico, California

EXTERIOR
ELEVATIONS

SHEET No.

A5

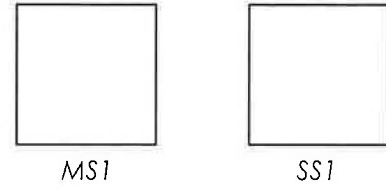
Date: 01/10/2020
Project Number: 19.076

Attachment E2

COLOR AND MATERIALS

MATERIALS

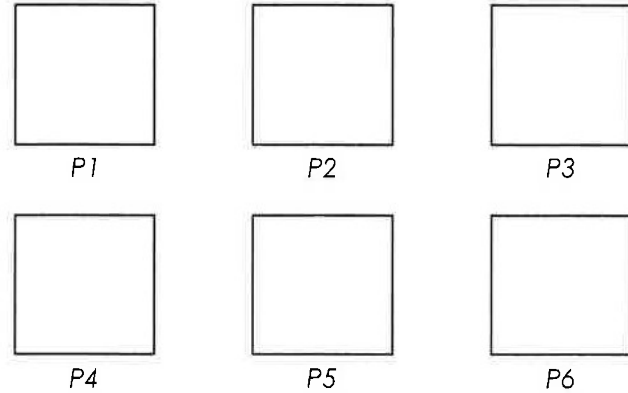
MS1 METAL SIDING
 COLOR: MFR:
 SS1 STANDING SEAM METAL ROOFING
 COLOR: MFR:



COLORS

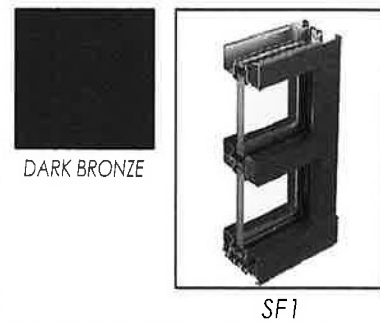
P1 SHERWIN WILLIAMS SW#### - #####
 P2 SHERWIN WILLIAMS SW#### - #####
 P3 SHERWIN WILLIAMS SW#### - #####
 P4 SHERWIN WILLIAMS SW#### - #####
 P5 SHERWIN WILLIAMS SW#### - #####
 P6 SHERWIN WILLIAMS SW#### - #####

NOTES: ALL EXTERIOR PAINT ACRYLIC LATEX, FLAT SHEEN.
 BLACK PAINT TO BE SATIN SHEEN



STOREFRONT SYSTEM

SF1 DARK BRONZE ANODIZED ALUMINUM STOREFRONT
 MFR: KAWNEER



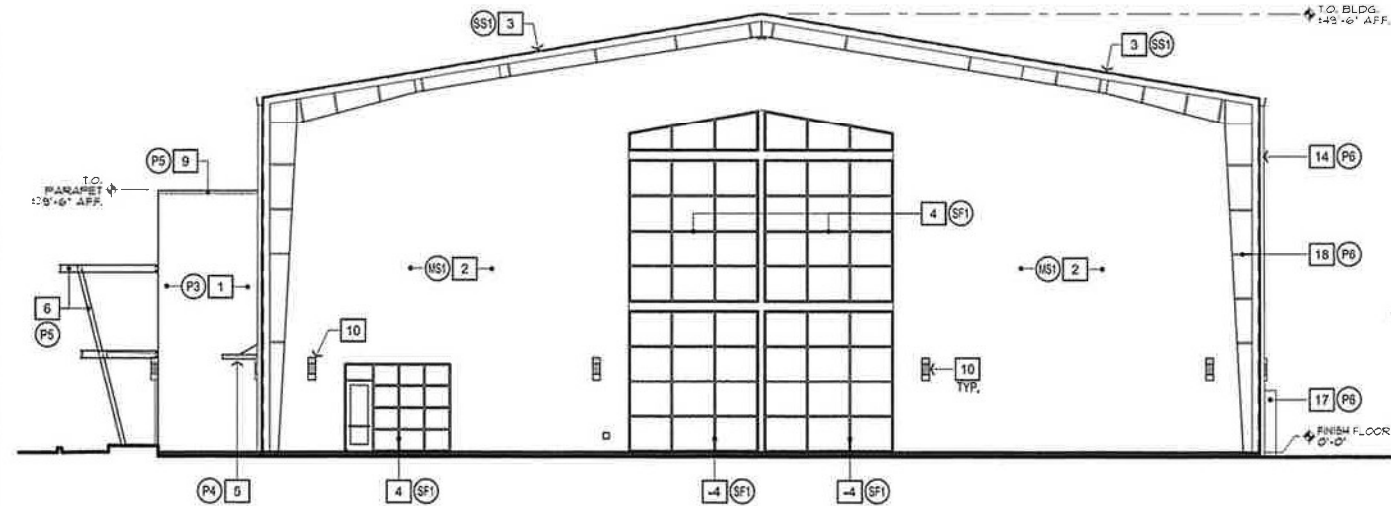
EXTERIOR WALL LIGHTING

L1 LED WALL SCONCE "B"
 MFR: KICHLER
 MODEL: 49434PL

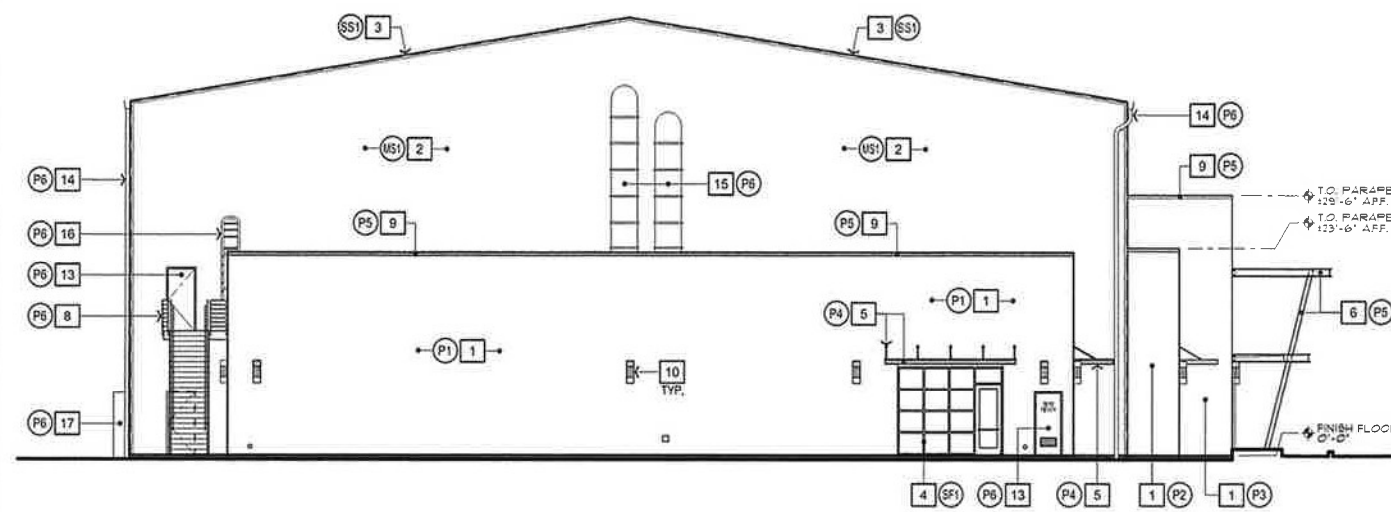


KEYED NOTES

- 1 CEMENT PLASTER EXTERIOR FINISH - SANTA BARBARA FINISH
- 2 METAL BUILDING EXTERIOR SIDING
- 3 STANDING SEAM METAL ROOFING
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- 13 EXTERIOR METAL DOOR AND FRAME
- 14 METAL GUTTER / DOWNSPOUTS
- 15 H.V.A.C. DUCT WORK
- 16 EXTERIOR ROOF ACCESS LADDER
- 17 ELECTRICAL CABINET
- 18 METAL BUILDING STRUCTURE
- 19 NOT USED



SOUTHWEST EXTERIOR ELEVATION (Right Elevation)



NORTHEAST EXTERIOR ELEVATION (Left Elevation)



Climbing Gym
 at Meriam Park
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EXTERIOR
 ELEVATIONS AND
 COLOR / MATERIALS

Date: 01/10/2020
 Project Number: 19.076

SHEET No.

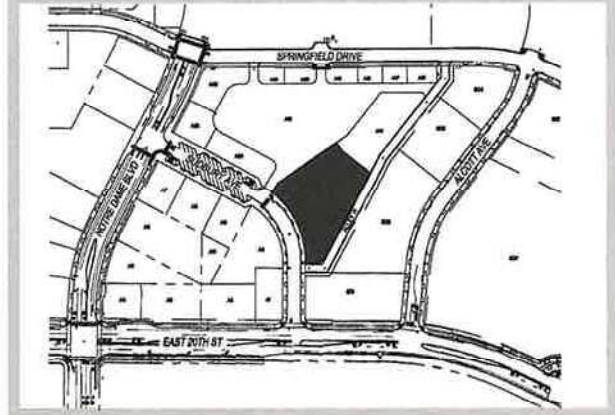
A6



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VICINITY MAP



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EMAIL: scottg@sgarchitect.net

SHEET INDEX

<u>ARCHITECTURAL SHEETS</u>	
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PERSPECTIVE VIEWS	T2
PERSPECTIVE VIEWS	T3
SITE PLAN	A0
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SECOND FLOOR PLAN	A3
ROOF PLAN	A4
EXTERIOR ELEVATIONS	A5
EXTERIOR ELEVATIONS / FINISHES	A6
<u>LANDSCAPING SHEETS</u>	
LANDSCAPE PLAN	L1
LANDSCAPE PLAN	L2
LANDSCAPE PLAN	L3

PROPOSED USE

GYM AND RESTAURANT

PROJECT NOTES

THESE DRAWINGS ARE PRELIMINARY.
SOME REVISIONS MAY OCCUR DUE
TO TENANT REQUIREMENTS.

LANDSCAPE ARCHITECT

MELTON DESIGN GROUP
820 BROADWAY STREET
CHICO, CA 95928
O: (530)518-7593
CONTACT: GREG MELTON



Climbing Gym
at Meriam Park
Chico, California

COVER SHEET

SHEET No.

T1

Date: 01/10/2020
Project Number: 19.076

Attachment E3



Facing Northeast View (From Market Street)



Facing Northeast View (From Market Street)

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PERSPECTIVE
VIEWS

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T2

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Attachment E3



Facing Southeast View (From Parking Lot)



Facing Northeast View

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PERSPECTIVE
VIEWS

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T3

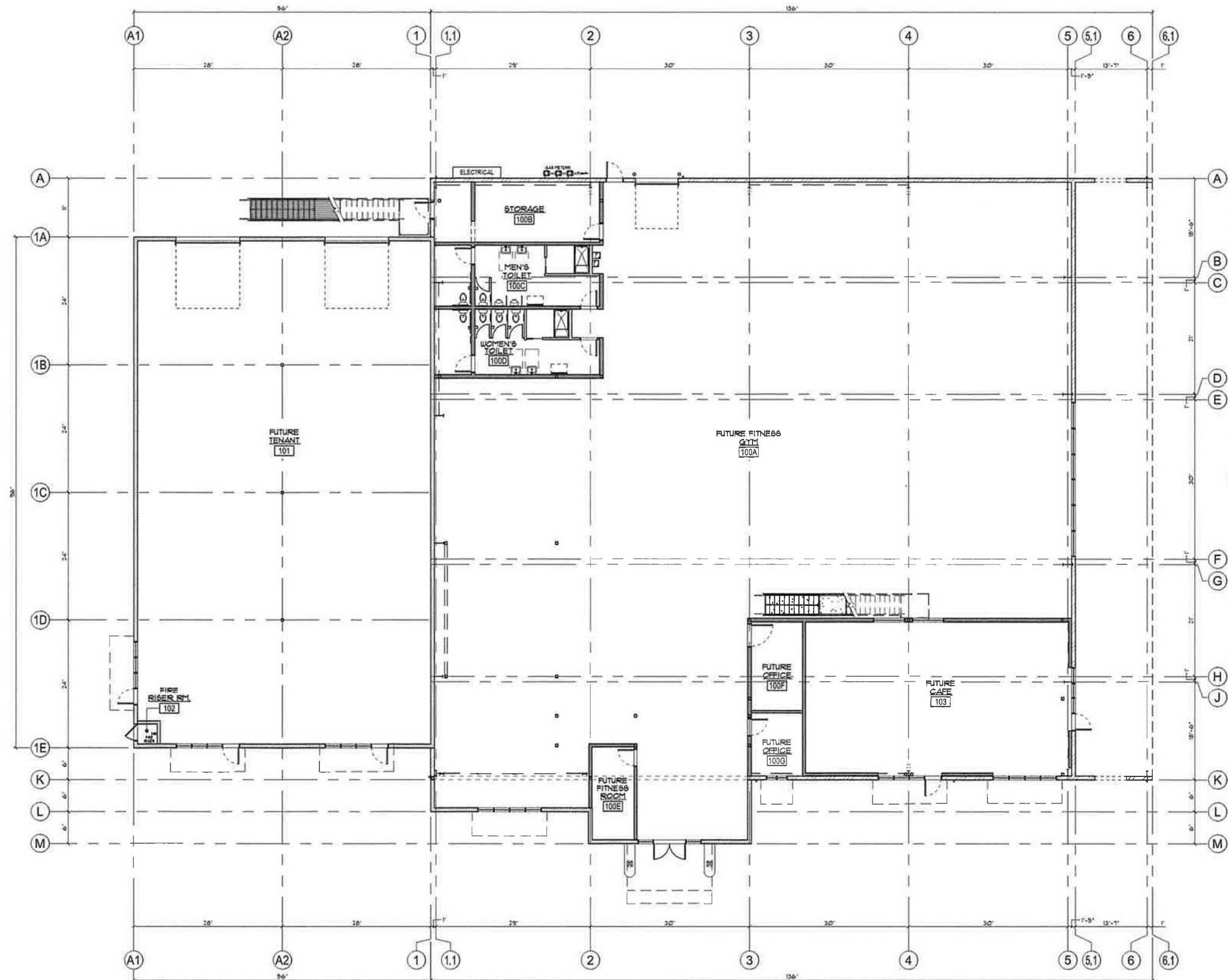
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FIRST FLOOR PLAN

Area Analysis	
FIRST FLOOR NET TOTAL	18,843 SF
SECOND FLOOR NET TOTAL	5,002 SF
BUILDING NET TOTAL	24,645 SF

SCALE: 1/8" = 1'-0"



**Climbing
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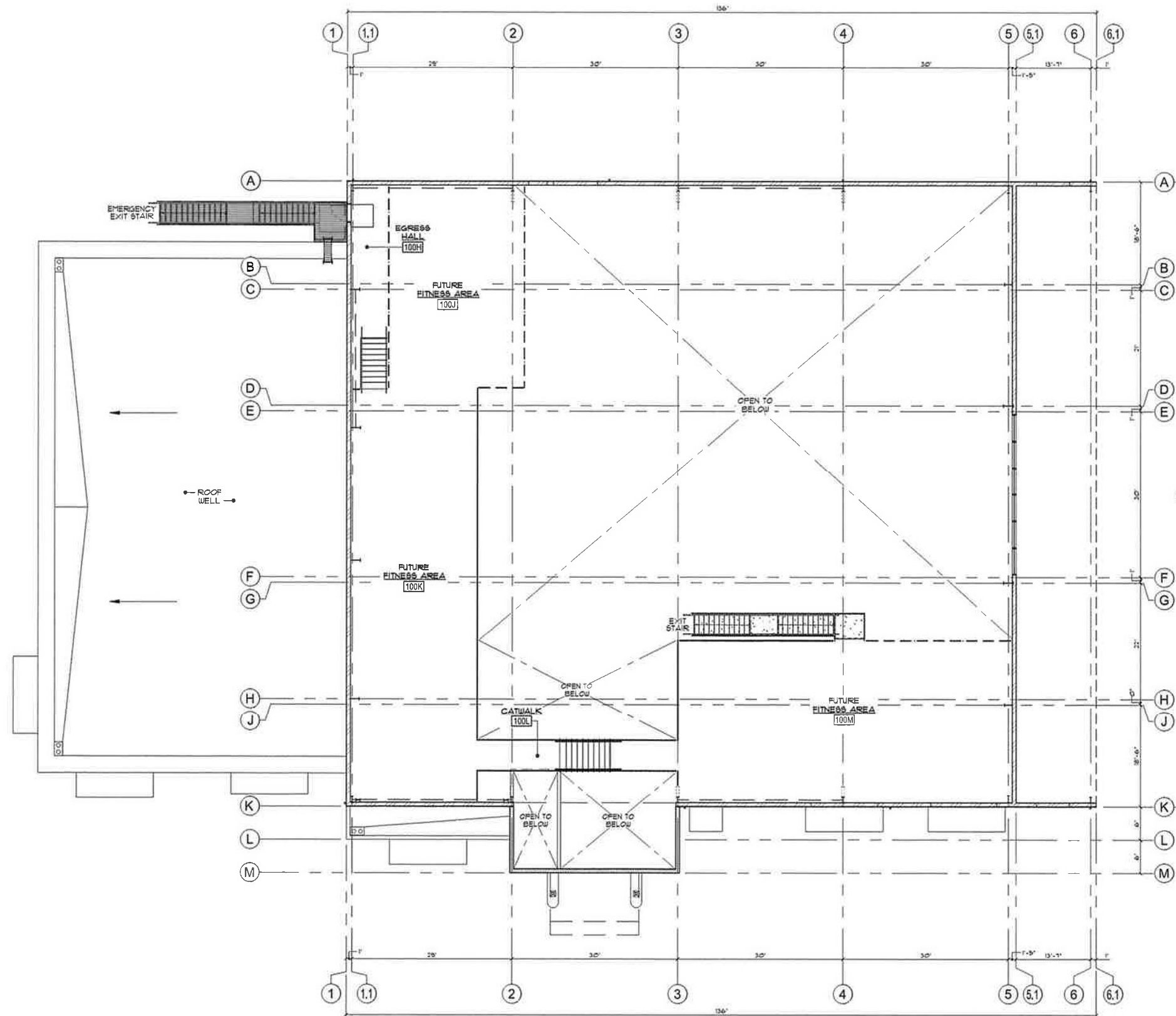
FIRST FLOOR
PLAN

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A2

Attachment E4



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Climbing Gym
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Area Analysis	
FIRST FLOOR NET TOTAL	19,643 SF
SECOND FLOOR NET TOTAL	5,002 SF
BUILDING NET TOTAL	24,645 SF

SECOND FLOOR PLAN

SHEET No.

A3

Date: 01/10/2020
Project Number: 19.076

Attachment E4



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

**Mitigation Measures Applicable to
Site Design and Architectural Review Projects**
From the Meriam Park Environmental Impact Report
and Mitigation Monitoring Program

AESTHETICS

AES-1: In order to minimize impacts of new sources of light and glare:

1. All new lighting shall be designed to eliminate direct light spilling onto adjacent properties.
2. Lighting for new development within Meriam Park, including parking areas, shall be designed to include shields, ranging from 120-180 degrees and cut-offs that minimize light spillage onto unintended surfaces and minimize atmospheric light pollution, use minimal wattage.
3. Exterior surfaces should not be reflective glass or other reflective materials.
4. As part of the Architectural Review process, light and glare should be given specific consideration and measures incorporated into project design to minimize both.
5. Where possible, limit height of light standards to 12 feet.

AIR QUALITY

AIR-1a: All construction plans and documents for construction projects in the TND zone shall include the measures set forth below to reduce construction-related air quality impacts.

1. All active construction areas shall be watered at least twice daily. The frequency shall be based on the type of operation, soil conditions, and wind exposure.
2. Apply chemical soil stabilizers to inactive construction areas (disturbed areas that are unused for at least four consecutive days) to control dust emissions. Dust emission shall be controlled at the site for both active and inactive construction areas throughout the entire construction period (including holidays).
3. Storage piles shall be controlled for dust emissions as needed by covering the storage pile, application of chemical soil stabilizers, or other technique acceptable to the City.
4. Vehicle speeds shall be limited to 15 mph on unpaved roads and areas.
5. Land clearing, grading, earth moving, or excavation activities shall be suspended when wind speeds exceed 20 mph.
6. Non-toxic binders (e.g. latex acrylic copolymer) shall be applied to exposed areas after cut and fill operation and the area hydroseeded when the area becomes inactive for 10 days or more.
7. Prior to any grading or construction taking place, the developer shall consult with the Butte County Air Quality Management District regarding the application of a paved (or dust palliative treated) apron onto the Meriam Park site.
8. Inspect adjacent streets at least once per day and sweep or wash paved streets adjacent to the site where visible silt or mud deposits have accumulated due to construction activities.

9. Building and Engineering Division staff shall review final improvement plans for all construction projects to ensure that the above notes are included on such plans. Building and Engineering Division staff shall inspect the property for compliance with the above air quality measures.

AIR-1b: One or more publicly-visible signs shall be posted at each construction site with the name and telephone number of the developer representative to contact regarding dust complaints. Complaints received about dust shall be responded to, and corrective action taken, immediately. The telephone number of the BCAQMD shall be included on the signs and visible to ensure compliance with BCAQMD Rules 201 and 207.

AIR-1c: Construction shall be phased so that only a portion of the Meriam Park site is graded at a time. Areas in which one large piece of earth-moving equipment is working shall not exceed 10 acres on a daily basis, and areas in which two or more large pieces of earth-moving equipment are working simultaneously shall not exceed 4 acres per day.

AIR-1d: Prior to final occupancy, all exposed ground surfaces shall be landscaped, seeded or chemically treated to minimize fugitive dust emissions (dust clouds caused by wind, traffic, or other disturbances to exposed ground surfaces).

AIR-2: The following measures would reduce diesel particulate matter and NOx emissions from construction equipment, and represent a level of reasonable control that would reduce these emissions to a less-than-significant level.

1. Prior to commencement of any grading or construction, a NOx reduction plan shall be prepared and submitted for approval by the City and BCAQMD demonstrating that heavy-duty (> 50 horsepower) off-road vehicles to be used during construction, including owned, leased and subcontracted vehicles, will achieve a project-wide fleet-average NOx reduction equivalent to or exceeding the most recent CARB fleet average at the time of construction. Acceptable options for reducing emissions may include use of late model engines, low-emission diesel products, alternative fuels, engine retrofit technology, after-treatment products, and/or other options as they become available.
2. The NOx reduction plan shall include a comprehensive inventory of all off-road construction equipment, equal to or greater than 50 horsepower, that would be used an aggregate of 40 or more hours during any portion of the construction project. The inventory shall include the horsepower rating, engine production year, and projected hours of use or fuel throughput for each piece of equipment. The inventory shall be updated on a monthly basis throughout the duration of the grading portion of construction.
3. Opacity is an indicator of exhaust particulate emissions from off-road diesel powered equipment. The Meriam Park project shall ensure that emissions from all construction diesel powered equipment used on the Meriam Park site do not exceed 40 percent opacity for more than three minutes in any one hour. Any equipment found to exceed 40 percent opacity (or Ringelmann 2.0) shall be repaired immediately.
4. The contractor shall install temporary electrical service whenever possible to avoid the need for independently powered equipment (e.g. compressors).
5. Diesel equipment standing idle for more than two minutes shall be turned off. This would include trucks waiting to deliver or receive soil, aggregate, or other bulk materials.

Rotating drum concrete trucks could keep their engines running continuously as long as they were on-site and away from residences.

6. Properly tune and maintain equipment for low emissions.

BIOLOGICAL RESOURCES

BIO-8: Adequate measures shall be taken to avoid inadvertent take of loggerhead shrike, raptors, and nests of other birds protected under the Migratory Bird Treaty Act when in active use. This shall be accomplished by taking the following steps.

1. If construction is proposed during the nesting season (March - August), a focused survey for nesting raptors and other migratory birds shall be conducted by a qualified biologist within 30 days prior to the commencement of construction, in order to identify any active nests on the proposed project site and the vicinity of proposed construction.
2. If no active nests are identified during the survey period, or if construction is initiated during the non-breeding season (September - February), grading and construction may proceed.
3. If active raptors nests are found, an adequate setback shall be established around the nest location and construction activities restricted within this no-disturbance zone until the qualified biologist has confirmed that any young birds have fledged and are able to function outside the nest location. Required setback distances for the no-disturbance zone shall be determined in consideration with the CDFG and/or USFWS, and may vary depending on species and sensitivity to disturbance. The no-disturbance zone shall be fenced with temporary orange construction fencing.
4. A report of findings shall be prepared by the qualified biologist and submitted to the City for review and approval prior to initiation of grading and construction during the nesting season (March - August). The report shall either confirm absence of any active nests or shall confirm establishment of a designated no-disturbance zone for any active nests. Supplemental reports shall be submitted to the City for review and approval where no-disturbance zones have been required to allow construction to proceed within these zones after any young birds have fledged.

CULTURAL RESOURCES

CUL-2a: In the event any cultural materials are discovered or unearthed during the course of grading or construction activities, all work shall cease within 100 feet of the discovered site and a qualified archeologist shall be retained by the project applicant to evaluate the significance of the site. If the archeologist determines that the materials represent a potentially-significant resource, the project proponent, archeologist, City Planning Director, and local tribal coordinator shall begin a consultation process to determine a plan of action either for: 1) total data recovery, as a mitigation; 2) tribal cultural resource monitoring; 3) displacement protocol; or 4) total avoidance of the resource, if possible.

CULT-2b: A note shall be placed on all construction plans which informs the construction contractor that if any bones, pottery fragments or other potential cultural resources are encountered during construction, all work shall cease within the area of the find pending an

examination of the site and materials by a professional archaeologist. The Planning Division and Engineering Division staff will verify that this wording is included in project grading plans.

CUL-3: In the event that human remains are discovered during the course of grading or construction activities, all work shall cease within 100 feet of the find and the construction supervisor must immediately notify the Butte County Coroner pursuant to Section 7050.5 of California's Health and Safety Code, and the City Planning Director. The construction supervisor shall also take appropriate action to ensure that the discovery is protected from further disturbance and vandalism. If the remains are of a Native American, the coroner must notify the California Native American Heritage Commission within 24 hours, which in turn will inform a most likely descendent pursuant to Section 5097.98 of the State Resources Code. The designated descendant would then negotiate with the land owner for final disposition of identified remains, which may include reburial within an appropriate location within the project area.

CUL-4: In the event that paleontological resources are encountered during construction activities, consultation with a professional paleontologist, geologist or archaeologist, as appropriate, shall be undertaken immediately, and the significance of the find evaluated. Appropriate specific mitigation measures would be recommended, based on the finding of significance of the discovery. The project proponent shall implement recommended mitigation measures.

HYDROLOGY AND DRAINAGE

HYDRO-3: The developer shall develop a stormwater master plan and a SWPPP for the Project site. No grading permits or other construction permits for the Project site shall be issued until the developer prepares a SWPPP and the SWPPP is reviewed and approved by the City of Chico and reviewed by the Caltrans District 3 office and the Central Valley Regional Water Quality Control Board (Redding office). The SWPPP shall describe the construction- phase and post-construction control measures to improve water quality of runoff. Selection and design of the water quality BMPs shall be reviewed and approved by City staff and operations and maintenance considerations shall be described in the SWMP or Operations and Maintenance Manual (OMM) prepared for the treatment facilities.

UTILITIES

UTIL-1b: At least 75 percent of the remaining project-related construction and demolition waste shall be diverted to an approved facility or by salvage. The City shall give the applicant a list of approved facilities or reuse options. A Waste Diversion Plan including the total weight or volume of demolition and construction waste and the plan for diverting the waste shall be provided to and approved by the City pursuant to commencement of construction.