



Architectural Review and Historic Preservation Board Agenda Report

Meeting Date 9/2/2020

DATE: August 24, 2020

File : AR 20-15

TO: Architectural Review and Historic Preservation Board

FROM: Kelly Murphy, Project Planner, (879-6535, kelly.murphy@chicoca.gov)
Community Development Department

RE: Perkins Auto Glass – 2819 Esplanade, APNs 006-350-028 and 006-350-022

RECOMMENDATION

Staff recommends that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve the project, subject to the recommended conditions.

Proposed Motion

I move that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve Architectural Review 20-15 (Perkins Auto Glass), subject to the recommended conditions.

BACKGROUND

The project site is located at 2819 Esplanade, between West Lassen Avenue and Mandalay Court (see **Attachment A**, Location Map). The site consists of two parcels designated Commercial Mixed Use by the General Plan and zoned CC-AOD-COS (Community Commercial with Airport Operations Zone D and Corridor Opportunity Site overlays). Pursuant to Chico Municipal Code (CMC) Section 19.44.020, vehicle repair and maintenance is an allowed use in the CC zoning district with an approved use permit. The use permit associated with this site (UP 17-09) was approved by the Zoning Administrator on June 13, 2017.

Existing Conditions

The 0.9-acre site is currently developed with a with a three-bay, 2,660 square foot automotive service building that would remain and a gravel parking area. No trees or landscaping exist onsite. The site has access to Esplanade and West Lassen Avenue via two existing driveway access points. Currently, three of the four corner parcels at the intersection of Lassen Avenue and Esplanade have been activated with commercial land uses including the Rice Bowl restaurant on the northeast corner, CVS on the southeast corner and Chico Power Equipment on the southwest corner. As such, the project's location would be compatible with surrounding land uses and enhance the commercial services available at this junction.

Project Details

The proposed site plan includes the construction of another 3,868 square foot building on the primary project parcel (APN 006-350-022) with four automotive service bays, administrative offices and a customer lobby (see **Attachment B**, Architect's Project Description and **Attachment C**, Site Plan). The structure would be located in the center of lot, allowing for a small parking area at the front of the site with a landscaped buffer along the Esplanade. Additional parking would be located on the secondary parcel (APN 006-350-028), which would be developed with asphalt paving and landscaping. A total of 25 vehicles parking spaces would

be provided, exceeding the 15 vehicle parking spaces required for the use pursuant to CMC Section 19.70.40 (Number of parking spaces required).

Architectural Design

The proposed building would feature a modern industrial appearance while incorporating design elements of the existing building such as vertical metal siding and a gray color scheme (see **Attachment D**, Color Elevations and **Attachment E**, Colors and Materials Board). The front (northeast) end of the building facing Esplanade would accommodate an office space and customer lobby for Perkins Auto Glass.

The main entry would feature dark bronze aluminum storefronts and a black metal canopy structure that would wrap around the corner of the building. To add visual interest, this portion of the new building would be accented with horizontal metal siding in a blue color (“Pacific Blue”). The southeast elevation would feature showroom-style glass sectional doors in place of traditional roll-up service bay doors, providing a striking and modern aesthetic. The design would incorporate a parapet wall and extended roof overhang to break up the flat roof line. The northwest elevation would be enhanced with black vertical metal siding and plaster. A roll-up door and additional entrance would be located at the southwest side of the building. The building’s exterior would feature wall-mounted gooseneck light fixtures in dark gray.

The conceptual landscape plan proposes eleven new parking lot shade trees and landscaped buffers along the West Lassen Avenue and Esplanade frontages (see **Attachment F**, Landscaping Plan). Three Chinese pistache trees and a pink crape myrtle would be planted in the small parking area at the building entrance adjacent to the Esplanade. Six sawleaf zelkova trees and two Chinese pistache trees would be planted in the larger parking area on the second project parcel. Parking lot shade is estimated to reach 56 percent at full tree maturity, satisfying the parking lot shade requirements found in CMC Section 19.70.060.E. Additionally, the project would provide a 10-foot planting area along the property line abutting the adjacent apartment complex to serve as a buffer between the two properties. The project includes a new CMU trash enclosure with plaster finish painted 'Network Gray' to match the main building, with a metal door and roof cover. New fencing would be installed to separate the Perkins Auto Glass site from the future coffee shop approved for the adjacent corner parcel.

DISCUSSION

The project site is adjacent to an inactive corner of the intersection of West Lassen Avenue and Esplanade that was approved for a coffee drive through service called “The Human Bean” by the Board at its meeting on May 12, 2020. The proposed project would further enhance this commercial corner, improving circulation, parking, landscaping and aesthetics. The project’s design would be compatible with surrounding land uses and enhance the commercial services available at this junction, consistent with General Plan goals and policies to promote compatible infill development (LU-2.4, 4.2, 4.4). The use is also consistent with the City’s policy goal for intensification and revitalization of commercial uses along the Esplanade corridor.

The project is consistent with Design Guidelines (DGs) for commercial and office uses. The building entry is a dominate feature, obvious from the street (DG 2.1.13 and 2.2.23) and the parking areas are screened from street views with landscaping (DG 2.1.25, 2.1.26 and 2.1.27). A pedestrian path of travel is provided from the public sidewalk to all buildings onsite (DG 2.1.24). All utilities as well as the new trash enclosure will be screened from view from view

(DG 2.1.36 and 2.2.28). Proposed landscaping is thoughtful and provides adequate shading and buffering between adjacent properties (DG 2.1.28). The project incorporates appropriate massing, fenestration, and materials to provide a pedestrian-level scale (DGs 1.1.15, 2.2.11 and 2.2.31), and the scale and character of the project would not overwhelm the neighborhood (DG 1.2.13).

The proposed plan complies with all development standards for the CC zoning district set forth in CMC 19.44.030 including setbacks, site coverage, height limits, parking, and landscaping requirements.

Subject to the above, and standard conditions, staff recommends approval of the project.

REQUIRED FINDINGS FOR APPROVAL

Environmental Review

The project has been determined to be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15332 (In-Fill Development Projects). Consistent with this exemption, the project is: consistent with the applicable general plan designation, zoning regulations, and general plan policies; is less than five acres in size, substantially surrounded by urban uses; has no habitat value for special status species; will not result in any significant impacts regarding traffic, noise, air quality, or water quality; and can be adequately served by all required utilities and public services.

Architectural Review

According to the Chico Municipal Code Section 19.18.060, the Architectural Review and Historic Preservation Board shall determine whether or not a project adequately meets adopted City standards and design guidelines, based upon the following findings:

1. *The proposed development is consistent with the General Plan, any applicable specific plan, and any applicable neighborhood or area plans.*

The proposed use is consistent with the Commercial Mixed-Use designation for the site, which accommodates a wide variety of services uses, including those which are auto oriented (such as vehicle repair and maintenance). The project's location would be compatible with surrounding land uses and enhance the commercial services available at this location, consistent with General Plan goals and policies to promote compatible infill development (LU-2.4, 4.2, 4.4). No specific, area, or neighborhood plans apply to the project.

2. *The proposed development, including the character, scale, and quality of design are consistent with the purpose/intent of this chapter and any adopted design guidelines.*

The project is consistent with Design Guidelines (DGs) for commercial and office uses. The building entry is a dominate feature, obvious from the street (DG 2.1.13 and 2.2.23) and the parking areas are screened from street views with landscaping (DG 2.1.25, 2.1.26 and 2.1.27). A pedestrian path of travel is provided from the public sidewalk to all buildings onsite (DG 2.1.24). All utilities as well as the new trash enclosure will be screened from view from view (DG 2.1.36 and 2.2.28). Proposed landscaping is thoughtful and provides

adequate shading and buffering between adjacent properties (DG 2.1.28). The project incorporates appropriate massing, fenestration, and materials to provide a pedestrian-level scale (DGs 1.1.15, 2.2.11 and 2.2.31), and the scale and character of the project would not overwhelm the neighborhood (DG 1.2.13).

- 3. The architectural design of structures, including all elevations, materials and colors are visually compatible with surrounding development. Design elements, including screening of equipment, exterior lighting, signs, and awnings, have been incorporated into the project to further ensure its compatibility with the character and uses of adjacent development.*

The proposed building would feature a modern industrial appearance and new landscaping features. Elements of the existing building including the vertical metal siding and gray color will be carried over to the new building to create a harmonious appearance while incorporating additional materials such as horizontal siding and plaster and a varied color palette. The main entry is defined by a black metal canopy structure that would wrap around the corner of the building and accented with blue-colored horizontal siding. Showroom style glass sectional doors would be used in place of traditional roll-up service bay doors, providing a more striking and modern aesthetic. The design would incorporate a parapet wall and extended roof overhang to break up the flat roof line. The site is appropriately lit, featuring wall-mounted gooseneck fixtures, and design elements have been incorporated into the project so ensure its compatibility with the character of the surrounding development. Exterior equipment will be properly screened from view by roof parapets and landscaping.

- 4. The location and configuration of structures are compatible with their sites and with surrounding sites and structures, and do not unnecessarily block views from other structures or dominate their surroundings.*

The project's location would be compatible with surrounding land uses and enhance the commercial services available at this location. The use is also consistent with the City's desire for intensification and revitalization of commercial uses on busy corridors. The building will not unnecessarily block views or dominate its surroundings.

- 5. The general landscape design, including the color, location, size, texture, type, and coverage of plant materials, and provisions for irrigation and maintenance, and protection of landscape elements, have been considered to ensure visual relief, to complement structures, and to provide an attractive environment.*

The proposed landscaping will provide visual relief and adequate shading in the parking areas. New landscaping along the street frontage will provide good "curb appeal" and fulfill the intended function of screening the parking areas over time.

RECOMMENDED CONDITIONS OF APPROVAL

1. All approved building plans and permits shall note on the cover sheet that the project shall comply with AR 20-15 (Perkins Auto Glass). No building permits related to this approval shall be finalized without authorization of Planning staff.
2. The permittee shall comply with all other State and local Code provisions, including

those of the Building Division, Public Works Department, Fire Department, and Butte County Environmental Health. The permittee is responsible for contacting these offices to verify the need for permits.

3. All wall-mounted utilities and roof or wall penetrations, including vent stacks, utility boxes, exhaust vents, gas meters and similar equipment, shall be screened by appropriate materials and colors. All parapet caps and other metal flashing shall be painted, consistent with the approved building colors. Adequate screening shall be verified by Planning staff prior to issuance of a certificate of occupancy.
4. Size and species of the proposed parking lot shade tree shall be verified by the Urban Forest Manager prior to building permit issuance.
5. The applicant shall defend, indemnify, and hold harmless the City of Chico, its boards and commissions, officers and employees against and from any and all liabilities, demands, claims, actions or proceedings and costs and expenses incidental thereto (including costs of defense, settlement and reasonable attorney's fees), which any or all of them may suffer, incur, be responsible for or pay out as a result of or in connection with any challenge to or claim regarding the legality, validity, processing or adequacy associated with: (i) this requested entitlement; (ii) the proceedings undertaken in connection with the adoption or approval of this entitlement; (iii) any subsequent approvals or permits relating to this entitlement; (iv) the processing of occupancy permits and (v) any amendments to the approvals for this entitlement. The City of Chico shall promptly notify the applicant of any claim, action or proceeding which may be filed and shall cooperate fully in the defense, as provided for in Government code section 66474.9.

PUBLIC CONTACT

Public notice requirements are fulfilled by placing a notice on the project site and by posting of the agenda at least 10 days prior to the ARHPB meeting.

ATTACHMENTS

- A. Location Map
- B. Architect's Project Description
- C. Site Plan
- D. Color Elevations
- E. Colors and Materials
- F. Landscaping Plan

DISTRIBUTION

Mike Sawley, Senior Planner

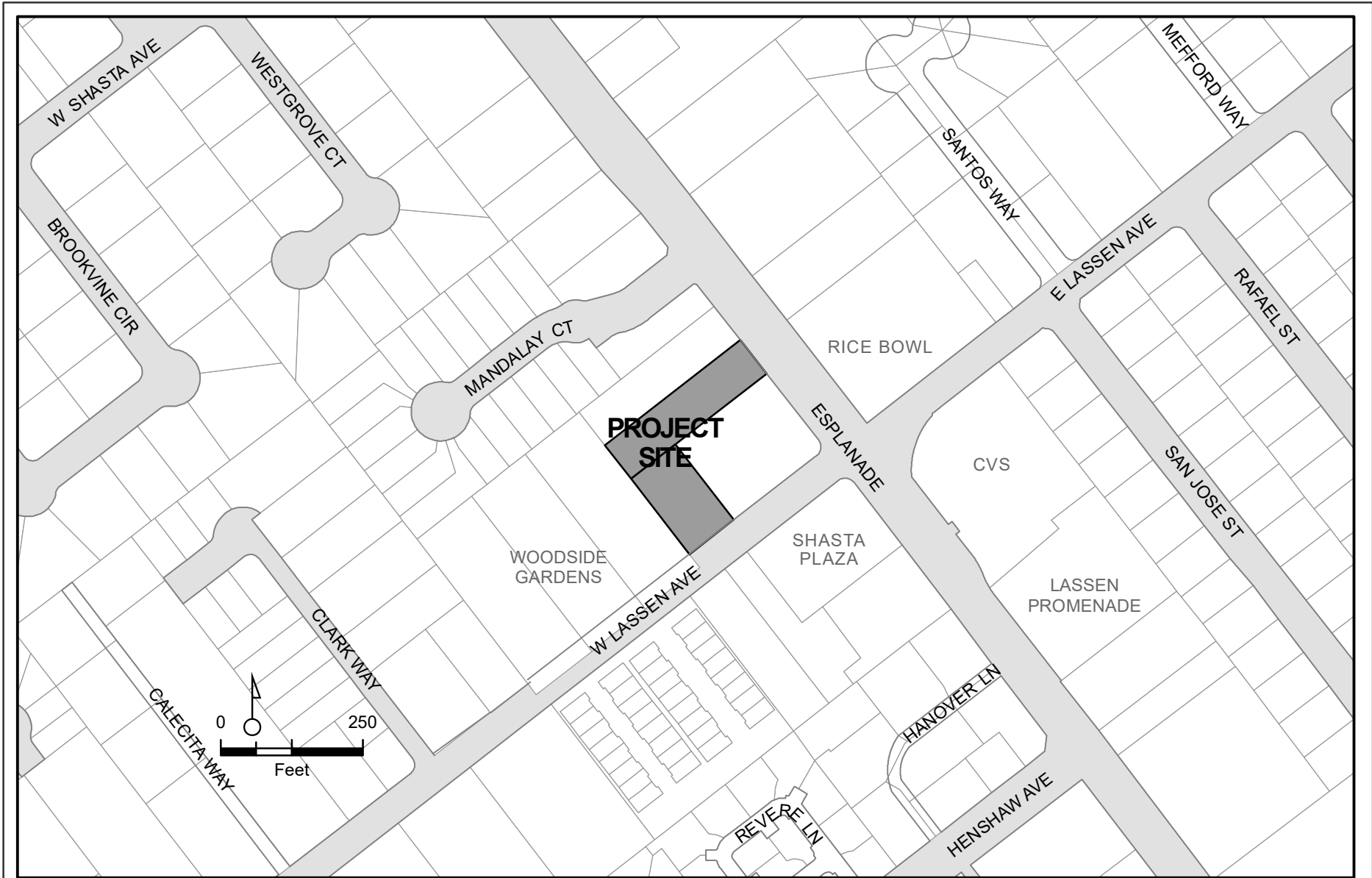
Kelly Murphy, Project Planner

Gary Hawkins Architect, 3045 Ceres Avenue, Ste. 135, Chico, CA 95973

(info@ghachico.com)

John and Lisa Perkins, 4014 Augusta Lane, Chico, CA 95973 (42586lisap@gmail.com)

File: AR 20-15



AR 20-15 (Perkins Auto Glass)
2819 Esplanade
APNs 006-350-022-000, 006-350-028-000





**GARY HAWKINS
ARCHITECT**

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June 9th, 2020

Architectural Review and Historic Preservation Board
City of Chico Planning Department
411 Main Street
Chico, CA 95928

RE: New Commercial Building for:
Perkins Mobile Auto Glass
2819 Esplanade
Chico, CA 95973
APN: 006-350-022 & 006-350-028

We are pleased to present a design concept for construction of a new commercial building at 2819 Esplanade, and the development of adjacent property as a parking facility. It is our intent that the design is consistent with the City of Chico Design Guidelines. The existing property consists of a 3-bay automotive service building (window tinting and glass repair) located at the rear of the site, an asphalt parking lot, and a concrete pad where a former building was located. The adjacent lot is covered in gravel and used as a parking area. No landscaping is currently present on either lot.

The proposed building will be approximately 3,868 square feet, consisting of 4 automotive service bays, administrative offices, and a customer lobby. The structure will be located midway on the lot, allowing for a small parking area at the front of the site with a landscaped buffer between the sidewalk along Esplanade. New landscaping will also be provided at the interior of the lot. The adjacent gravel parking area will be developed with asphalt paving and landscaping. A generous planting area will be provided along the property line abutting the adjacent apartment complex allowing for the planting of shade trees and buffering between the two properties.

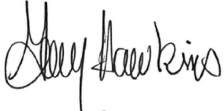
This project will incorporate the following design elements:

- Provide pedestrian path of travel from the city sidewalk to all buildings on site and rack for bicycle parking. DG 2.1.24
- Parking areas will be screened with landscaping. DG 2.1.25
- Numerous trees will be added to the site providing parking shading and buffering adjacent properties. DG 2.1.28
- A screened trash enclosure will be added, and utilities will be screened/hidden from view. DG 2.1.36 & 2.2.28

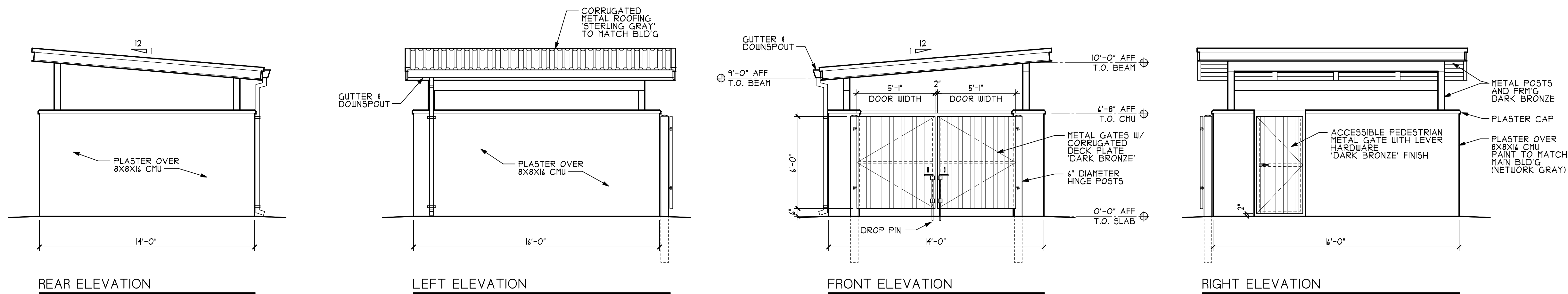
- Elements of the existing building including the vertical metal siding and gray color will be carried over to the new building to create a harmonious appearance while incorporating additional materials such as horizontal siding and plaster and a varied color palette. A parapet wall and extended roof overhang will add visual interest. Showroom style glass sectional doors will be used in place of traditional roll-up service bay doors to provide a striking design aesthetic. DG 2.2.31, 32, 33.

It is our hope that this development will provide an improvement to both the existing facility and the community.

Sincerely,

A handwritten signature in black ink that reads "Gary Hawkins". The signature is written in a cursive, flowing style.

Gary Hawkins
Gary Hawkins Architect



REAR ELEVATION

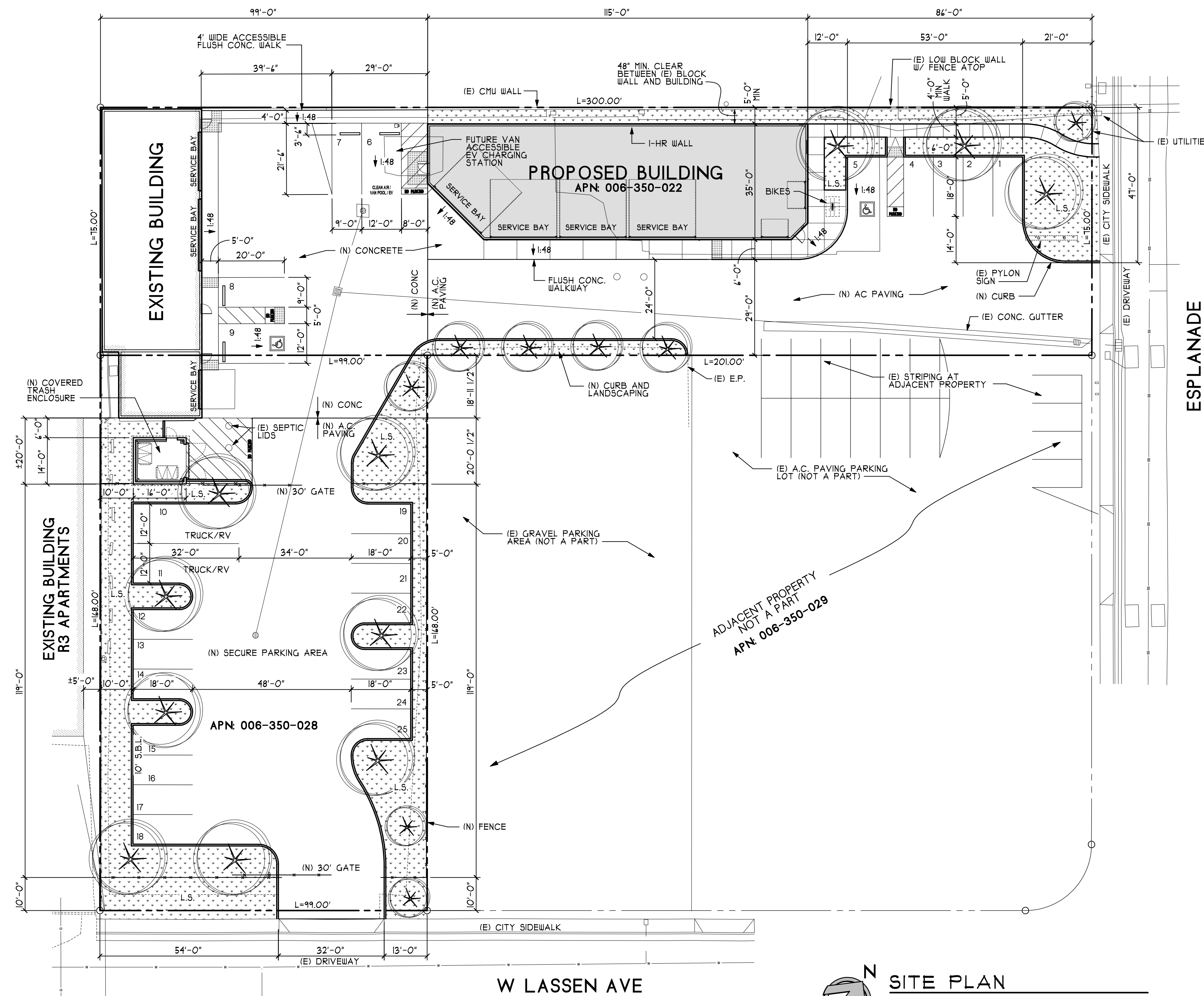
LEFT ELEVATION

FRONT ELEVATION

RIGHT ELEVATION

TRASH ENCLOSURE

SCALE: 1/4"=1'-0"



SITE PLAN
SCALE: 1"=20'-0"
0 10 20 40

PARKING ANALYSIS

REQUIRED
1 space for each 425 sq.ft. of gross floor area, plus 1 space for each 2,500 sq.ft. of outdoor service area, plus 1 space for each 375 sq.ft. of gross floor area for the parts department plus adequate queuing lanes.

APN: 006-350-022
(E) BUILDING: OFFICE 400 SF, SERVICE 1555 SF
(N) BUILDING: OFFICE 2,002 SF, SERVICE 2,434 SF
OFFICE: 2,402 SF / 375 SF = 1 SPACES
SERVICE: 4,189 SF / 425 SF = 1 SPACES
PROPOSED PARKING = 9 SPACES
2 VAN ACCESSIBLE STALLS (1 AT EA. BLD'G)
1 STANDARD
1 CLEAN AIR (VAN ACCESSIBLE, FUTURE EV CHARGING)

APN: 006-350-028
(E) BUILDING: OFFICE 505 SF, SERVICE 505 SF
SERVICE: 505 SF / 425 SF = 1 SPACE
PROPOSED PARKING = 14 SPACES
14 STANDARD
2 TRUCK/RV

TOTAL PROPOSED PARKING = 25 STALLS

DESIGNATED CLEAN AIR
CGBSC 5.104.5.2

TTL PARKING	NUMBER REQ'D
0-9	0
10-25	1
26-50	3

PARKING LOT = 28 STALLS
MARK 1 STALL(S) AS:
CLEAN AIR/
VANPOOL/EV

FUTURE ELECTRIC VEHICLE CHARGING
CGBSC 5.104.5.3

TTL PARKING	NUMBER REQ'D
0-9	0
10-25	1
26-50	2

PROVIDE RACEWAY TO FACILITATE INSTALLATION OF FUTURE EV CHARGING STATION AT THE DESIGNATED CLEAN AIR PARKING STALL.
EV CHARGING STATION SHALL BE VAN ACCESSIBLE PER CBC 1B-228.8

BICYCLE PARKING
CMC TABLE 5-4
REPAIR GARAGE: 1 SPACE REQ'D
BSC-CG 5.104.4.1
5% OF VEHICLE PARKING: 2 SPACES REQ'D
PROVIDE 1 INVERTED 'U' STYLE RACK, PARKS 2 BIKE.

GENERAL NOTES

- CONSTRUCTION SAFEGUARDS AND PEDESTRIAN PROTECTION SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF WORK IN COMPLIANCE WITH 2019 CBC CHAPTER 33.
- REFER TO DRAWINGS BY LANDSCAPE ARCHITECT FOR NEW AND REPLACEMENT PLANTING, IRRIGATION, ETC.
- COORDINATE WITH OWNER ADDITIONAL REPAIRS TO EXISTING CONCRETE CURBS, A.C. PAVING, ETC.
- GRADES SHOWN ON PLAN ARE FOR REFERENCE. THE SITE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED GRADES PRIOR TO ANY WORK.

CODE ANALYSIS

CODE: 2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA GREEN BUILDING CODE
CITY OF CHICO MUNICIPAL CODE

OCCUPANCY: B / F-1

USE: OFFICE / AUTO GLASS REPAIR

CONSTRUCTION TYPE: V-B NON-SPRINKLERED

ZONING: CC - COMMUNITY COMMERCIAL ABUTS R2 ZONE

LAND USE: CMU - COMMERCIAL MIXED USE

SETBACKS: FRONT: BLOCK PARTLY WITHIN R3 ZONING DISTRICT, MATCH SETBACK: 10' MAIN BLD'G, 20' GARAGE/CARPORT
SIDES & REAR: NONE (WHERE SIDE ABUTS AN R DISTRICT)

BUILDING HEIGHT: 24'-4" (40'-0" ALLOWABLE)
504.3

STORIES: B: 2 (2 ALLOWABLE)
F-1: 1 (1 ALLOWABLE)
504.4

ALLOWABLE BLDG AREA:	OCC.	BASIC	INCREASE	TOTAL
504.2	F-1	8,500 SF	+ (8,500 x 0.37) =	11,445 SF
504.3	B	9,000 SF	+ (9,000 x 0.37) =	12,330 SF

AREA INCREASE:
 $I_f = (185' / 300' - 0.25) 30 / 30 = 0.31$

STORY 1:	B	F-1	RATIO
1,234/12,330 + 2,434/11,445 =	33		
STORY 2:	768/12,330 + 0 =	0.4	

ACTUAL BUILDING AREA: PROPOSED BUILDING:
TOTAL AREA: 4,434 SF
FOOTPRINT: 3,848 SF
UNCONDITIONED AREA:
SHOP: 2,434 SF
CONDITIONED AREA:
1st FLOOR: 1,234 SF
2nd FLOOR: 768 SF

RATED WALLS: 508.4
402
OCCUPANCY SEPARATION 508.4
B (-) F-1 = NO SEPARATION REQ'D
EXTERIOR WALL FIRE SEPARATION 402
FIRE SEPARATION DISTANCE TO PROPERTY LINE = 5'-0" (MIN.)
FIRE RESISTANCE RATING = 1 HOUR

OCC. LOAD:	TYPE	CLASS	AREA	LOAD	OCC
PER CBC TABLE 1004.1.2	OFFICE	B	1,848 SF	GR5	1/150 19
	BREAK RM	B	11 SF	NET	1/15 8
	SHOP	F-1	2,434 SF	GR5	1/100 21
	TOTAL BUILDING OCCUPANT LOAD: 54				

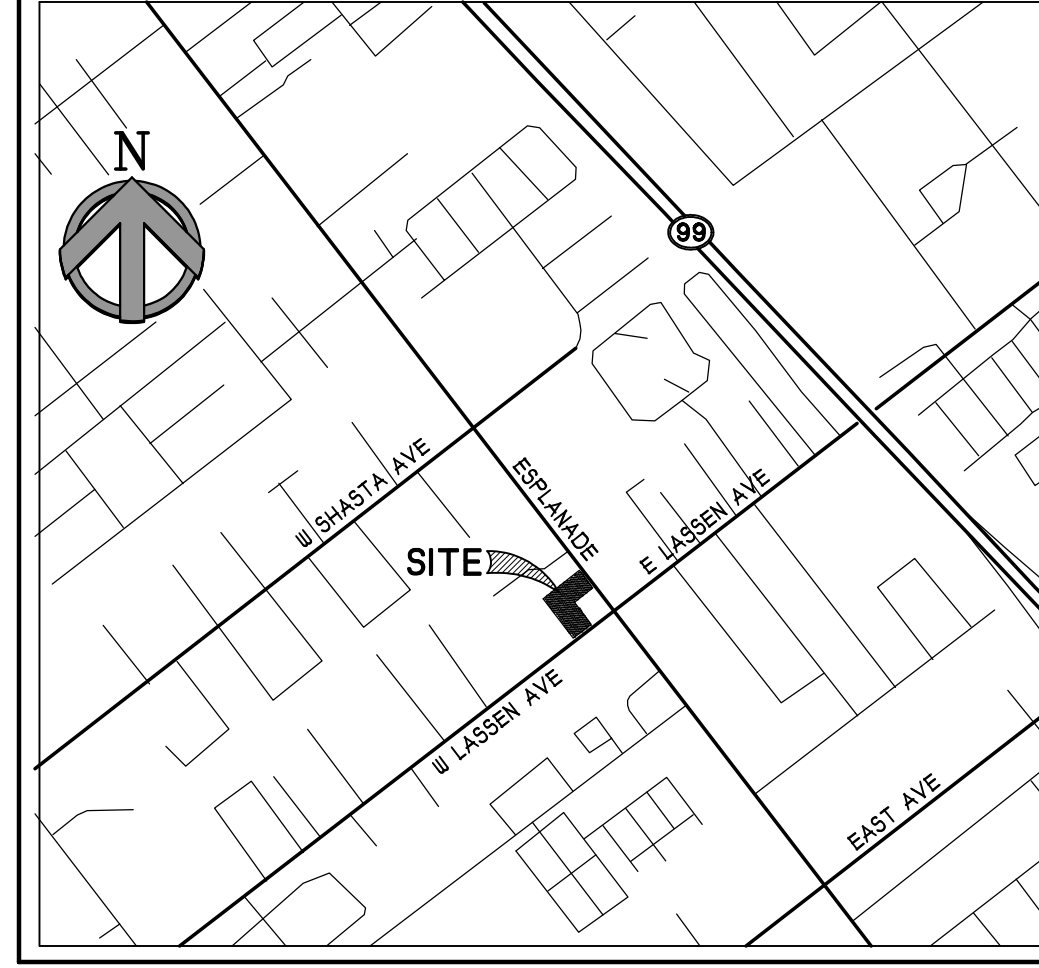
EXITS: SHOP (F-1)
1 EXIT REQUIRED, 1 EXIT PROVIDED
OFFICES (B)
1 EXIT REQUIRED, 1 EXIT PROVIDED
REFER TO SHEET G21 FOR LIFE SAFETY PLAN

SITE COVERAGE

APN: 006-350-022	0.52 ACRES	
DESCRIPTION	AREA	COVERAGE %
PAVING	11,454 SF	52%
LANDSCAPING	2,420 SF	12%
STRUCTURES	4,100 SF	21%
WALKS	2,114 SF	9%
TOTAL	22,500 SF	100 %

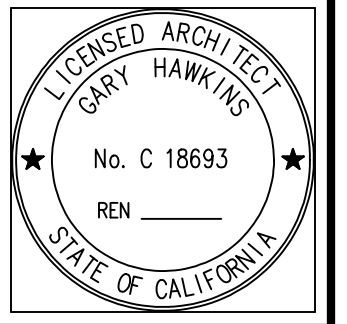
APN: 006-350-028	0.38 ACRES	
DESCRIPTION	AREA	COVERAGE %
PAVING	10,402 SF	64%
LANDSCAPING	5,133 SF	31%
STRUCTURES	702 SF	4%
WALKS	195 SF	1%
TOTAL	16,432 SF	100 %

VICINITY MAP



Revisions:
Plot Date: 1/28/2020

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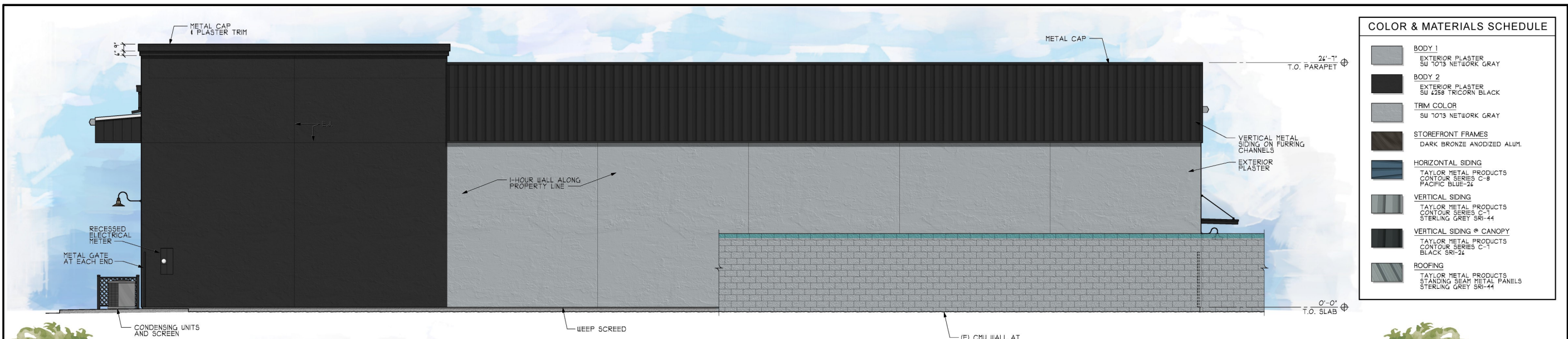


006-350-022

NEW COMMERCIAL BUILDING FOR:
PERKINS GLASS
2819 ESPLANADE, CHICO CA

Date: 1-2020
Drawn: GC
Job No: 20-024

SHEET NUMBER:
AS1.1
of:



NORTHWEST ELEVATION

SCALE: 3/16"=1'-0"

COLOR & MATERIALS SCHEDULE	
	BODY 1 EXTERIOR PLASTER SU 7073 NETWORK GRAY
	BODY 2 EXTERIOR PLASTER SU 4258 TRICORN BLACK
	TRIM COLOR SU 7073 NETWORK GRAY
	STOREFRONT FRAMES DARK BRONZE ANODIZED ALUM.
	HORIZONTAL SIDING TAYLOR METAL PRODUCTS CONTOUR SERIES C-8 PACIFIC BLUE-24
	VERTICAL SIDING TAYLOR METAL PRODUCTS CONTOUR SERIES C-1 STERLING GREY SRI-44
	VERTICAL SIDING @ CANOPY TAYLOR METAL PRODUCTS CONTOUR SERIES C-1 BLACK SRI-24
	ROOFING TAYLOR METAL PRODUCTS STANDING SEAM METAL PANELS STERLING GREY SRI-44



SOUTHWEST ELEVATION

SCALE: 3/16"=1'-0"



NORTHEAST ELEVATION - ESPLANADE

SCALE: 3/16"=1'-0"



SOUTHEAST ELEVATION

SCALE: 3/16"=1'-0"

Revisions:

Plot Date: 8/13/2020

GJH4
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LICENSED ARCHITECT
GARY HAWKINS
No. C 18693
REN
STATE OF CALIFORNIA

006-350-022

NEW COMMERCIAL BUILDING FOR:
PERKINS GLASS
2819 ESPLANADE, CHICO CA

Date: 1-2020
Drawn: GC
Job No: 20-024

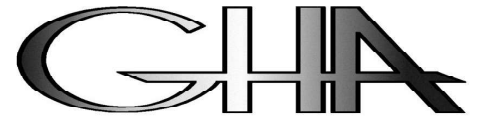
SHEET NAME:
COLOR ELEVATIONS

SHEET NUMBER:
A22
of:

PERKINS MOBILE AUTO GLASS

2819 ESPLANADE, CHICO, CA 95973

APN: 006-350-022

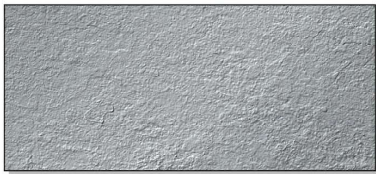


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COLORS AND MATERIALS



EXTERIOR PLASTER
SW 7073 NETWORK GRAY



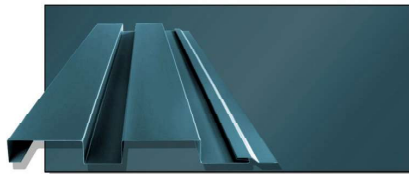
STOREFRONT FRAMES
DARK BRONZE ANODIZED ALUM.



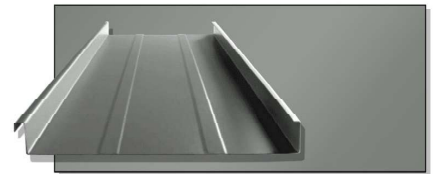
VERTICAL SIDING @ CANOPY
TAYLOR METAL PRODUCTS
CONTOUR SERIES C-7
BLACK SRI-26



EXTERIOR PLASTER
SW 6258 TRICORN BLACK



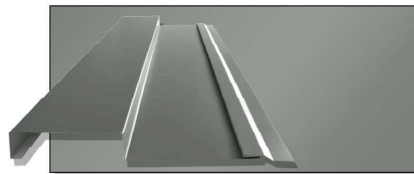
HORIZONTAL SIDING
TAYLOR METAL PRODUCTS
CONTOUR SERIES C-8
PACIFIC BLUE-26



ROOFING
TAYLOR METAL PRODUCTS
STANDING SEAM METAL PANELS
STERLING GREY SRI-44



TRIMS
SW 7073 NETWORK GRAY



VERTICAL SIDING
TAYLOR METAL PRODUCTS
CONTOUR SERIES C-7
STERLING GREY SRI-44



PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
○	LIGULARIA × 'TUSCULARA'	CRANE HYDRIL CORAL PINK	18 GAL		8	
○	PTACIA DINBIRD 'KETHI DAVEY'	KETHI DAVEY DINBIRD PTACIA	18 GAL		5	
○	ZEUGA SERRATA 'VILLAGE GREEN'	SASLEAF ZEUGA	18 GAL		4	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
○	COLEHEMIA PULCHRUM 'DIARF PINK'	DIARF PINK BREATH OF HEAVEN	9 GAL		13	
○	DODONAEA VISCOSA 'PURPUREA'	PURPLE LEAFED HOPSPEED BUSH	9 GAL		21	
○	LOROPETALUM CHINENSIS RUBRUM 'RAZLEBERRY'	RAZLEBERRY FRINGE FLOWER	9 GAL		21	
○	NANDINA DOMESTICA 'COMPACTA'	COMPACT HEAVENLY BAMBOO	9 GAL		18	
○	PRUNUS CAROLINANA 'COMPACTA'	CAROLINA CHERRY	9 GAL		46	
○	RHAPHOLEPIS INDICA 'BALLERINA'	BALLERINA INDIAN HAWTHORN	9 GAL		48	
○	ROSA × FLOWER CARPET WHITE	ROSE	2 GAL		23	
○	TEUCRIUM × LUCIDRYS PROSTRATUM	GERMANDER	1 GAL		13	
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
○	DIETES VEGETA	AFRICAN IRIS	9 GAL		21	
○	ERIGERON KARVINSKIANUS 'PROFUSION'	SANTA BARBARA Daisy	1 GAL		14	
○	TULBAGHA VIOLACEA 'SILVER LACE'	SILVER LACE SOCIETY GARLIC	9 GAL		12	
VEGETATION	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
○	PHARTHENOCISSUS TRICOLORATA 'VEITCHI'	DORON VIT	9 GAL		29	
○	TRACHELOPERFUM JAPONICUM	STAR JASMINE	9 GAL	STAKED	4	
MATERIALS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY
■	3/4 CRUSHED ROCK BONGHA GOLD OR EQUAL	2" DEPTH OVER LANDSCAPE FABRIC	2" DEPTH			164 SF
■	DRAIN PIPER 1/2" HDPE	METALL OVER LANDSCAPE FABRIC	1-1/2" HDPE			9-12 SF

SHADE CALCULATIONS

Shade Calculations: Perkins Glass, Chico CA

Botanical Name	Common Name	Quantity	Shade at 20% off/total	at 20% 80%	25% 75%	80% 20%	Total
Platanus chinensis 'Kethi Davey'	Chinese Platanus	5	1,296	2	1	0	1,303.00
Zelkova sericea 'Village Green'	Japanese Zelkova	6	1,256	0	2	4	6,592.00
Total Shade Allowed		11	2	2	3	4	8,792.00
parking lot area to be shaded							15,620.00
Less carport area							0.00
Shade Provided*							8,792.00
% Shade Provided*							55.25%

(*Parking lot area requiring 30% shade / divided by shade provided by new trees)



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**PERKINS GLASS
LANDSCAPE DEVELOPMENT PLANS
2819 ESPLANADE
CHICO, CALIFORNIA**

LANDSCAPE PLAN



Project No: 210P Sheet No:
Drawn By: THP
Scale: 1"=20'
Date: 11 JUN 2020
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