



Architectural Review  
and Historic Preservation Board  
Agenda Report

Meeting Date 7/10/2019

DATE: June 10, 2019

File: AR 19-13

TO: Architectural Review and Historic Preservation Board

FROM: Shannon Costa, Associate Planner, (879-6807, shannon.costa@chicoca.gov)  
Community Development Department

RE: Mangrove Commercial (AR 19-13), 1030 Mangrove Avenue, APN 003-220-051

### RECOMMENDATION

Staff recommends that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve the proposed project, subject to the recommended conditions.

### Proposed Motion

I move that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve Architectural Review 19-13 (Mangrove Commercial), subject to the recommended conditions.

### BACKGROUND

The applicant proposes to construct a new two story, mixed use commercial building. The site is located on the east side of Mangrove Avenue, approximately 415-feet south of the intersection of Mangrove Avenue and E. 1<sup>st</sup> Avenue (see **Attachment A**, Location Map and **Attachment B**, Site Plan). The site is zoned CC-COS (Community Commercial with Corridor Opportunity Site) and is designated Commercial Mixed Use by the General Plan.

The proposed development includes demolition of the existing commercial building and reconstruction of a new building within the same footprint. The drive-through facility is an existing, allowed use, authorized under a previously-approved use permit. The drive-through use would maintain compliance with all previously imposed conditions of approval and the approved site plan.

### DISCUSSION

The proposed building would be 7,000 square feet in size, and includes space for restaurant, retail and office uses (see **Attachment C**, Project Description). The proposal would utilize many of the existing site improvements, including vehicle parking and access, trash enclosure, and site lighting.

The site plan situates the building at the middle of the site, separated from the public right-of-way by the drive-through aisle and landscaping planter. The site is accessed by two entry points from Mangrove Avenue, each shared by adjacent uses. A total of 35 vehicle parking spaces are provided on site, satisfying the minimum parking requirement for the proposed mix of uses. Two inverted-U bike racks would be installed between the building and the public right-of-way. The frame of an existing ground-mounted sign is located near the front property line and appears to exceed the allowable height for ground-mounted signs in the CC

zoning district. A condition of approval is recommended (see Condition of Approval #5) that the existing sign frame be removed, and that all new signage shall comply with CMC 19.74 (Signs).

The proposed elevations exhibit an agrarian architectural design including board-and-batten siding, standing seam metal roof and single-hung second story windows (see **Attachment D**, Elevations). The building would be rectangular in shape and reach 32-feet at the highest point. The southerly building elevation would feature a gable roof while the northerly elevation would feature both a flat roof and gable roof. The building's exterior finish would be black-brown ("Black Fox") with white trim ("Cloud White"). The metal roof would be dark bronze ("Dark Bronze") and aluminum window systems would be red ("Redwood") (see **Attachment E**, Colors and Materials). Sloped metal awnings are proposed over storefront entries and a flat metal awnings would provide cover at the drive-through window. An existing trash enclosure is located in the northwesterly corner of the site, and a condition of approval is recommended (see Condition of Approval #6) that the enclosure be painted to match the main building. White gooseneck wall-mounted light fixtures are proposed at various locations around the building. Existing parking lot light poles would be retrofitted with LED fixtures to illuminate the customer parking area (see **Attachment F**, Photometrics Plan).

The landscape plans call for improvements to existing landscape planters, including extensive screening for the drive-through aisle (see **Attachment G**, Landscape Plan). Plantings would be a mix of low to medium water demand, including shrubs, grasses and groundcover. Three trees are identified for removal, including two liquid amber trees and one celtis tree. All tree removal is subject to the City's Tree Preservation Regulations (CMC 16.66), including A total of 25 new trees would be planted on site, including Chinese pistache and Canary Island pine. A variety of tree species would provide shade for the vehicle parking area, which is estimated to reach 55-percent at full tree maturity.

## **ANALYSIS**

The project proposes a revitalization of an existing blighted property in the Mangrove Avenue Corridor Opportunity Site. The proposed project would implement General Plan goals and policies that support intensifying and redeveloping opportunity sites. The proposal is consistent with several General Plan policies, including those that encourage compatible infill development (LU-5.1, LU-2.4 and LU-4) and encourage positive neighborhood contributions (LU-4.4). The project is also consistent with goals and policies to enhance Chico's long-term prosperity (ED-1) and ensure that regulations and permitting processes for the conduct of commerce do not unreasonably inhibit local business activity (ED-1.3). Using the existing access driveways is consistent with policy CIRC-1.1 which calls for minimizing new driveways on larger streets.

As mentioned, the proposal utilizes the existing drive-through layout of the site, limiting the orientation and scale of the new building. Because of that, the building is challenged by Design Guidelines (DGs) that call for varied building depth to avoid long, unarticulated elevations, as seen on the building's northerly elevation. Design Guideline consistency is ultimately achieved through scale and character that does not overwhelm the surrounding neighborhood, enhanced landscaping, and minimizing views of parking areas from the public right-of-way (DG 1.2.13, 1.1.14, 2.1.25, 2.1.26 and 2.1.27). Covered storefront entries create a sense of focus so people may easily find the entrance (DG 2.2.23) and building materials

reinforce a sense of permanence, history and place (DG 1.2.32). Roof-mounted HVAC systems are hidden from public view within parapet walls (DG 2.2.28) and safe and convenient bicycle and pedestrian connections are provided (DG 2.1.21). For additional DG consistency analysis, see the applicant's project description, **Attachment B**.

## **REQUIRED FINDINGS FOR APPROVAL**

### Environmental Review

This project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines Section 15302 (Replacement of Reconstruction). Consistent with this exemption, the project involves the replacement of an existing commercial structure with a new structure of substantially the same size, purpose and capacity, located on the same site as the previous structure.

### Architectural Review

According to the Chico Municipal Code Section 19.18.060, the Architectural Review and Historic Preservation Board shall determine whether or not a project adequately meets adopted City standards and design guidelines, based upon the following findings:

1. *The proposed development is consistent with the General Plan, any applicable specific plan, and any applicable neighborhood or area plans.*

The project proposes a revitalization of an existing blighted property in the Mangrove Avenue Corridor Opportunity Site. Opportunity Sites are identified in the General Plan as areas expected to be the focus of change and revitalization. The proposed project would implement General Plan goals and policies that support intensifying and redeveloping opportunity sites. The proposal is consistent with several General Plan policies, including those that encourage compatible infill development (LU-5.1, LU-2.4 and LU-4) and encourage positive neighborhood contributions (LU-4.4). The project is also consistent with goals and policies to enhance Chico's long-term prosperity (ED-1) and ensure that regulations and permitting processes for the conduct of commerce do not unreasonably inhibit local business activity (ED-1.3). Using the existing access driveways is consistent with policy CIRC-1.1 which calls for minimizing new driveways on larger streets.

2. *The proposed development, including the character, scale, and quality of design are consistent with the purpose/intent of this chapter and any adopted design guidelines.*

The purpose and intent of CMC 19.18 (Site Design and Architectural Review) is to promote the general health, safety, welfare and economy of residents in the community through orderly harmonious development, enhancing the desirability of residence or investment in the City and to promote visual environments that are of high aesthetic quality and variety. Design Guideline consistency is achieved through enhanced landscaping and building placement, minimizing views of parking areas from the public right-of-way (DG 1.1.14, 2.1.25, 2.1.26 and 2.1.27). The proposed building is of a size and scale that does not overwhelm the surrounding neighborhood (DG 1.2.13), and covered storefront entries create a sense of focus so people may easily find the entrance (DG 2.2.23). Roof-mounted HVAC systems are hidden from public view within parapet walls (DG 2.2.28) and safe and convenient bicycle and pedestrian connections are

provided (DG 2.1.21). Overall, the proposed project is consistent with the purpose and intent of CMC 19.18.

- 3. The architectural design of structures, including all elevations, materials and colors are visually compatible with surrounding development. Design elements, including screening of equipment, exterior lighting, signs, and awnings, have been incorporated into the project to further ensure its compatibility with the character and uses of adjacent development.*

The design, materials and colors of the proposed new building are visually compatible with surrounding commercial development and would provide much needed enhancement to the Mangrove Avenue corridor. Exterior equipment will be properly screened from view by roof parapets, landscaping or painted to match approved colors. The project utilizes site improvements that have existing compatibly at this location for many years, including site lighting, access and landscape planters.

- 4. The location and configuration of structures are compatible with their sites and with surrounding sites and structures, and do not unnecessarily block views from other structures or dominate their surroundings.*

The location and configuration of the proposed structure is compatible with existing surrounding uses. The building would occupy the same footprint as the previous development and would not unnecessarily block views or dominate its surroundings. The drive through lane will be adequately screened by new and existing landscaping.

- 5. The general landscape design, including the color, location, size, texture, type, and coverage of plant materials, and provisions for irrigation and maintenance, and protection of landscape elements, have been considered to ensure visual relief, to complement structures, and to provide an attractive environment.*

The proposed landscaping will provide visual relief around the new building and would provide much-needed landscape improvements to the site. Particular attention is paid to the drive-through aisle, and new trees would shade the existing parking area. The proposed landscape would provide an attractive environment to an existing blighted building.

## **RECOMMENDED CONDITIONS OF APPROVAL**

1. All approved building plans and permits shall note on the cover sheet that the project shall comply with AR 19-13 (Mangrove Commercial). No building permits related to this approval shall be finalized without authorization of Planning staff.
2. The proposed landscape plan may be modified as necessary to comply with Low Impact Development (LID) requirements, as promulgated under Chico Municipal Code Section 15.50.
3. All wall-mounted utilities and roof or wall penetrations, including vent stacks, utility boxes, exhaust vents, gas meters and similar equipment, shall be screened by appropriate materials and colors. Adequate screening shall be verified by planning

staff prior to issuance of a certificate of occupancy.

4. All new electric, telephone, and other wiring conduits for utilities shall be placed underground in compliance with CMC 19.60.120.
5. The existing ground-mounted sign frame shall be removed, and all new signage shall be permitted through a separate sign permit in compliance with CMC 19.74 (Signs).
6. The existing trash enclosure shall be painted to match the main structure.
7. As required by CMC 16.66, trees removed shall be replaced as follows:
  - a. On-site. For every six inches in DBH removed, a new 15 gallon tree shall be planted on-site. Replacement trees shall be of similar species, unless otherwise approved by the urban forest manager, and shall be placed in areas dedicated for tree plantings. New plantings' survival shall be ensured for three years after the date of planting and shall be verified by the applicant upon request by the director. If any replacement trees die or fail within the first three years of their planting, then the applicant shall pay an in-lieu fee as established by a fee schedule adopted by the City Council.
  - b. Off-site. If it is not feasible or desirable to plant replacement trees on-site, payment of an in-lieu fee as established by a fee schedule adopted by the City Council shall be required.
  - c. Replacement trees shall not receive credit as satisfying shade or street tree requirements otherwise mandated by the municipal code.
  - d. Tree removal shall be subject to the in-lieu fee payment requirements set forth by Chico Municipal Code (CMC) 16.66 and fee schedule adopted by the City Council.
  - e. All trees not approved for removal shall be preserved on and adjacent to the project site. A tree preservation plan, including fencing around drip lines and methods for excavation within the drip lines of protected trees to be preserved shall be prepared by the project developer pursuant to CMC 16.66.110 and 19.68.060 for review and approval by planning staff prior to any ground-disturbing activities.

## **PUBLIC CONTACT**

A 10-day public hearing notice was mailed to all landowners and residents within 500 feet of the site, a legal notice was published in the *Chico Enterprise Record* and a notice was posted on the project site at least 10 days prior to this ARHPB meeting. As of the date of this report no comments have been received in response to the public notice.

## **ATTACHMENTS**

- A. Location Map

- B. Site Plan
- C. Project Description
- D. Elevations
- E. Colors and Materials
- F. Photometrics Plan
- G. Landscape Plans

### **DISTRIBUTION**

Internal (3)

Mike Sawley, Senior Planner

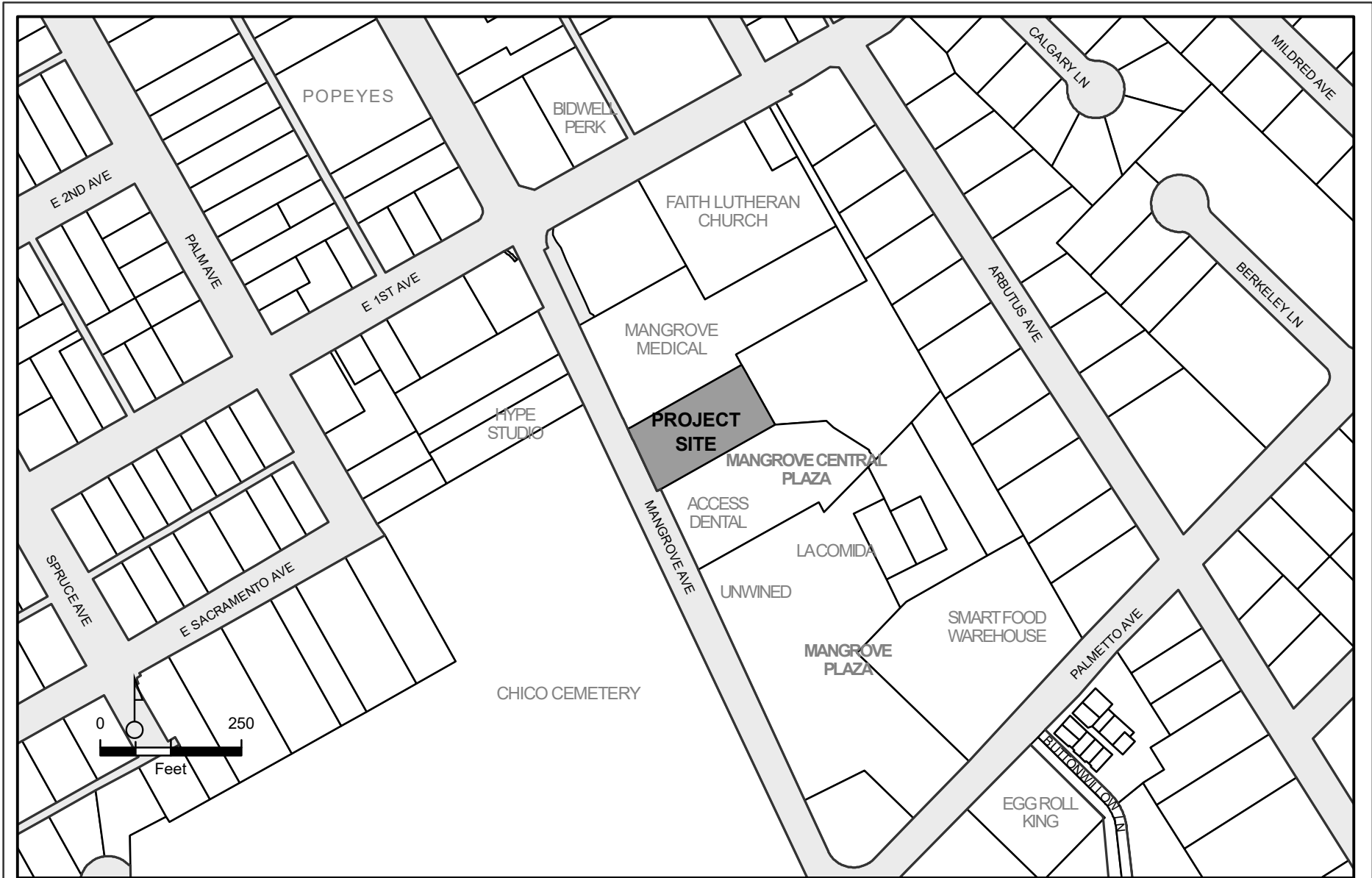
Shannon Costa, Associate Planner

Files: AR 19-13 (Mangrove Commercial)

External

Scott Gibson, email: [scottg@sgarchitect.net](mailto:scottg@sgarchitect.net)

Pacific Property Group, email: [kent@pacificpropertiesgroup.com](mailto:kent@pacificpropertiesgroup.com)



AR 19-13 (Mangrove Commercial)  
 1030 Mangrove Avenue  
 APN 003-220-051-000



**SUMMARY:**

**SITE DATA**

APN:	003-200-051-000
LOCATION:	1030 MANGROVE AVE
LAND (SF):	26,726 SF (0.61 ACRES)
BLDG AREA (SF):	
PROPOSED BUILDING	7,000 SF
TOTAL	7,000 SF
LAND / BLDG.:	3.81
BLDG. %:	26.19%
CURRENT ZONING:	CC (COMMUNITY COMMERCIAL)
EXISTING USE:	RESTAURANT
PROPOSED USE:	RESTAURANT / OFFICE

**BUILDING DATA:**

PARKING REQ'D	TENANT	SQ. FEET.	PARKING REQ'D
SUITE A (QSR)	2,200 SF	23.4	(10.64 PER 1,000 SF)
SUITE B (RETAIL)	837 SF	3.3	(4 PER 1,000 SF)
SUITE C (OFFICE)	3,134 SF	8.3	(2.66 PER 1,000 SF)
ELEVATOR / MECH RM. / STAIRS & LOBBY	829 SF	0	
TOTAL'S	7,000 SF	35	

**PARKING DATA**

PARKING SIZES:	
- STANDARD	9'x20' (14' w/2' O.H.)
- ACCESSIBLE STALLS	9'x20' (14' w/2' O.H.)
- COMPACT	8'x16' (14' w/2' O.H.)
PARKING BASIS:	
- OFFICE (BUSINESS)	2.66 STALLS PER 1,000 SF
- QUICK SERVICE RESTAURANTS	10.64 STALLS PER 1,000 SF
- RETAIL	4 STALLS PER 1,000 SF
TOTAL PARKING REQ'D:	35
PARKING PROVIDED:	
- STANDARD	24
- COMPACTS (3% MAX)	9
- ACCESSIBLE	
REGULAR ACCESSIBLE STALLS	1
VAN ACCESSIBLE STALLS	1
- CLEAN AIR / VANPOOL / EV SPACES:	0
TOTAL PARKING PROVIDED:	35 STALLS

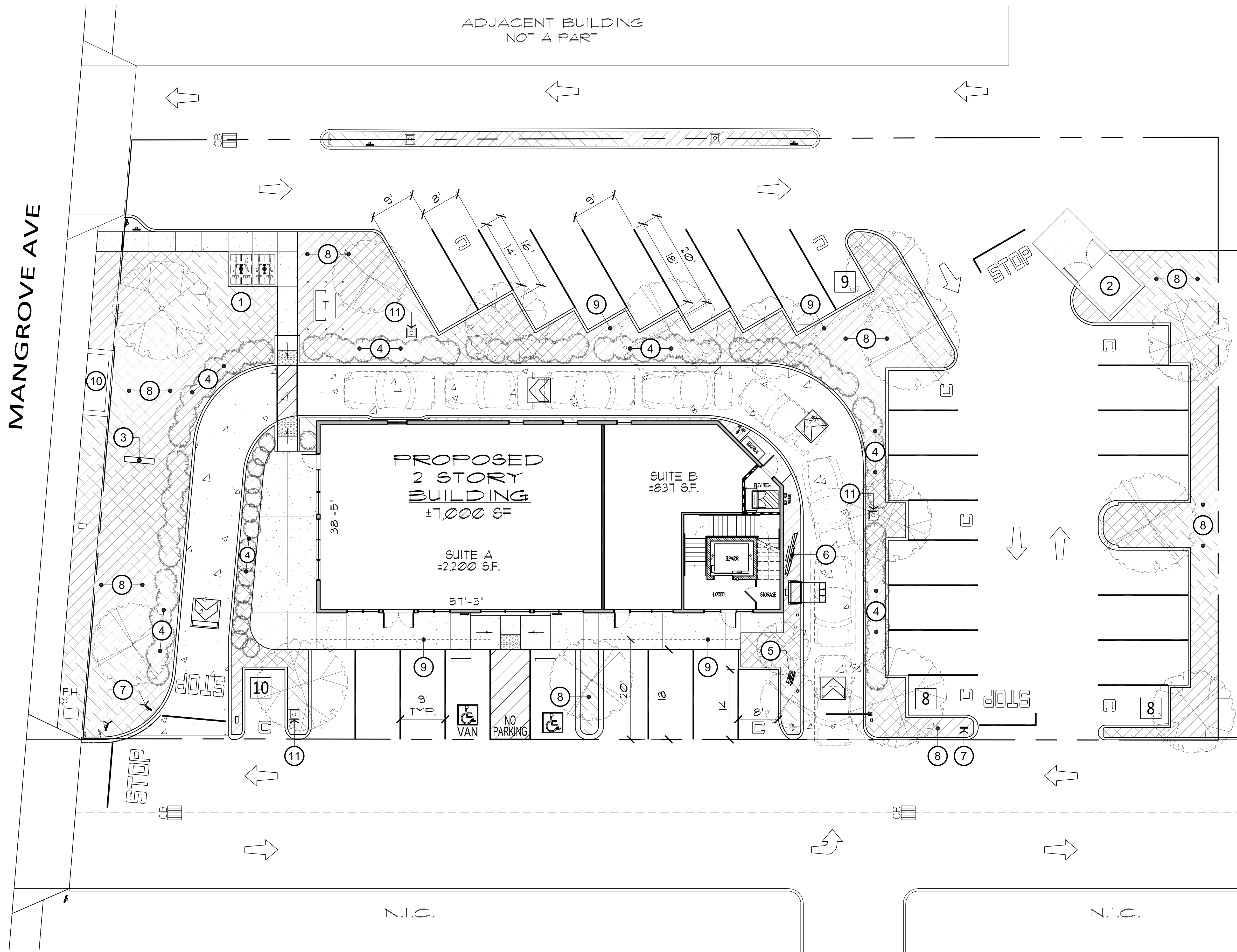
**BIKE RACKS DATA**

BIKE RACKS COUNT:	
SHORT TERM:	35 x 5% = 1.7 (2 BIKES)
TOTAL BIKE RACKS REQ'D:	2
BIKE RACKS PROVIDED:	2

**KEYED NOTES**

- |                                                                    |                                               |
|--------------------------------------------------------------------|-----------------------------------------------|
| ① (N) BICYCLE RACKS<br>REFER TO M1 FOR RACK<br>DETAILS             | ⑥ (N) MENU BOARD WITH<br>ORDER SCREEN         |
| ② (E) TRASH ENCLOSURE                                              | ⑦ (N) STOP SIGNAGE                            |
| ③ (E) MONUMENT SIGN<br>- REFER TO DETAIL                           | ⑧ (N) LANDSCAPE PLANTER                       |
| ④ REFER TO LANDSCAPING<br>PLAN FOR (N) 44" TALL<br>HEDGE SCREENING | ⑨ PARKING STALL OVERHANG                      |
| ⑤ (N) DRIVE THRU PRE-ORDER<br>BOARD                                | ⑩ (E) BUS STOP                                |
|                                                                    | ⑪ (E) PARKING LOT LIGHTING<br>- PAINTED WHITE |

MANGROVE AVE



**REVISIONS**

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1030 MANGROVE AVE.  
CHICO CALIFORNIA 95926

REFERENCE  
SITE PLAN

DATE: 04/04/2019  
JOB NO. 19.019

**A1**

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May 6<sup>th</sup>, 2019

Plan Reviewer  
City of Chico ~ Planning Services Dept.  
POB 3420  
Chico, CA 95927

RECEIVED

MAY 07 2019

CITY OF CHICO  
PLANNING SERVICES



Re: 1030 Mangrove Avenue  
Chico, California 95926  
SGA # 19.019

To whom it may concern,

We are pleased to submit the design documents for the proposed rebuild, a mixed-use building, located 11 1030 Mangrove Avenue.

### Introduction:

This will be a two (2) story, Mixed-Use Building, comprised of the following uses and areas:

1. Quick Service Restaurant (QSR)- First Floor only (with existing Drive-Thru lane)
2. Retail/Commercial – First Floor only
3. Office/Professional – Second Floor

### Land Use Designations:

1. General Plan: CMU ~ COMMERCIAL MIXED USE (Corridor overlay: Mangrove Ave.)
2. Zoning: CC ~ COMMUNITY COMMERCIAL
3. Assessors Parcel Numbers: 003-200-051-000

### Building Areas:

1. Ground Floor:
  - a. QSR 2,200 sq.ft.
  - b. Retail/Commercial 837 sq.ft.
  - c. Lobby, Stairs Elevator 463 sq.ft.
  - d. Total Ground Floor 3,500 sq.ft.
2. Second Floor: Office
  - a. Office/Professional 3,134 sq.ft.
  - b. Lobby, Stairs Elevator 366 sq.ft.
3. TOTAL BUILDING AREA 7,000 sq.ft.

### Architectural Design:

The façade has a contemporary agrarian themed design, with a varied widths of standing seam roof to create a random almost "wood grained" look to the roof & shed canopies. The façade is clad with Board and Batt siding. The color palette features primary building colors for the walls and roof that are

### Architectural Design continued

very rich, dark colors, with white trim accents to create contrast. The storefronts are a rich red color.

We believe that this design will evoke a connection to the agricultural heritage of the Chico community. The building is also accented with white gooseneck lamps that will shine down and will wash the walls with accent lighting. We propose an outdoor patio along the west side of the building to front Mangrove Avenue.

Metal awnings canopies are used throughout the façade entrances and along the pedestrian pathway to provide shade and interesting play of light & shadow.

Rooftop equipment will be fully screened from off-site views by the building's parapet walls and architectural screening as required.

Our intention is to create sight lines that facilitate an attractive and inviting presentation to the streets - for both pedestrians and vehicular traffic. We look to develop a high quality building with a simplified edifice with a sophisticated architectural style which complements Chico's visual character.

### City of Chico DESIGN GUIDELINES:

Chapters 1 & 2 of The City of Chico Design Guidelines Manual were extensively utilized throughout the design process:

- The combinations of colors and building materials such as Board & Batt sheathing, Standing Seam Metal Roof & Canopies and Goose-Neck Lights were selected to complement existing aesthetics in the immediate vicinity, but also reinforce a sense of permanence. [DG 1.1.1, 1.2.13, 1.2.21, 1.2.32]
- Outdoor patios will reinforce a pedestrian-friendly environment by adding outdoor sitting areas all with nearby bicycle parking. [DG 1.1.13]
- The proposed landscape design softens and screen views from the public right-of-way towards the building frontage with multilayered, varied and articulated spaces. [DG 1.1.14, 2.1.26, 2.1.27]
- The patio is situated on the west side of the building which will allows various levels of interaction to the street. [DG 1.1.15]
- Decorative paving is utilized to define pedestrian gathering areas [DG 1.1.33]
- The well-lit site layout enhances safety, security, and surveillance [DG 1.1.35]
- Decorative goose-neck style building lights in addition to recessed under-awning lights provide effective, aesthetic lighting while minimizing glare [DG 1.5.1]
- Shade trees and energy-efficient fixtures are utilized to minimize wasted energy in all 4 seasons. The west elevation is well shaded from mature shade trees. [DG 1.7.1]
- Shop and Restaurant tenants will be consulted throughout the design process to ensure the tenant infills meets both their requirements while also embracing Chico's visual character. [DG 1.8.1]

City of Chico DESIGN GUIDELINES continued

- Varied rooflines add character and style to the building so as to reinforce the sense of place. [DG 1.2.22]
- The bicycle racks are placed in close proximity to the building entrances and provide shade so as to comply with sections [DG 2.1.21, 2.1.31 2.1.32].
- Building design complements surrounding architecture while also taking on its own unique identity by utilizing building materials such as Board & Batt sheathing, Standing Seam Metal Roof & Canopies and Goose-Neck Lights. [DG 2.2.1]
- Building materials, colors, and awnings at the façade create a sense of focus at building entrances and avoid monotony. [DG 2.2.2 & 2.2.3]
- Trash Enclosures are place behind the building, all utility structures will be screened with landscape planting [DG 3.1.35]
- Building elevations are articulated in height, setback and color & finishes to create varied building depth and shadow. [DG 3.2.22]

Compatibility:

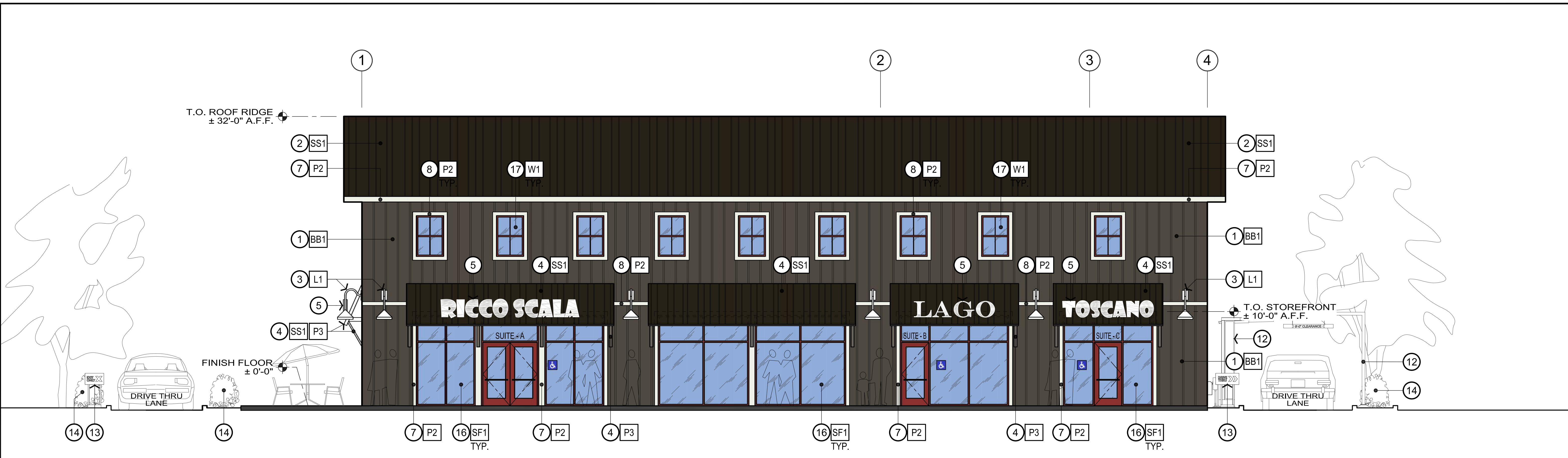
The proposed project would provide the following mitigations:

1. All HVAC units will be completely screened from view with high parapets
2. Outdoor public patios and business entrance shall be located street side(s) of the building.
3. Trash enclosures shall be placed to the rear of the building in the interior parking areas.
4. All Site and Street trees and plantings shall be drought tolerant and meet the approval of the City of Chico Forrester.

**SGA** ~ SCOTT GIBSON ARCHITECT, Inc.

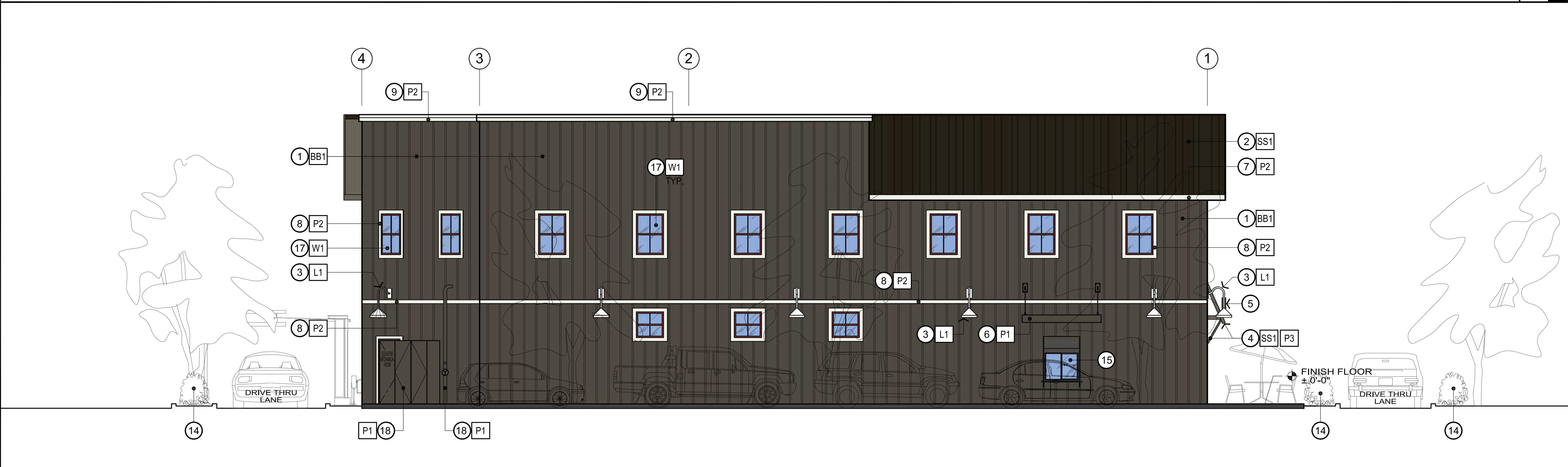


Scott G. Gibson  
California License: C18327



Refer to sheet A.. for typical elevation keyed notes.

South (Front) Elevation | 1



Refer to sheet A.. for typical elevation keyed notes.

North (Rear) Elevation | 2  
 Proposed Exterior Elevations

SCALE: 3/16" = 1'-0"

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1030 MANGROVE AVE.  
 CHICO CALIFORNIA 95926

EXTERIOR  
 ELEVATIONS

DATE: 04/04/2019  
 JOB NO. 19.019

A4

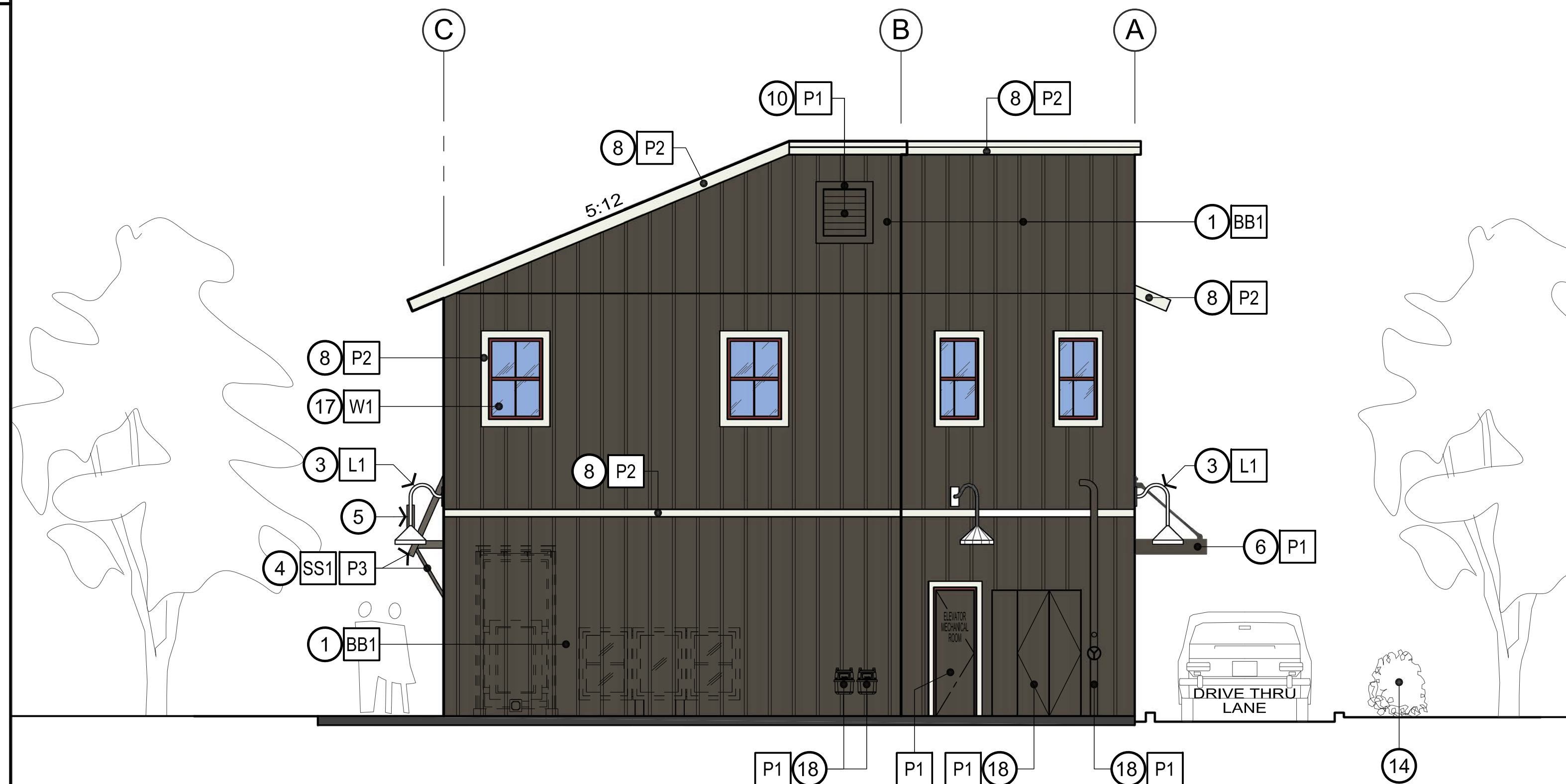
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**KEYED NOTES**

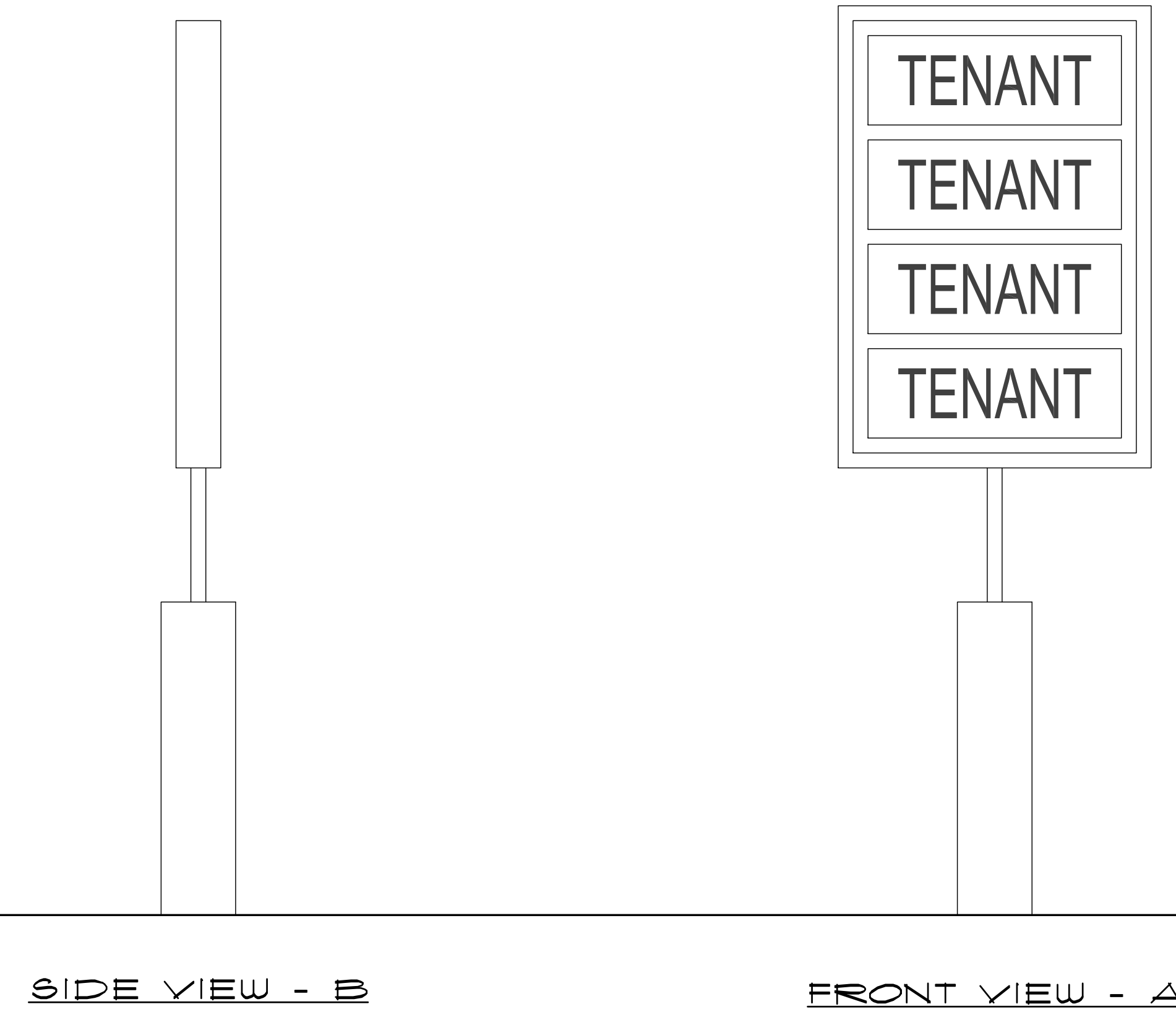
- 1 BOARD AND BATTENS SIDING - PAINT P1
- 2 STANDING SEAM METAL ROOF SYSTEM  
RANDOM 12" AND 24" PANEL WIDTHS
- 3 GOOSE NECK LAMPS - COLOR TO BE WHITE
- 4 SLOPED AWNINGS WITH STANDING SEAM METAL ROOFING  
STANDING SEAM SS1 / AWNING STRUCTURE PAINT P3
- 5 FREE STANDING SIGN LETTERS
- 6 "C" CHANNEL METAL AWNING - PAINT P1
- 7 EAVE, GUTTER AND WINDOW TRIM - PAINT P2
- 8 EXTERIOR TRIM - PAINT P2
- 9 PARAPET CAP TRIM - PAINT P2
- 10 LOUVERED VENT - PAINT P1
- 11 ADDRESS SIGNAGE
- 12 FUTURE TENANT DRIVE THRU MENU BOARD AND HEIGHT  
RESTRICTION BAR
- 13 FUTURE TENANT DRIVE THRU ENTER AND EXIT SIGNAGE
- 14 REFER TO LANDSCAPING PLAN FOR 44" TALL HEDGE  
SCREENING
- 15 DRIVE UP WINDOW  
(PER FUTURE TENANT SPECIFICATIONS)
- 16 STOREFRONT DOOR AND WINDOW SYSTEM -SF1  
WITH CLEAR GLAZING
- 17 SINGLE HUNG EXTERIOR WINDOWS - W1  
- WITH CLEAR GLAZING
- 18 ELECTRICAL GEAR, GAS METERS AND FIRE RISER  
- PAINT P1
- 19 -



West (Left Side) Elevation | 1



East (Right Side) Elevation | 2  
 Proposed Exterior Elevations



Existing Monument Sign | 3

**REVISIONS**

REV DATE:	REV DATE:

1030 MANGROVE AVE.  
 CHICO CALIFORNIA 95926

EXTERIOR  
 ELEVATIONS

DATE: 04/04/2019  
 JOB NO. 19.019

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Thursday, April 04, 2019 9:45:35 AM  
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## BIKE RACK

B1 BIKE RACK  
 MFR: HIGHLAND  
 SPEC: 145-1438 STANDARD STYLE BIKE RACK  
 COLOR: BLACK



B1

## LIGHTING

L1 ALUMINUM GOOSENECK WALL LIGHT  
 MFR: TROY RLM  
 MODEL: 10N76



L1

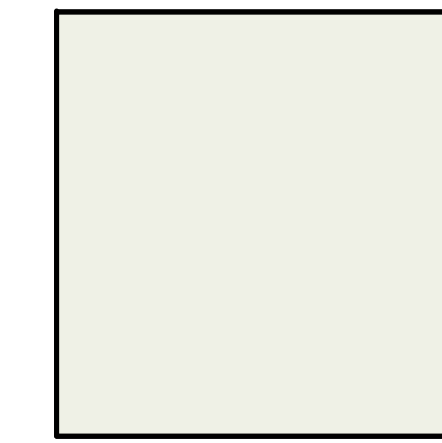
## COLORS

P1 SHERWIN WILLIAMS SW7020 - BLACK FOX  
 P2 BENJAMIN MOORE OC-130 - CLOUD WHITE  
 P3 SHERWIN WILLIAMS SW7047 - PORPOISE

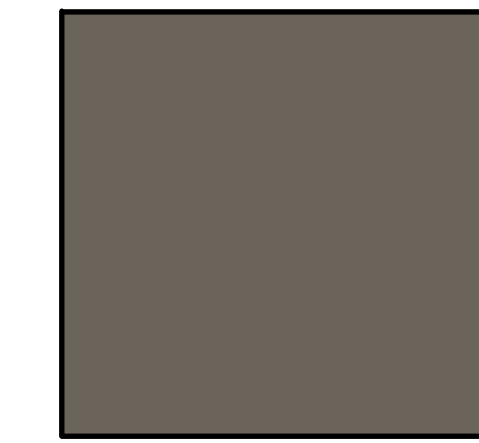
NOTES: ALL EXTERIOR PAINT ACRYLIC LATEX, FLAT SHEEN  
 BLACK PAINT TO BE SATIN SHEEN



P1



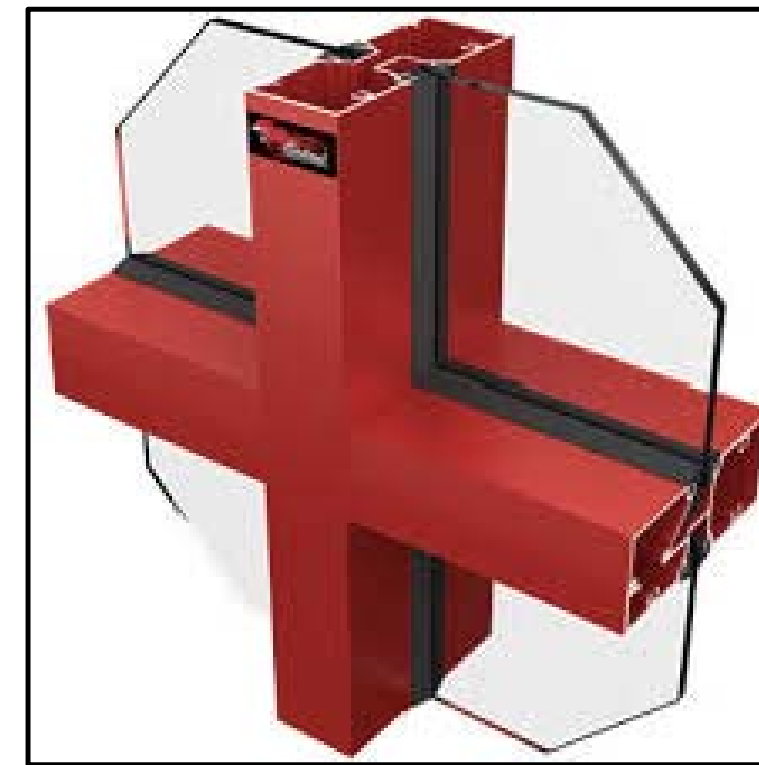
P2



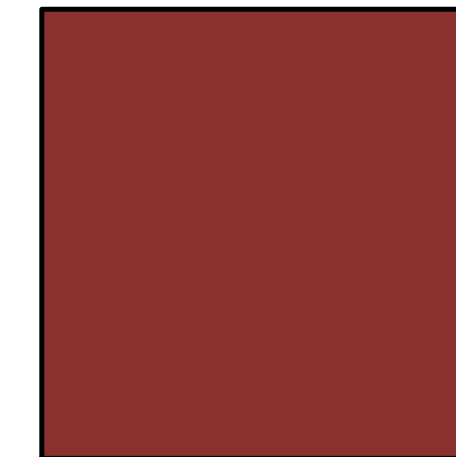
P3

## STOREFRONT SYSTEM

SF1 ANODIZED ALUMINUM STOREFRONT  
 MFR: OLD CASTLE SYSTEM IN REDWOOD 394F125



SF1



REDWOOD  
 394F125

## MATERIALS

BB1 BOARD AND BATTEN  
 MFR: JAMES HARDIE  
 SERIES: FIBER CEMENT SIDING  
 COLOR: PAINTED P1

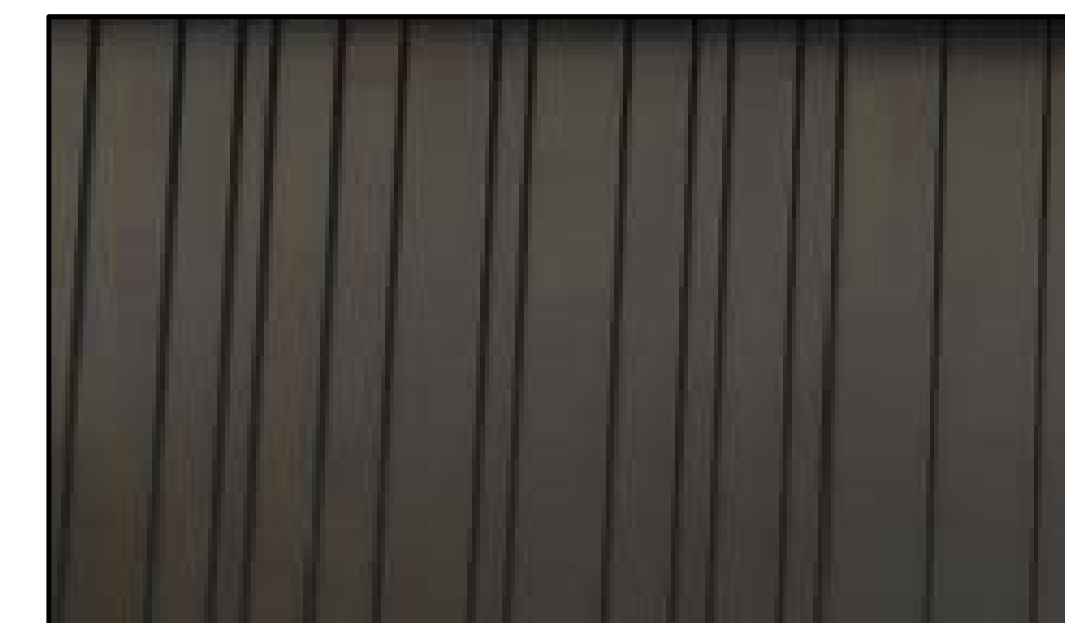
SS1 STANDING SEAM METAL ROOF  
 (ALTERNATING WIDTHS 12", 16" & 18")  
 MFR: METAL SALES  
 COLOR: DARK BRONZE (50)



BB1



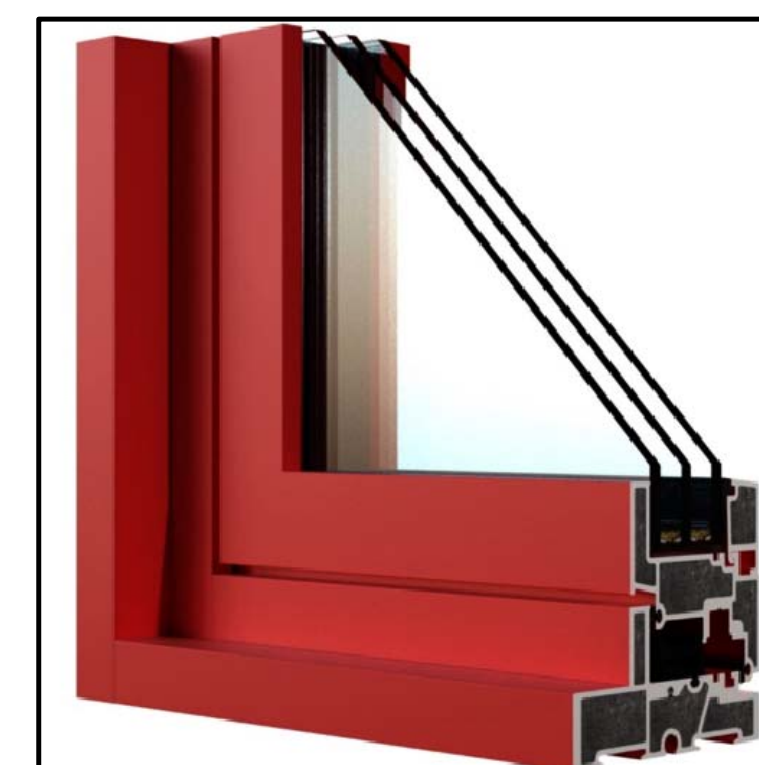
DARK  
 BRONZE (50)



SS1

## SINGLE HUNG VINYL WINDOWS

W1 WINDOWS  
 MFR: PELLA SINGLE HUNG WINDOWS IN REDWOOD



W1



REDWOOD  
 394F125

### REVISIONS

REV DATE:	
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1030 MANGROVE AVE.  
 CHICO CALIFORNIA 95926

MATERIAL AND  
 FINISHES

DATE: 04/04/2019

JOB NO. 19.019

M1

C:\sask\PROJ\2019-050 1030 Mangrove Ave\Drawings\19050-01.dwg Time: Apr 18, 2019 - 04:04pm Login: jgaines DimScale: 1 L1Scale: 0.5 Images: Xrefs: \* Xrefs: vbq24gga.dwg These plans and specifications shall not be reproduced or modified in whole or in part without written consent from Capitol City Design, Inc. Furthermore, Capitol City Design, Inc. disclaims responsibility for these plans and specifications if they are used in whole or in part on any site other than the one for which they were specifically prepared.

### LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER & CATALOG NUMBER	LAMPS	VA	MOUNTING	REMARKS
S1	POLE MOUNTED FIXTURE SINGLE HEAD	LITHONIA DSXO P1 40K T3M HVOLT SPA DDBXD	LED 4000K	30	POLE MOUNTED +18'	
S2	POLE MOUNTED FIXTURE DOUBLE HEAD	LITHONIA DSXO P1 40K T3M HVOLT SPA DDBXD	LED 4000K	76	POLE MOUNTED +18'	
S3	LED 600SE NECK	ANP LIGHTING NE20 M024LD D M 40K UNV E6 41	LED 4000K	24	WALL @ 10'-0"	

### GENERAL NOTES

- THESE GENERAL NOTES ARE INTENDED TO ASSIST THE CONTRACTOR IN THE EXECUTION OF THE ELECTRICAL WORK AND TO BE INCLUDED IN CONJUNCTION WITH THE CONTRACT DOCUMENT DRAWINGS AND SPECIFICATION REQUIREMENTS.
- PROCURE REQUIRED PERMITS AND LICENSES. PAY ALL NECESSARY FEES AND ARRANGE FOR INSPECTIONS REQUIRED BY LOCAL CODES, ORDINANCES AND UTILITY COMPANIES.
- WORKMANSHIP SHALL BE OF THE HIGHEST GRADE. DEFECTIVE EQUIPMENT OR EQUIPMENT DAMAGED IN THE COURSE OF INSTALLATION OR TEST SHALL BE REPLACED OR REPAIRED IN A MANNER MEETING WITH THE ACCEPTANCE OF THE ARCHITECT.
- INSTALL ALL EQUIPMENT, CONDUITS, OUTLETS, AND FIXTURES IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES (CEC, STATE, COUNTY AND CITY).
- DO NOT SCALE PLANS FOR FIXTURES, DEVICES, OR APPLIANCE LOCATIONS. USE FIGURED DIMENSIONS IF GIVEN OR CHECK MECHANICAL AND ARCHITECTURAL PLANS. ALSO REFER TO ACTUAL ON-SITE CONDITIONS.
- ALL MATERIAL AND EQUIPMENT IS TO BE LISTED AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND CEC 110.3.
- ALL ELECTRICAL DEVICES AND EQUIPMENT, FIXTURES, CONDUITS AND WIRING SHOWN ON THESE PLANS ARE NEW, UNLESS OTHERWISE NOTED.
- ALL SWITCHES SHALL BE SPECIFICATION GRADE 20 AMPS A.C., MOUNT ALL TOGGLE SWITCHES AT +48" MAX (TOP OF BOX) AFF UNLESS OTHERWISE NOTED. COORDINATE WITH ARCHITECTURAL DRAWINGS.
- ALL DUPLEX RECEPTACLES SHALL BE SPECIFICATION GRADE, 20 AMP A.C., MOUNT ALL RECEPTACLE, TELEPHONE AND DATA OUTLETS AT +15" MIN (BOTTOM OF BOX) AFF UNLESS OTHERWISE NOTED. COORDINATE WITH ARCHITECTURAL DRAWINGS.
- OUTLET BOXES INSTALLED IN FIRE WALLS SHALL BE ONE-PIECE STEEL AND INSTALLED IN SEPARATE (STAGGERED) STUD PENETRATIONS, MINIMUM 24 INCHES HORIZONTAL SEPARATION. FIRE WALLS SHALL BE MADE IN ACCORDANCE WITH CEC AND ELECTRICAL CODES.
- THE FINAL LOCATION OF ALL OUTLETS SHALL BE VERIFIED WITH THE ARCHITECT AND/OR OWNER AT TIME OF CONSTRUCTION.
- ALL OUTDOOR ELECTRICAL EQUIPMENT SHALL BE WEATHER-PROTECTED.
- CONTRACTOR SHALL VERIFY THAT ALL LIGHTING FIXTURES, CEILING TRIMS, AND FRAMES ARE COMPATIBLE WITH CEILING SYSTEM INSTALLED.
- CONTRACTOR SHALL COORDINATE LIGHT FIXTURE LOCATIONS AND INSTALLATIONS WITH THE MECHANICAL CONTRACTOR. MAINTAIN REQUIRED CLEARANCES (MINIMUM 3 INCHES) BETWEEN LIGHT FIXTURES AND MECHANICAL DUCTS OR EQUIPMENT FOR PROPER OPERATION, INSTALLATION AND/OR REMOVAL OF FIXTURES.
- BEFORE SUBMITTING FOR ARCHITECT'S REVIEW AND PLACING ORDER FOR THE LIGHT FIXTURES, THE CONTRACTOR SHALL VERIFY THE VOLTAGE OF ALL THE LIGHTING FIXTURES TO MATCH THE VOLTAGE OF THE SERVICE PANEL, WHETHER THE VOLTAGE FOR THE LIGHT FIXTURES ARE SHOWN ON THE PLAN OR NOT.
- PLACEMENT AND CIRCUITING OF EXIT SIGNS AND ESSGESS LIGHTING SHALL COMPLY WITH CEC REQUIREMENTS.
- ALL CONDUIT SHALL BE ROUTED CONCEALED UNLESS NOTED ON PLAN OR ACCEPTED BY THE ARCHITECT.
- ALL WIRING SHALL BE INSTALLED IN METALLIC CONDUIT, UNLESS OTHERWISE NOTED. CONDUITS INSTALLED IN HALL AND CEILING MAY BE ENT WITH STEEL COMPRESSION TYPE FITTINGS. PVC WHERE INSTALLED UNDERGROUND AND/OR SLAB. INSTALL ALL CONDUITS IN ACCORDANCE WITH NECA STANDARDS OF INSTALLATION. K/C CABLE IS ALLOWED ON THIS PROJECT.
- CONDUCTORS, #12 AND LARGER, SHALL BE STRANDED COPPER WITH THIN/THIN INSULATION, UNLESS OTHERWISE NOTED.
- PROVIDE WORKING CLEARANCE PER CEC 110.26. SERVICE PANEL, SUBPANELS, MOTOR AND HVAC DISCONNECT SWITCHES, CONTROL SECTIONS, HVAC EQUIPMENT, APPLIANCES, ETC.
- PROVIDE A WARNING SIGN CLEARLY VISIBLE TO QUALIFIED PERSONS TO COMPLY WITH NEC AND CEC 110.16 OF POTENTIAL ELECTRIC ARC FLASH HAZARDS AT SWITCHBOARDS, PANELBOARDS, INDUSTRIAL CONTROL PANELS AND MOTOR CONTROL CENTERS THAT ARE LIKELY TO REQUIRE EXAMINATION, ADJUSTMENT, SERVICING, OR MAINTENANCE WHILE ENERGIZED.
- CONTRACTOR SHALL SIZE ALL INTERIOR AND EXTERIOR BUILDING FULL BOXES AND UNDERGROUND FULL BOXES PER CEC 314.16 AND COMPLY WITH CEC 314.28 FOR INSTALLATION OF RACEWAYS AND WIRING AS REQUIRED BY CODE, UNLESS OTHERWISE NOTED.
- WHERE ACCESSIBILITY IS NOT AVAILABLE TO ELECTRICAL OUTLETS, DEVICES AND/OR EQUIPMENT, COORDINATE WITH THE ARCHITECT FOR PROVISIONS TO PROVIDE ACCESSIBILITY TO THEM.
- ALL TERMINATION PROVISIONS OF EQUIPMENT FOR CIRCUITS RATED 100 AMPERES OR LESS SHALL BE RATED AT 60°C. ALL TERMINATION PROVISIONS OF EQUIPMENT FOR CIRCUITS RATED OVER 100 AMPERES SHALL BE RATED AT 75°C PER CEC 110.14(C).
- BUILDING SERVICE AND SUBPANELS TO COMPLY WITH CEC 110.9 AND 110.10 INTERRUPTING RATINGS AND BRACING. PROVIDE A.I.C. CALCULATIONS FOR SUBPANELS IF INTERRUPTING RATINGS TO BE USED IS LOWER THAN MAIN SERVICE RATINGS.
- CONTRACTOR SHALL PROVIDE MEANS TO SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS IN MULTIMIRE BRANCH CIRCUITS PER CEC 210.4(B).
- ALL APPLIANCES SHALL COMPLY WITH CEC 422. APPLIANCE CONTROL AND PROTECTION PER CEC 422-111; BRANCH CIRCUITS PER CEC 422-11.
- CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE MECHANICAL DRAWINGS, PROVIDING ALL CONDUIT, CONTROL WIRING AND POWER WIRING SHOWN ON THE MECHANICAL DRAWINGS THAT ARE NOT SHOWN ON THE ELECTRICAL PLANS.
- CONTRACTOR SHALL REFER TO THE MECHANICAL DRAWINGS AND COORDINATE THE EQUIPMENT LOCATIONS, COORDINATE ROOF PENETRATIONS WITH THE MECHANICAL CONTRACTOR FOR MECHANICAL CONNECTIONS. ENTER ROOF MOUNTED UNITS THROUGH EQUIPMENT MOUNTING CURB WHERE POSSIBLE. VERIFY ON-SITE.
- ALL CONNECTIONS FROM DISCONNECT SWITCHES TO HVAC UNITS OR MECHANICAL EQUIPMENT SHALL BE COPPER CONDUCTORS. MOTOR DISCONNECT SWITCHES SHALL COMPLY WITH CEC 430-VII, 430-VIII, AND 440-11.
- VERIFY LOCATION AND HEIGHT OF ALL MECHANICAL OR FIXTURE EQUIPMENT OUTLETS WITH SUPPLIER PRIOR TO ANY ROUGH-IN WORK. PROVIDE ALL RUNS AND CONNECTIONS TO EQUIPMENT.
- PROVIDE CONVENIENCE OUTLET WITHIN 25 FEET OF MECHANICAL EQUIPMENT PER CMC. WHERE LOCATED OUTSIDE, PROVIDE WEATHER-PROOF AND GFCI CONVENIENCE OUTLET. SECURE ROOF MOUNTED OUTLET TO THE MECHANICAL CONTRACTOR. VERIFY LOCATION IN FIELD WITH THE MECHANICAL CONTRACTOR.
- VERIFY SINGLE-POINT CONNECTIONS TO ROOF MOUNTED HVAC UNITS WITH MECHANICAL CONTRACTOR ON-SITE PRIOR TO ELECTRICAL ROUGH-IN. PROVIDE DUAL DISCONNECTS IF TWO-POINT CONNECTIONS ARE REQUIRED, WHETHER SHOWN ON PLANS OR NOT.
- SWITCH DEVICES CONTROLLING MECHANICAL EQUIPMENT SHALL BE THE SIZE AND TYPE REQUIRED, SERVED WITH QUANTITY OF WIRES AS REQUIRED. SEE DIVISION 15 MECHANICAL PLANS AND SPECIFICATIONS.
- COORDINATE WITH HVAC EQUIPMENT FOR FUSES REQUIRED. WHERE FUSES ARE REQUIRED, VERIFY FUSE SIZE ON-SITE AND PROVIDE PER EQUIPMENT NAMEPLATE SPECIFICATIONS.
- MOTOR DISCONNECT SWITCHES SHALL COMPLY WITH CEC 430-IX AND 440-11.
- MOTOR STARTERS FOR HVAC EQUIPMENT ARE PROVIDED BY MECHANICAL CONTRACTOR AND CONNECTED BY ELECTRICAL CONTRACTOR, UNLESS NOTED OTHERWISE.
- COORDINATE ALL ELECTRICAL SERVICES WITH THE RESPECTIVE UTILITY COMPANIES AND PROVIDE ALL TRENCHING, CONDUITS, WIRING, METER FACILITIES AND OUTLETS REQUIRED BY THEM.
- TRENCHING AND BACKFILLING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS. PRIOR TO THE TRENCHING, ETC. AND THE INSTALLATION OF THE ELECTRICAL SYSTEM, ALL WORK SHALL BE STAKED OUT.
- MINIMUM COVERAGE FOR UNDERGROUND CONDUIT TO BE 24", UNLESS NOTED OTHERWISE. PROVIDE MINIMUM OF 12" SEPARATION BETWEEN THE POWER AND ALL LOW VOLTAGE CONDUITS.
- PROVIDE METAL DETECTION STRIP ABOVE THE NONMETAL UNDERGROUND CONDUITS.
- ALL UNDERGROUND SERVICE CONDUITS SHALL BE SEALED PER CEC 230.8.

### SYMBOLS LIST

SYMBOL	DESCRIPTION
○	LIGHTING FIXTURE, SURFACE OR PENDANT MOUNTED IN CEILING
◻	LIGHTING FIXTURE, RECESSED MOUNTED IN CEILING
○	LIGHTING FIXTURE, SURFACE MOUNTED ON WALL
◻	LIGHTING FIXTURE, RECESSED, T-BAR LAY-IN OR FLANGED IN CEILING
○	LIGHTING FIXTURE, SURFACE MOUNTED ON CEILING
— —	STRIP LIGHTING FIXTURE, SURFACE OR CHAIN HUNG ON CEILING
⊕	EXIT LIGHT FIXTURE, WALL MOUNTED WITH ARROWS AS SHOWN
⊕	EMERGENCY LIGHT
⊕	LIGHTING FIXTURE, MOUNTED ON POLE WITH SINGLE/DOUBLE HEADS
⊕	LIGHTING FIXTURE, MOUNTED ON POLE (POST-TOP HEAD)
⊕	FIXTURE TAG - 'A' DENOTES FIXTURE TYPE, SEE LIGHTING FIXTURE SCHEDULE
⊕	SINGLE POLE TOGGLE SWITCH, 20A, 120-277V, AT +48" MAX (TOP OF BOX)
⊕	THREE WAY TOGGLE SWITCH, 20A, 120-277V, AT +48" MAX (TOP OF BOX)
⊕	SUBSCRIPT DENOTES OUTLET OR FIXTURE CONTROLLED, AT +48" MAX (TOP OF BOX)
⊕	DIMMING SWITCH, 20A, 120-277V, AT +48" MAX (TOP OF BOX)
⊕	VACANCY SENSOR 'VS' DESIGNATION 20A, 120-277V AT +48" MAX (TOP OF BOX)
⊕	DIMMER SWITCH/VACANCY SENSOR 'D-VS' DESIGNATION 20A, 120-277V, AT +48" MAX (TOP OF BOX)
⊕	THERMAL OVERLOAD SWITCH
⊕	SINGLE OUTLET CONTROL SWITCH MOUNTED AT +48" MAX (TOP OF BOX), NLIGHT #NCPDD7M 120/277V. 'D' DENOTES DIMMER
⊕	CEILING MOUNTED OCCUPANCY SENSOR, NLIGHT #NCPM-PDT10, WITH POWER PACK NPP16 FOR EACH CHAIN OF SENSORS.
⊕	AUTOMATIC DIMMING DAYLIGHT CONTROL PHOTOCELL NLIGHT #NMGDCX(R/LB) OR EQUAL
⊕	DUAL TECHNOLOGY OCCUPANCY SENSOR NLIGHT #NCPMPT9(R/LB) OR EQUAL
⊕	DIMMING/RELAY PACK, 16A 120/277V, WITH 0-10VDC DIMMING, ACUITY #MPP16D
⊕	PLUG LOAD/RELAY PACK, 16A 120/277V, ACUITY #MPP20PL
⊕	FOURPLEX RECEPTACLE OUTLET 20A, 125V, +15" MIN (BOTTOM OF BOX)
⊕	DUPLEX RECEPTACLE OUTLET 20A, 125V, +15" MIN (BOTTOM OF BOX)
⊕	MOUNT OUTLET ABOVE COUNTER OR BACKSPLASH
⊕	DUPLEX RECEPTACLE OUTLET 20A, 125V, CEILING MOUNTED
⊕	208V 3 PH RECEPTACLE OUTLET
⊕	208V 1 PH RECEPTACLE OUTLET
⊕	DUPLEX RECEPTACLE FLOOR OUTLET 20A, 125V FLUSH IN FINISH FLOOR WITH BRASS TRIM
⊕	DUPLEX RECEPTACLE OUTLET 20A, 125V, +15" MIN (BOTTOM OF BOX), ISOLATED GROUND
⊕	TELEPHONE/COMPUTER OUTLET WALL/FLOOR MOUNTED/STUB 3/4" C-MT TO ABOVE ACCESSIBLE 0.6 MAIN SWITCHBOARD 'MSB'
⊕	LIGHTING OR DISTRIBUTION PANEL
⊕	TERMINAL CABINET
⊕	JUNCTION BOX
⊕	FULL BOX
⊕	MOTOR STARTER, SEE MP45. CONNECT AS REQUIRED
⊕	HEAVY DUTY SAFETY TYPE DISCONNECT SWITCH, SIZE & NEMA TYPE AS REQUIRED, F=FUUSED MOTOR - MP45
⊕	EXHAUST FAN - MP45
⊕	MECHANICAL EQUIPMENT I.D. TAG - MP45
1	FLAG NOTE SHOWN ON SAME SHEET
---	CIRCUIT CONCEALED IN CEILING OR WALL
---	CIRCUIT CONCEALED IN FLOOR OR UNDERGROUND
---	EXISTING CIRCUIT
---	LOW VOLTAGE CABLE
---	HOMERUN TO PANELBOARD OR TERMINAL CABINET
⊕	DENOTES # OF #12 WIRES, NO MARKS = 2 #12, 1/2" C, CURVED HATCH DENOTES EQUIPMENT GROUND, DOT DENOTES ISOLATED GROUND, OTHERS AS NOTED
⊕	TELEPHONE TERMINAL BOARD 'TTB': 4'x8'x3/4" PLYWOOD BACKBOARD WITH FOURPLEX RECEPTACLE & (1) #6 GND, UON

NOTE: SYMBOLS INDICATED ABOVE MAY NOT NECESSARILY APPEAR AS PART OF THESE DRAWINGS IF NOT REQUIRED.

### ABBREVIATIONS

AFG, AFF	ABOVE FINISHED CEILING, ABOVE FINISHED FLOOR
C	CONDUIT
CL6	CEILING
(E)	EXISTING
EM	DENOTES EMERGENCY FIXTURE. PROVIDE WITH 90-MINUTE BATTERY BACK-UP BALLAST, SEE LIGHTING PLANS FOR LOCATIONS AND QUANTITIES.
GFCI	GROUND FAULT CIRCUIT INTERRUPT
I6	ISOLATED GROUND
MT	EMPTY CONDUIT WITH NYLON PULL ROPE
(N)	NEW
PF6	PROVISION FOR FUTURE BREAKER
(R)	RELOCATED
TTB	TELEPHONE TERMINAL BOARD
(TYP)	TYPICAL
UG	UNDERGROUND
UON	UNLESS OTHERWISE NOTED
NP	WEATHERPROOF. RECEPTACLE COVERS SHALL BE "WEATHERPROOF WHILE IN USE". (CEC 406.4)

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Apr 18 2019

**REVISIONS**

PLAN	REVIEW	DATE
A	03/25/2019	

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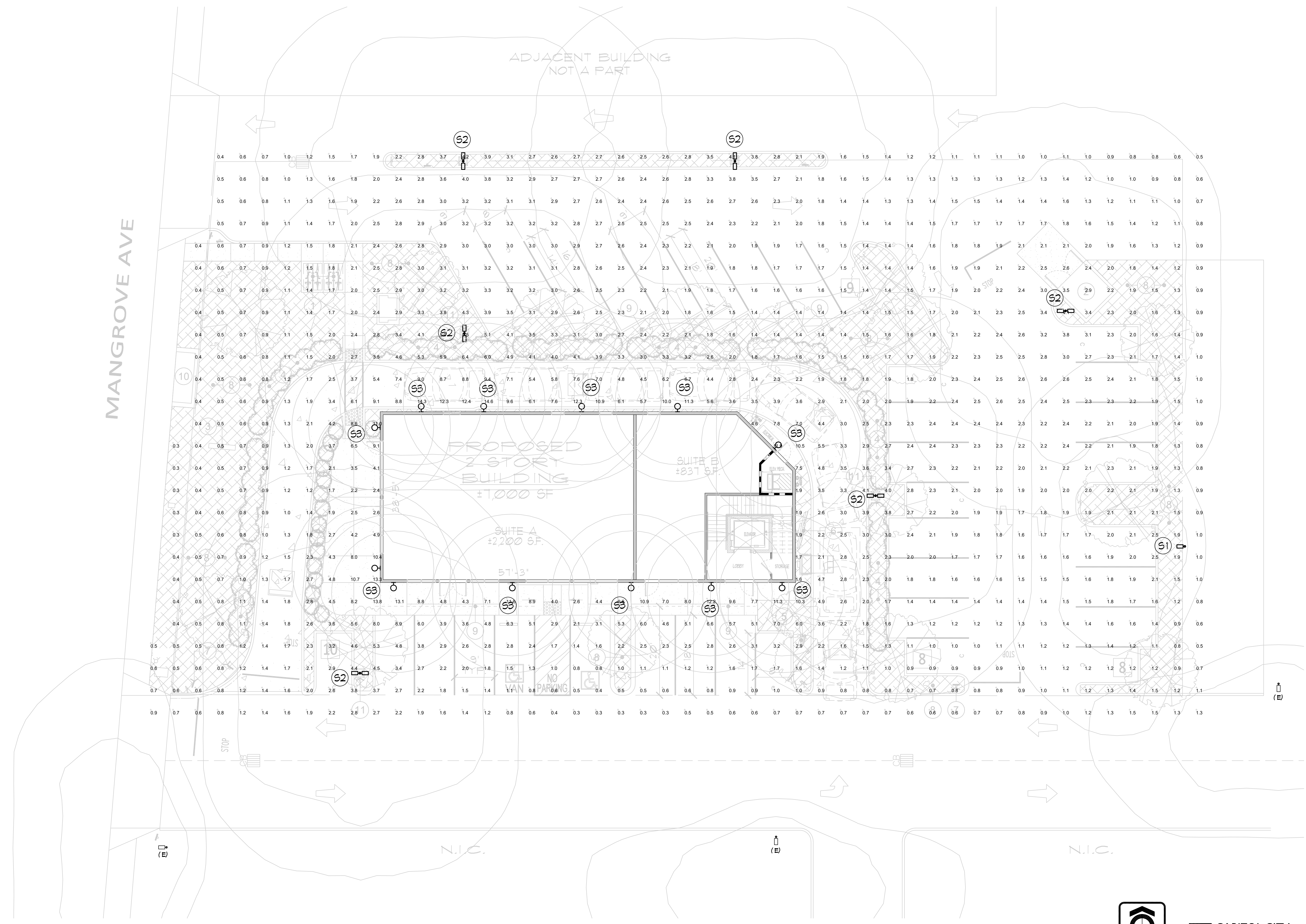
SYMBOLS LIST, NOTES,  
FIXTURE SCHEDULE

DATE: 04/19/2019  
JOB NO. 2019-050

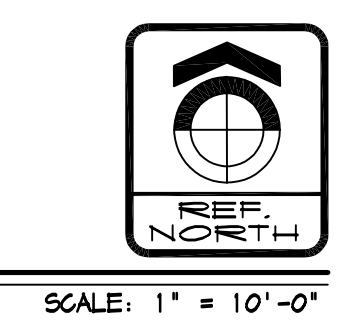
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MANGROVE AVE



**SITE PLAN - PHOTOMETRIC**



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SCALE: 1" = 10'-0"

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 Apr 22 2019

REVISIONS	
PLAN REVIEW	03/25/2019
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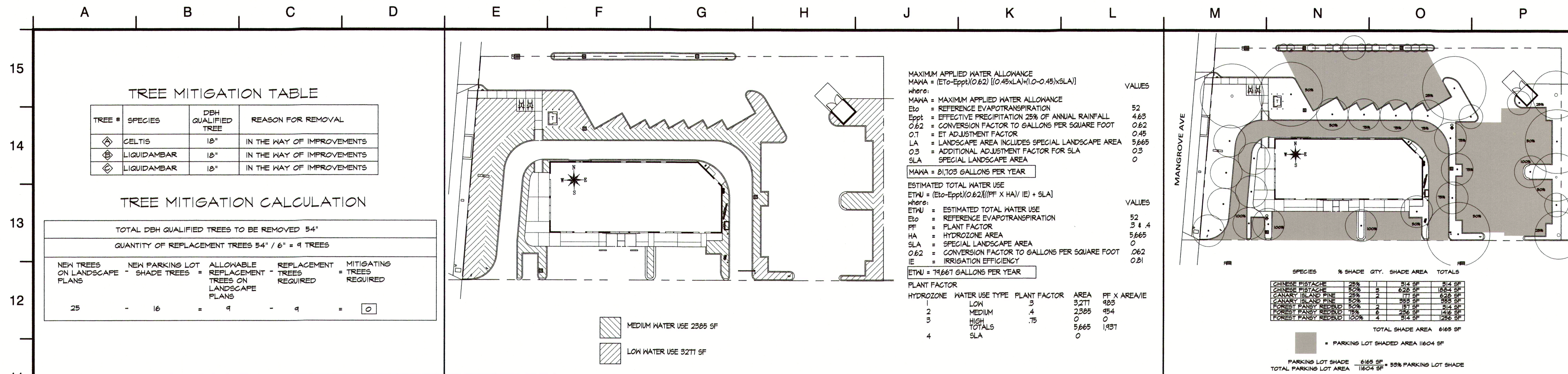
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 CHICO CALIFORNIA 95926

SITE PLAN - PHOTOMETRIC

DATE: 04/19/2019  
 JOB NO. 2019-050

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REVISIONS	DATE

**TREE MITIGATION TABLE**

TREE #	SPECIES	DBH QUALIFIED TREE	REASON FOR REMOVAL
1	CELTIS	18"	IN THE WAY OF IMPROVEMENTS
2	LIQUIDAMBAR	18"	IN THE WAY OF IMPROVEMENTS
3	LIQUIDAMBAR	18"	IN THE WAY OF IMPROVEMENTS

**TREE MITIGATION CALCULATION**

TOTAL DBH QUALIFIED TREES TO BE REMOVED 54"				
QUANTITY OF REPLACEMENT TREES 54" / 6" = 9 TREES				
NEW TREES ON LANDSCAPE PLANS	NEW PARKING LOT SHADE TREES	ALLOWABLE REPLACEMENT TREES ON LANDSCAPE PLANS	REPLACEMENT TREES REQUIRED	MITIGATING TREES REQUIRED
25	16	9	9	0

MAXIMUM APPLIED WATER ALLOWANCE  
 $MAMA = (Eto - Epppt) / (0.62) [(0.45 \times LA) + (1.0 - 0.45) \times SLA]$   
 where:  
 MAMA = MAXIMUM APPLIED WATER ALLOWANCE  
 Eto = REFERENCE EVAPOTRANSPIRATION 52  
 Epppt = EFFECTIVE PRECIPITATION 25% OF ANNUAL RAINFALL 4.63  
 0.62 = CONVERSION FACTOR TO GALLONS PER SQUARE FOOT 0.62  
 0.1 = ET ADJUSTMENT FACTOR 0.45  
 LA = LANDSCAPE AREA INCLUDES SPECIAL LANDSCAPE AREA 5,665  
 0.5 = ADDITIONAL ADJUSTMENT FACTOR FOR SLA 0.5  
 SLA = SPECIAL LANDSCAPE AREA 0  
**MAMA = 81,705 GALLONS PER YEAR**

ESTIMATED TOTAL WATER USE  
 $ETWU = (Eto - Epppt) / (0.62) [(PF \times HA) / (IE) + SLA]$   
 where:  
 ETWU = ESTIMATED TOTAL WATER USE 34.4  
 Eto = REFERENCE EVAPOTRANSPIRATION 52  
 PF = PLANT FACTOR 0.62  
 HA = HYDROZONE AREA 5,665  
 SLA = SPECIAL LANDSCAPE AREA 0  
 0.62 = CONVERSION FACTOR TO GALLONS PER SQUARE FOOT 0.62  
 IE = IRRIGATION EFFICIENCY 0.21  
**ETWU = 14,667 GALLONS PER YEAR**

HYDROZONE	WATER USE TYPE	PLANT FACTOR	AREA	PF X AREA/IE
1	LOW	.3	3,271	483
2	MEDIUM	.4	2,395	454
3	HIGH	.75	0	0
4	TOTALS		5,665	1,937

SPECIES	% SHADE	QTY.	SHADE AREA	TOTALS
CHINESE PISTACHE	25%	1	314 SF	314 SF
CANARY ISLAND PINE	25%	3	628 SF	1,884 SF
CANARY ISLAND PINE	25%	1	111 SF	628 SF
FOREST PANSY REDBUD	25%	2	222 SF	935 SF
FOREST PANSY REDBUD	25%	4	444 SF	1,146 SF
FOREST PANSY REDBUD	25%	4	444 SF	1,146 SF
FOREST PANSY REDBUD	25%	4	444 SF	1,146 SF
TOTALS			6,168 SF	

MEDIUM WATER USE 2385 SF  
 LOW WATER USE 3271 SF

**A/II TREE MITIGATION**  
SCALE not applicable

**E/II WATER USE**  
SCALE not applicable

**M/II PARKING LOT SHADING**  
SCALE not applicable

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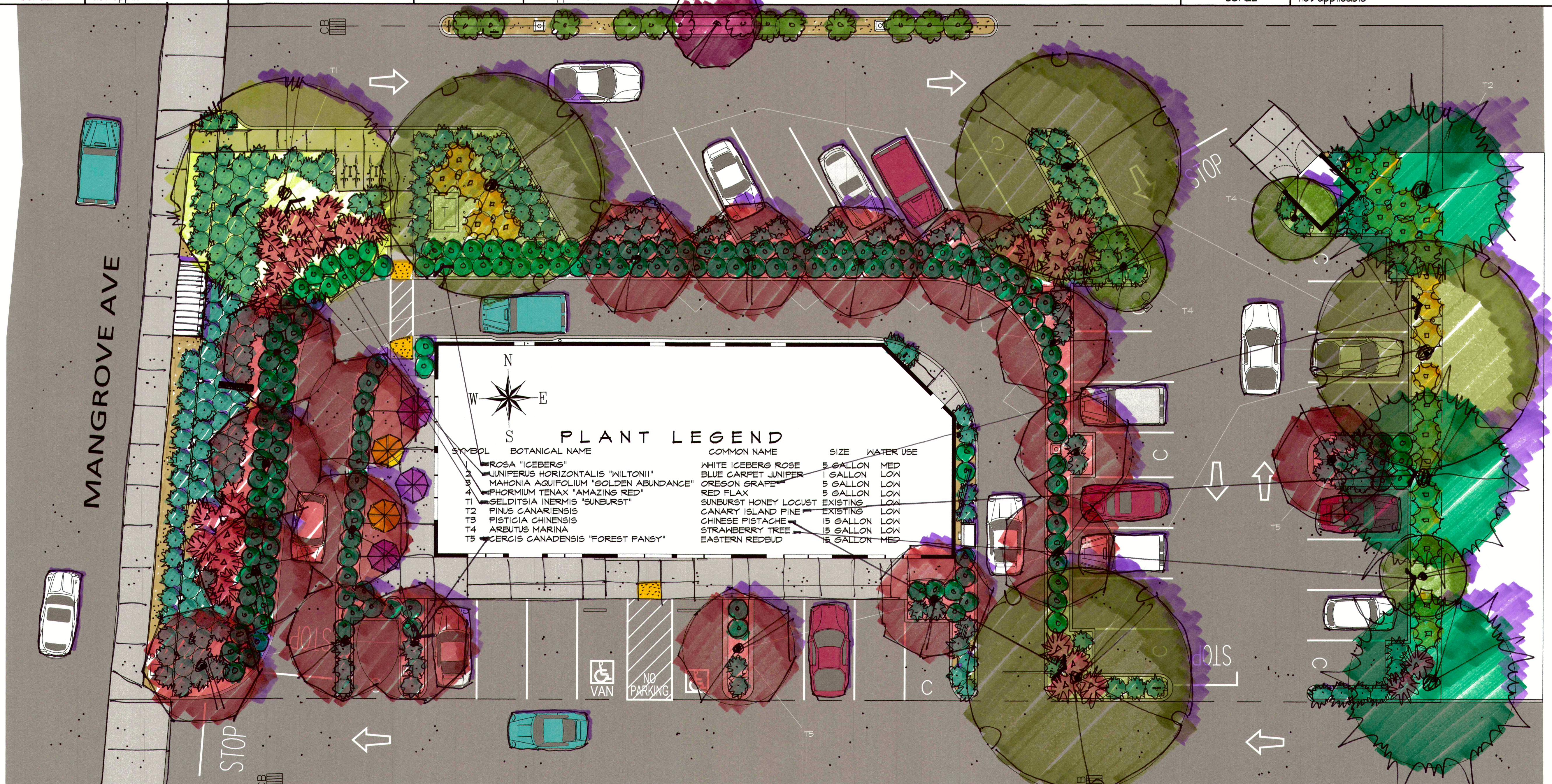
PROJECT NAME  
**1030 MANGROVE AVENUE**

SHEET TITLE  
**CONCEPTUAL LANDSCAPE PLAN**



DRAWN BY MRH SCALE NOTED  
CHECKED BY MRH DATE 4/26/19

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**PLANT LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
1	ROSA "ICEBERG"	WHITE ICEBERG ROSE	5 GALLON	MED
2	JUNIPERUS HORIZONTALIS "WILTONII"	BLUE CARPET JUNIPER	1 GALLON	LOW
3	MAHONIA AQUIFOLIUM "GOLDEN ABUNDANCE"	OREGON GRAPE	5 GALLON	LOW
4	PHACELIUM TENAX "AMAZING RED"	RED FLAX	5 GALLON	LOW
T1	GELDITSIA INERMIS "SUNBURST"	SUNBURST HONEY LOCUST	EXISTING	LOW
T2	PINUS CANARIENSIS	CANARY ISLAND PINE	EXISTING	LOW
T3	PISTICIA CHINENSIS	CHINESE PISTACHE	15 GALLON	LOW
T4	ARBUTUS MARINA	STRAWBERRY TREE	15 GALLON	LOW
T5	CERCIS CANADENSIS "FOREST PANSY"	EASTERN REDBUD	15 GALLON	MED

**A/I CONCEPTUAL LANDSCAPE PLAN**  
SCALE 1" = 10'0"