



Architectural Review and Historic Preservation Board Agenda Report

Meeting Date 12/19/18

DATE: November 26, 2018

File: PDP 18-01

TO: Architectural Review and Historic Preservation Board

FROM: Shannon Costa, Assistant Planner (879-6807, shannon.costa@chicoca.gov)

RE: Eaton Ranch Planned Development Permit
Located on the South Side of E. Eaton Rd between Floral Avenue and Ceanothus Avenue, APNs: 016-200-017 and 016-340-034

SUMMARY

The applicant requests a Board recommendation for approval of a Planned Development Permit to construct a 257-unit apartment project on a vacant site consisting of two parcels totaling 15 acres. A Planned Development Permit is necessary to satisfy condition of approval of the Mountain Vista Subdivision and Planned Development Permit (S/PDP 01-12) and the Sycamore Glen Subdivision and Planned Development Permit (S/PDP 00-11). The intended purpose of the Planned Development Permit is to ensure that a minimum number of multi-family residential housing units are constructed to meet required densities of the General Plan. No modifications of development standards are proposed as part of the Planned Development Permit.

With a Board recommendation, the proposal must go to the Planning Commission for final consideration of the permit, including final architectural design approval.

RECOMMENDATION

Staff recommends that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and recommend approval of the project, subject to conditions.

Proposed Motion:

I move that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and recommend approval of Eaton Ranch Planned Development Permit (PDP 18-01), subject to the staff recommended conditions contained therein.

BACKGROUND

The applicant proposes to construct 19 apartment buildings with a total of 257 units, developed in two phases. The overall site is 15-acres in size, bounded by E. Eaton Road to the north, Floral Avenue to the west, Ceanothus Avenue to the east and a 40-foot-wide Pacific Gas and Electric (PG&E) easement to the south (see **Attachment A**, Location Map and **Attachment B**, Overall Site Plan). The site is zoned R3-AOC-PD (Medium-High Density Residential with Airport Overflight Zone C and Planned Development Permit overlay) and designated Medium High Density Residential in the General Plan Land Use Diagram. Surrounding land uses includes single family homes and a vacant parcel to the north, zoned for commercial use.

The project site is identified for multi-family residential development by the Mountain Vista Subdivision (S/PDP 01-12) and Sycamore Glen Subdivision (S/PDP 00-11) project approvals. The intended purpose of the Planned Development Permit is to ensure that a minimum number of multi-family residential housing units are constructed to meet required densities of the General Plan. These approvals stipulate that the total number of units required for Phase I (Lot 215, Mountain Vista Subdivision) is 114 units and the total of number of units required for Phase II (Lot 199, Sycamore Glen Subdivision) is 143 units (257 units total). The proposed project is consistent with the densities adopted for the Mountain Vista/Sycamore Glen projects.

Phase I and Phase II Architecture

The overall project design for Phase I and Phase II features a bungalow-agrarian style architecture, consistent with the surrounding single-family residential development (see **Attachment C**, Architect Description). Apartment buildings would be a combination of four building types; Building Type A would contain 12 units and 14 private ground-floor garages, Building Type B would contain 16 units, Building Type C would contain 11 units, and Building Type D would contain 11 units. Each building, including the amenities building, would feature identical architectural styling with minor distinguishing details.

Apartment buildings would be two-stories in height with an assortment of exterior finishes and colors (see **Attachment D**, Apartment Building Elevations). The main body of each building would be fiber cement in variations of beige and brown with accent colors in green and brown. Building masses would be differentiated by varied gable roof planes and heights. Amenities buildings, such as the cabana building and leasing office, would be single story and feature architectural styling consistent with the apartment buildings (see **Attachment E**, Amenities Elevations).

A variety of textures and materials would be used on the exterior of the buildings, including wood-grain lap siding, wood-grain vertical siding, stucco and wood-grain cement fiber panels. Window glazing would be white vinyl and outdoor private patio areas would be enclosed by vertical wood-grain panels in dark brown (see **Attachment F**, Colors and Materials). As mentioned, Building Type A would feature first-floor private garages featuring metal garage doors in dark brown. Steel-post carport structures would be located through the parking lot featuring a metal posts and roof. Trash enclosures located throughout the site would be CMU brick with metal trellis covers. These structures would be painted to match the color scheme of the apartments (see **Attachment G**, Carport and Trash Enclosure Elevations). Ground-mounted HVAC units and building-mounted gas meters are screened from public view by a low, metal-mesh fence panel and extensive landscape treatment.

Phase I and Phase II Landscaping

The landscape plan calls for a variety of species, predominately with low to moderate water demands (see **Attachment H**, Phase I and Phase II Landscape Plan). Ample landscaping is provided throughout both parcels, with close attention paid to areas surrounding amenities. The base of each building would feature extensive ground cover, including star jasmine and creeping germander. The E. Eaton Road frontage would include rows of elm trees with various shrubs and groundcover throughout the parkway. Site lighting is provided by box fixtures mounted 14-feet in height, bollards located throughout pedestrian walkways, and lights mounted beneath carport. All exterior lighting would be low-intensity and energy efficient (see **Attachment I**, Light Fixtures).

The site plan demonstrates the layout of the proposed project, including the location and orientation of the buildings, pool and other tenant amenities, landscaping, trash enclosure, carports and site lighting. The specific site plan aspects of each phase will be discussed separately below.

Phase I Site Plan

Phase I is located on the south side of E. Eaton Road, between Floral Avenue and Mariposa Avenue (see **Attachment J**, Phase I Site Plan). The site is accessed by two entry points; primary access would be from a four-lane entry from E. Eaton Road and secondary access would be provided by a single-lane access point on Mariposa Avenue. Each access point would be secured by an electric gate that would remain open during daytime hours and would close in evening/nighttime hours. Tenants would be able to access the site through a keypad entry, or with a remote control.

The site would include a total of 10 buildings as well as resident amenities, including a pool, clubhouse and cabana, fitness room and leasing office. The apartment buildings are oriented such that four buildings would front E. Eaton Road, while buildings closer to the rear of the site would be situated perpendicularly, reducing building interface with the adjacent residential neighbors.

Resident amenities would be situated central to the site surrounding an outdoor pool and patio area. A large amenities building would be located northeasterly of the outdoor pool area and would contain a leasing/staff office, yoga studio, business center, clubhouse, game room and mail room. A smaller cabana building would be situated west of the pool and would contain a shaded lounging area. A pet spa, bike repair area and pool equipment storage building would be located adjacent to the cabana building. The entire amenities area would be enclosed by a six-foot-tall horizontal wood fence and extensive landscaping.

A total of 265 vehicle parking spaces are provided on the Phase I site. Parking is provided by; 42 private garage spaces located within the first-floor of Buildings 4, 5, and 9; 109 spaces covered by metal carport structures, or; 114 open parking spaces. Parking lot shade, which is estimated to reach 52-percent at full tree maturity, is provided by scarlet oak and cork oak trees.

Phase II Site Plan

Phase II is located on the south side of E. Eaton Road, between Mariposa Avenue and Ceanothus Avenue, adjacent to the PG&E substation (see **Attachment K**, Phase II Site Plan). The site is accessed by two entry points; primary access would be taken from a four-lane gated entry from E. Eaton Road and secondary access would be provided by a single-lane entry on Ceanothus Avenue. Each access point would be secured by an electric gate that would remain open during daytime hours and would close in evening/nighttime hours. Tenants would be able to access the site through a keypad entry, or with a remote control.

The site would include a total of nine apartment buildings as well as resident amenities, including a pool, clubhouse and fitness room. The apartment buildings are oriented such that three buildings would front E. Eaton Road, while buildings closer to the rear of the site would be situated perpendicularly, reducing building interface with the adjacent residential neighbors.

A total of 217 vehicle parking spaces are provide on the Phase II site. Parking is provided by; 42 private garage spaces located within the first-floor of Buildings 2, 8, and 9; 83 carport parking spaces, or; 90 open parking spaces. Parking areas associated with the project are located towards the interior and sides of the site, screened from view by buildings and landscape features.

DISCUSSION

The proposed project would establish a medium-high density residential use on a site identified for multi-family residential use by the City of Chico zoning map and General Plan Land Use Designation. The proposal is compatible with the surrounding single-family homes developed as part of the Mountain Vista/Sycamore Glen developments, matching architectural features, style and color themes.

The project is consistent with General Plan policies that encourage compatible infill development (LU-4.2 and LU-4.3), context-sensitive design (CD-5.2 and CD-5.3) and providing an adequate supply of rental housing to meet a wide range of renters and future needs throughout the city (H.3, H.3.2, and H.3.4). The placement of the buildings on the site is consistent with policies that encourage orientating multi-family housing developments and front entries towards to the street (DG 4.1.13 and 4.1.35). The parking area is located to the rear of the buildings, providing vehicle visibility to residents while reducing views of automobiles from the public street (DGs 1.1.14, 4.1.52, and 4.1.53). The project includes a shared recreational area consistent with Design Guidelines (DGs) that call for incorporating common space into the project design (DGs 1.1.42, 4.1.42, 4.1.43, and 4.1.45).

Neighborhood Meeting

On October 22, 2018, a neighborhood meeting was held at the project site. The meeting was attended by the project applicant, engineer, contractor, landscape architect, City staff and approximately 27 neighbors. The project consultant presented the project and answered questions, mostly about the height of the structures, if the units would be market rate or designated for low income, and what the rear fencing/landscaping design would be. Project representatives answered questions and displayed illustrations depicting the proposed two-story buildings, the approximately 35-foot rear year separation with the residential neighbors and clarified that the units would be market-rate (see **Attachment L**, Neighborhood Meeting Minutes).

REQUIRED FINDINGS FOR APPROVAL

Environmental

The project falls within the scope of the Environmental Impact Report (EIR) for the Mountain Vista/Sycamore Glen Vesting Tentative Subdivision/Planned Development Permit (S/PDP 01-012 and S/PDP 00-11), which was certified by the City Council on July 17, 2017. Pursuant to Section 15162 of the California Environmental Quality Act, no subsequent environmental review is necessary, as there have been no substantial changes to the project which would require revisions of the EIR, no substantial changes have occurred with respect to the circumstances under which the project is being undertaken which would require major revisions of the EIR, and no new information has become available which was not known and could not have been known at the time the EIR was completed.

Architectural Review

According to the Chico Municipal Code Section 19.18.060, the Architectural Review and Historic Preservation Board shall determine whether or not a project adequately meets adopted City standards and design guidelines, based upon the following findings

1. *The proposed development is consistent with the General Plan, any applicable specific plan, and any applicable neighborhood or area plans.*

The project is consistent with General Plan policies that encourage compatible infill development (LU-4.2 and LU-4.3), and context-sensitive design (CD-5.2 and CD-5.3) and providing an adequate supply of rental housing to meet a wide range of renters and future needs throughout the city (H.3, H.3.2, and H.3.4). The site is not located within the bounds of a Neighborhood Plan or area plan.

2. *The proposed development, including the character, scale, and quality of design are consistent with the purpose/intent of this chapter and any adopted design guidelines.*

The placement of the buildings on the site is consistent with policies that encourage orienting multi-family housing developments and front entries towards to the street (DG 4.1.13 and 4.1.35). The parking area is located to the rear of the buildings, providing vehicle visibility to residents while reducing views of automobiles from the public street (DGs 1.1.14, 4.1.52, and 4.1.53). The project includes a shared recreational area consistent with Design Guidelines (DGs) that call for incorporating common space into the project design (DGs 1.1.42, 4.1.42, 4.1.43, and 4.1.45).

3. *The architectural design of structures, including all elevations, materials and colors are visually compatible with surrounding development. Design elements, including screening of equipment, exterior lighting, signs, and awnings, have been incorporated into the project to further ensure its compatibility with the character and uses of adjacent development.*

The proposal is compatible with the surrounding single-family homes developed as part of the Mountain Vista/Sycamore Glen developments, matching architectural features, style and color themes. Ground-mounted utilities would be hidden from view, and the trash area would be appropriately screened (DG 3.1.35). The parking lot features appropriate lighting that would not create unnecessary glare impacts on residents or neighboring properties (DG 4.1.44).

4. *The location and configuration of structures are compatible with their sites and with surrounding sites and structures, and do not unnecessarily block views from other structures or dominate their surroundings.*

The design, materials and color palette of the proposed buildings are visually compatible with the surrounding neighborhood and would not unnecessarily block views from other structures. The proposal would introduce two-story buildings in an area predominantly developed with single-story homes, however, placement of the buildings towards the front of the site would reduce building interface with the adjacent neighbors. Exterior equipment will be properly screened in the rear yards of each unit by fences or painted to match the structures. Parking lot lighting is proposed at a pedestrian scale and will not result in any unnecessary source of glare or contribution to the night sky pollution.

5. *The general landscape design, including the color, location, size, texture, type, and coverage of plant materials, and provisions for irrigation and maintenance, and protection of landscape elements, have been considered to ensure visual relief, to complement structures, and to provide an attractive environment.*

The proposed landscaping and additional outdoor amenities will create an attractive outdoor environment. Ample landscaping is provided throughout both sites, with close attention paid to areas surrounding resident amenities and the E. Eaton Road frontage. Tree and plant species have been thoughtfully and appropriately selected for their locations and the variety of plant types will provide color, texture and coverage to the overall project.

RECOMMENDED CONDITIONS OF APPROVAL

1. All approved building plans and permits shall note on the cover sheet that the project shall comply with PDP 18-01 (Channel Eaton Road).
2. All wall-mounted utilities and roof or wall penetrations, including vent stacks, utility boxes, exhaust vents, gas meters and similar equipment, shall be screened by appropriate materials and colors. Adequate screening shall be verified by Planning staff prior to issuance of a certificate of occupancy.
3. All new electric, telephone, and other wiring conduits for utilities shall be placed underground in compliance with CMC 19.60.120.

PUBLIC CONTACT

A 10-day public hearing notice was mailed to all landowners and residents within 500 feet of the site. A legal notice was also placed in the *Chico Enterprise Record*. As of the date of this report, no correspondence has been received in response to the public notice.

DISTRIBUTION:

AR Distribution
Mike Sawley, Senior Planner
Shannon Costa, Assistant Planner
File: PDP 18-01

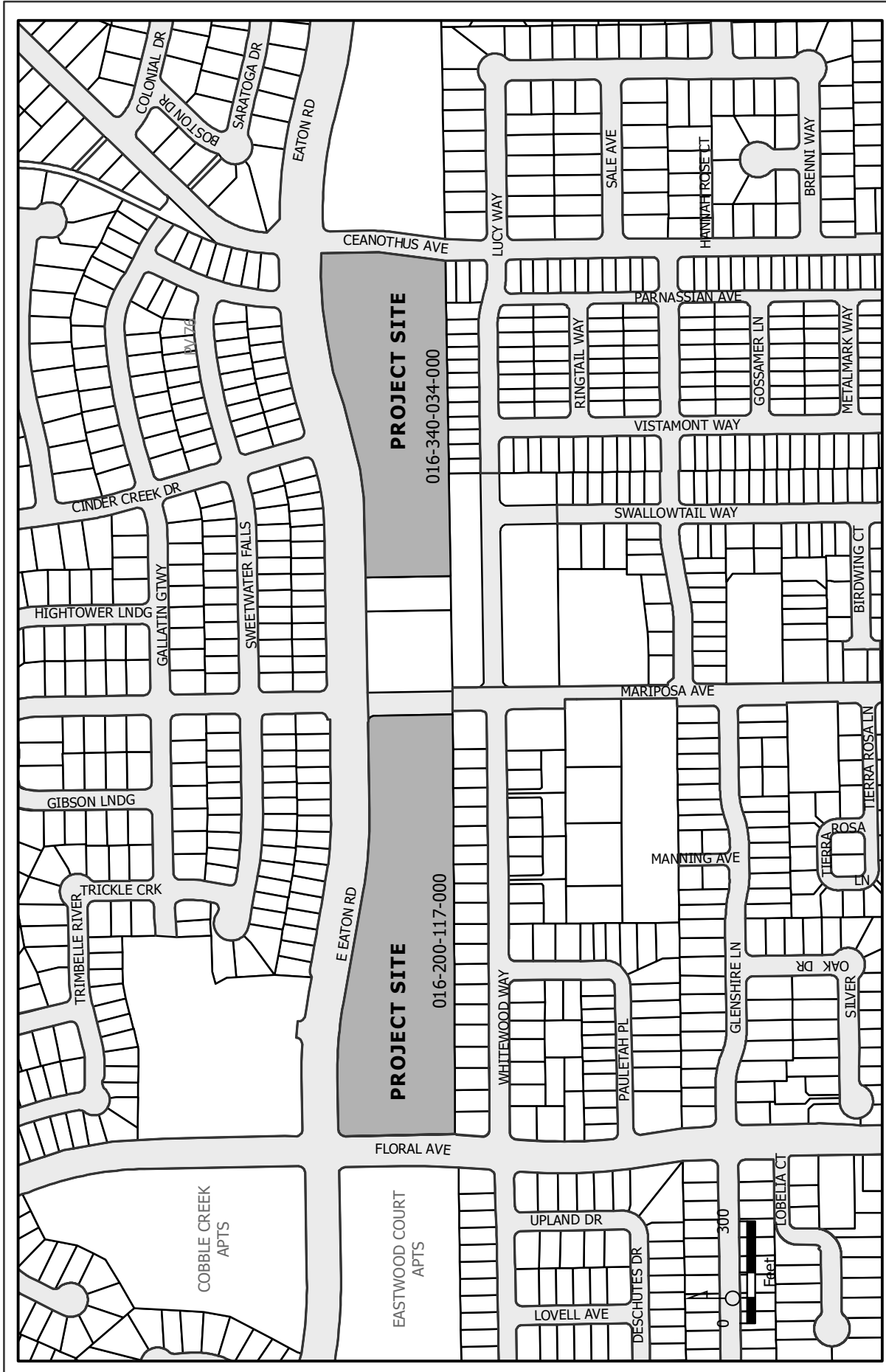
External

Channel Properties, c/o Mark Funseth, 1850 Soscol Avenue, suite 207, Napa, Ca 94559
(mfunseth@channelprop.com)
FAE Holdings, LLC, 100 W. Cutting Blvd, Richmond, CA 94804
Rural Consulting Associates, attn.: Jim Mann, 140 Yellowstone Drive, Suite 160, Chico, CA 95973 (jimatrural@aol.com)

ATTACHMENTS:

- A. Location Map
- B. Overall Site Plan
- C. Architect Description
- D. Apartment Building Elevations
- E. Amenities Building Elevations
- F. Colors and Materials

- G. Carport and Trash Enclosure Elevations
- H. Phase I and Phase II Landscape Plans
- I. Light Fixtures
- J. Phase I Site Plan
- K. Phase II Site Plan
- L. Neighborhood Meeting Minutes









PDP 18-01 (Channel Eaton Road, PDP)
 South side of E Eaton Rd between Floral and Ceanothus Aves
 APNs: 016-200-017 and 016-340-034

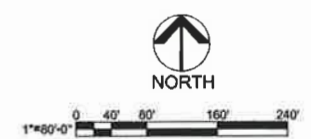
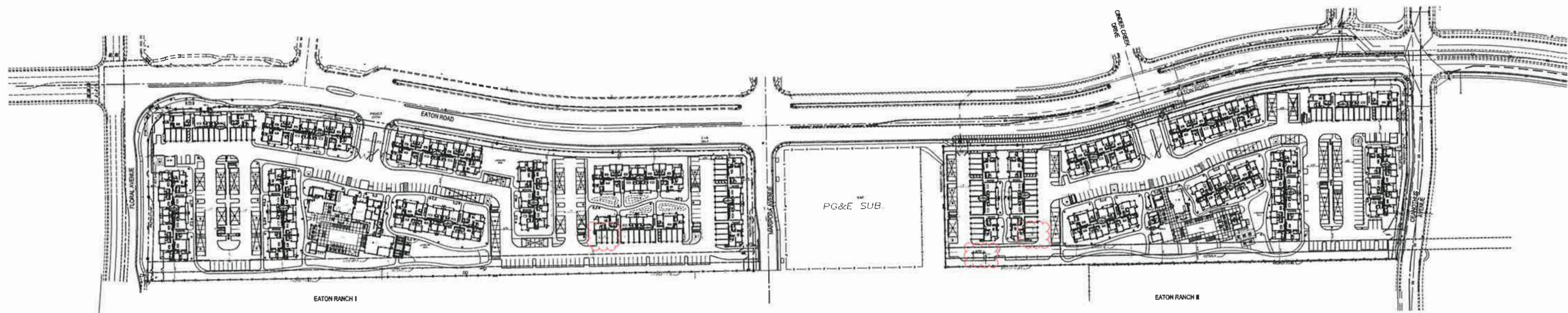
PARKING REQUIRED				
DU	SF/UNIT/STALL	PARKING RANCH I	PARKING RANCH II	TOTAL
1 BR	1.25	49	43	91
2 BR	1.75	147	109	256
3 BR	2.0	40	36	76
SUBTOTAL		236	187	423
GUEST	0.2	29	23	52
TOTAL		264	210	474
REQ. ACCESSIBLE STALLS		7	5	12
(INCL. IN TOTAL)				
MIN. 1 COVERED STALL PER UNIT				

PARKING PROVIDED			
PARKING TYPE	EATON RANCH I	EATON RANCH II	TOTAL
GARAGES	41	41	82
2% ACCESSIBLE GARAGE	1	1	2
CARPORT	106	83	189
2% ACCESSIBLE CARPORT	3	2	5
OPEN	111	87	198
2% ACCESSIBLE OPEN	3	3	6
TOTAL	265	217	482

KEYNOTE LEGEND

-  LIGHTING
-  CONDENSER
-  TRANSFORMER
-  TRASH ENCLOSURE
-  GAS METER
-  WATER HEATER

RECEIVED
 OCT 31 2018
 CITY OF CHICO
 PLAN ENGINEERING SERVICES



OVERALL SITE PLAN **A1.2**

EATON RANCH
 CHANNEL PROPERTIES
 1850 SOCOL AVE., SUITE 207 NAPA, CA 94559
 707-252-5460

CHICO, CA

DATE: 09-26-18
 JOB NO.: 2018-369
ARCHITECTS ORANGE
 144 NORTH ORANGE ST., ORANGE, CA 92866
 (714) 639-9860



September 10, 2018

CITY OF CHICO PLANNING DEPARTMENT
P.O. Box 3420
Chico, CA 95927

Re: **Eaton Ranch I and II Apartment Project**
APN 016-200-117 & 016-340-034

It is a pleasure to bring an apartment project forward that has been carefully planned over the last several months. The owner's first brought Eaton Village Unit I & II to the Chico Architectural Review Board back in 2008. The same team is now bringing the proposed Eaton Ranch I & II Apartment Project to the Chico Architectural and Historic Preservation Review Board.

Eaton Ranch is a multi-family community consisting of 257 total residential units in multiple buildings on 2 parcels. The design intent is to provide a unique residential project that fits within the context of the neighborhood with its predominantly 2 story massing and bungalow-agrarian style architecture. DG 1.2.11, DG 1.2.12, DG 1.2.13, DG 4.2.11, DG 4.2.22

Eaton Ranch I & II is site planned the same way, in that residential buildings interface on Eaton Road, and the clubhouse for each parcel is framed by two residential buildings situated on either side of the entry drive. DG 4.1.11, DG 4.1.13, DG 4.1.45

Ground floor patios with low roof elements are placed at various points along Eaton Road to provide pedestrian scale and "eyes on the street" as well as engagement with the public realm. DG 4.1.11, DG 4.1.13, 4.1.24, DG 4.2.22

Varied roof forms, alternative color schemes, plane undulation and attractive mix of materials, textures, and 4 sided architecture promotes visual interest and break up the overall massing of each building. DG 4.1.15, DG 4.1.23, DG 4.2.11, DG 4.2.13, DG 4.2.22, DG 4.2.31

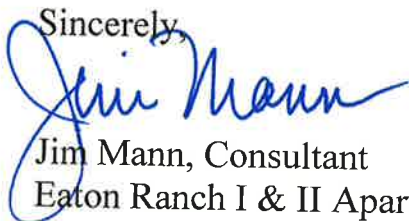
Amenities of resort style living, and sense of community is enforced throughout the project with its landscaping, system of walking paths throughout the site, including along the easement. DG 4.1.11, DG 4.1.45, DG 4.1.52, DG 4.2.32

Included with the project will be outdoor activity nodes such as pools, spas, courtyards, formal and casual vista points, and indoor amenities such as clubhouses and fitness centers. DG 4.1.45

Appropriate lighting DG 4.1.44 for common open space areas, including walkways, carports, and buildings will enhance a safe environment, and will not create unnecessary glare impacting residents, or adjacent neighboring properties.

Utility services will be screened from public view DG 3.1.35. Trash enclosures will be contained within masonry buffered areas. Wall mounted utility equipment, including electrical panels, gas meters, conduits, plumbing or downspouts, will be within closets, integrated within the building structure or by screening (landscape or mesh panels) and buffered. DG 3.2.28

Sincerely,



Jim Mann, Consultant
Eaton Ranch I & II Apartments



PLANNING SERVICES
DEPARTMENT

411 Main Street, Chico, CA 95927
P.O. Box 3470, Chico, CA 95927
Chico, CA 95927
<http://www.ci.chico.ca.us>

4 25 12

April 23, 2012

Pete Giampaoli
Epick Homes
901 Bruce Road, Suite 280
Chico, California 95928

Re: Sycamore Glen and Mountain Vista Vesting Tentative Subdivision Map/Planned Development Permit - Minor Modification of Planned Development Permit

Dear Mr. Giampaoli:

The Planning Services Director has approved your request to shift 10 multi-family residential units from the Sycamore Glen map to the Mountain Vista map in order to make the multi-family residential density of both developments consistent (see attached memo approving the request).

Should you have any questions, please contact me at (530) 879-6807 or by email at bsummerv@ci.chico.ca.us

Sincerely,

Bob Summerville, AICP
Senior Planner

Attachments:

Memo, Planning Services Director, 4/20/12

cc: Mike Byrd c/o Rolls, Anderson, Rolls, 115 Yellowstone Drive, Chico, CA 95973
Matt Johnson, Senior Development Engineer
Files: S/PDP 00-11 and S/PDP 01-12
Nelson George, Building Official (subdivision files)

X:\Staff\Folders\BSummerville\MY.DOC\SUBBMV-SG100-11 Sycamore Glen\min mod appr\ltr 4-23-12.wpd



Attachment C



CITY OF CHICO MEMORANDUM

TO: Project File **DATE:** April 20, 2012
FROM: Bob Summerville, AICP, Senior Planner **FILE:** S/PDP 00-11 and
S/PDP 01-12
RE: Sycamore Glen and Mountain Vista Vesting Tentative Subdivision Map/Planned
Development Permit - Minor Modification of Planned Development Permit

The City Council approved Sycamore Glen (S/PDP 00-11) and Mountain Vista (S/PDP 01-12) Vesting Tentative Subdivision Map/Planned Development Permit and General Plan Amendment/Rezone 04-08 at its meeting of 7/17/07. Both subdivision maps are contiguous, and were analyzed as one project in the project EIR. Planned development overlay zoning districts were approved in conjunction with the rezone applications, with the PD overlay districts placed on lots proposed for multi-family residential development. The minimum number of dwelling units for both subdivisions was established by conditions of the respective planned development permits as follows:

Sycamore Glen:	124 apartment units
Mountain Vista:	133 apartment units
Mountain Vista:	<u>13 townhomes</u>
	270 units, total

The developer (Pete Giampaoli of Epick Homes) has requested that 10 units be shifted from the Sycamore Glen map to the Mountain Vista map in order to make the multi-family residential density of both developments consistent (see attached letter of request). The total number of multi-family residential units would not be reduced by the proposal.

Pursuant to CMC Section 19.28.090 and Section 19.30.060.A, the Planning Services Director may authorize as a minor change the requested shift of 10 multi-family residential units from the Sycamore Glen Subdivision to the Mountain Vista Subdivision, by making the following findings:

1. The modification is consistent with all applicable provisions of the Land Use and Development Regulations of the Chico Municipal Code.
2. The modification does not involve a feature of the project that was a basis for findings in a negative declaration or environmental impact report for the project.
3. The modification does not involve a feature of the project that was specifically addressed or was a basis for conditions of approval for the project or that was a specific consideration by the Planning Commission and City Council in its approval of the project.
4. The modification does not result in the deletion or negation of any mitigation measure imposed on the project; and
5. The modification will not result in an expansion in the scope or intensity of the use.

The Director has considered the request, and upon making the necessary findings, by this memorandum, approves it.

cc: Pete Giampaoli, Epick Homes
Bob Summerville, AICP, Senior Planner
files: S/PDP 00-11 and S/PDP 01-12

EPICK, INC.
901 BRUCE ROAD, SUITE 280
CHICO, CA 95928
530.891.4757 PHONE
530.891.4206 FAX
CONTRACTORS LIC. NO. 663708

APR - 4 2012



April 2, 2012

Mr. Mark Wolf, Planner Director
City of Chico
PO Box 3420
Chico Ca 95927

RE: Resolution 99-07
Sycamore Creek Subdivision
Mountain Vista Subdivision

Dear Mark,

This letter seeks to clarify the number of apartments to be built at these subdivisions. We would like your written confirmation of units to be built as follows:

	Sycamore Creek	Mountain Vista	Total
Acres R-3	6.8	8.6	15.4
DUA	16.76	16.63	
R-3 Units	114	143	257
R-2 (Townhomes)	0	13	13
R-1	198	211	409
Total Units	312	367	679

The total number of units is the same as approved at 679. R-3 units approved were 257. Our understanding throughout the approval process was that the R-3 density was 16 DUA range. However the resolution places fewer units on Mountain Vista and more on Sycamore Creek making density above 18 DUA. This is too dense. We wanted more open space in both apartment projects. The allocation above moves more units to Mountain Vista thereby allowing project density in both projects at 16 DUA without reducing total number of approved units.

We appreciate your input. Please contact me should you wish to go over these numbers together.

Cordially,

A handwritten signature in black ink, appearing to read "Pete Giampaoli", written over the word "Cordially,".

Pete Giampaoli

cc: Bob Summerville
Chris Giampaoli

Attachment C

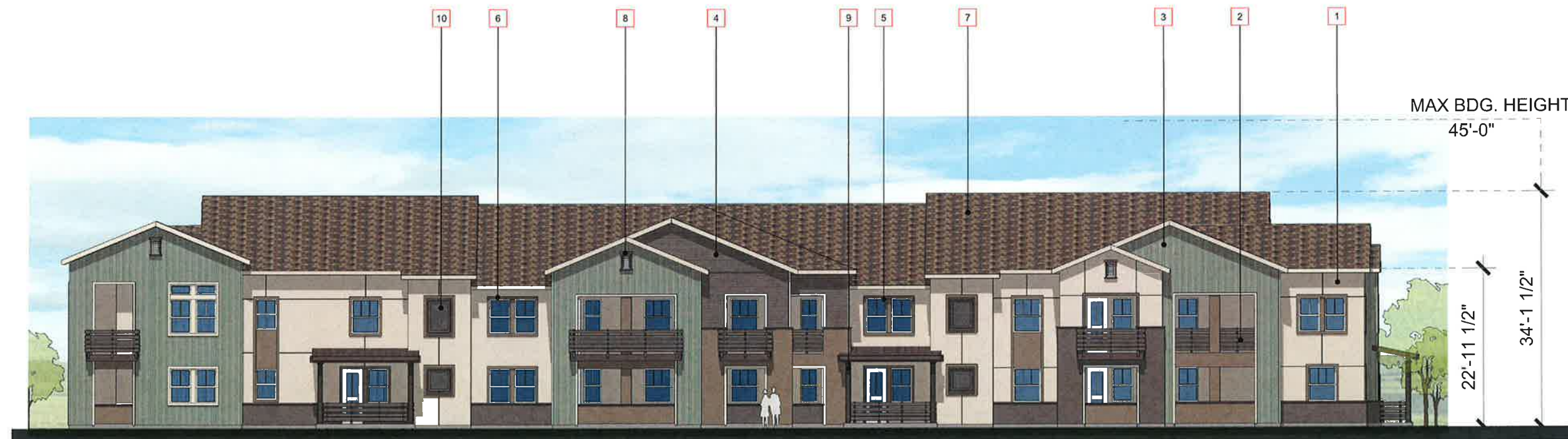
MATERIAL / COLOR LEGEND

- 1 EXTERIOR PLASTER
- 2 COMPOSITE SLATS RAILING
- 3 BOARD AND BATTEN SIDING (FIBER CEMENT)
- 4 HORIZONTAL SIDING (FIBER CEMENT)
- 5 VINYL WINDOWS
- 6 STUCCO OVER FOAM TRIM
- 7 COMPOSITION ROOF TILES
- 8 DECORATIVE LOUVERED VENT
- 9 DECORATIVE WOOD POST
- 10 DECORATIVE METAL MESH GRILLE
- 11 METAL SECTIONAL GARAGE DOOR



LEFT ELEVATION 2

RECEIVED
 SEP 12 2018
 CITY OF CHICO
 PLANNING SERVICES



FRONT ELEVATION 1



Friday, September 07, 2018 12:20:08 PM S:\2018\2018-369 CHANNEL EATON RD RESIDENTIAL CHICO\TITLEMENTS\18-369_A2.2 BUILDING A ELEVATIONS.DWG

EATON RANCH
 CHANNEL PROPERTIES
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559
 707-252-5460

CHICO, CA

BUILDING "A" ELEVATIONS

A2.2

DATE: 09-10-2018
 JOB NO.: 2018-369

ARCHITECTS ORANGE
 144 NORTH ORANGE ST., ORANGE, CA 92866
 (714) 639-9860



Attachment D

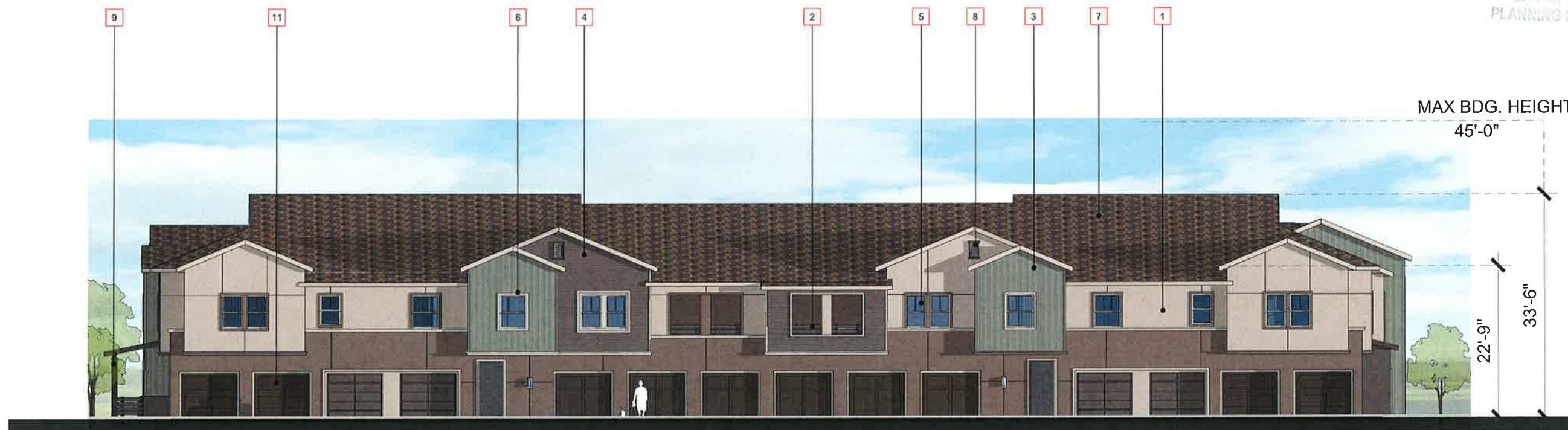
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- 8 DECORATIVE LOUVERED VENT
- 9 DECORATIVE WOOD POST
- 10 DECORATIVE METAL MESH GRILLE
- 11 METAL SECTIONAL GARAGE DOOR



RIGHT ELEVATION 4

RECEIVED
 SEP 12 2018
 CITY OF CHICO
 PLANNING SERVICES



REAR ELEVATION 3



Friday, September 07, 2018 12:20:21 PM
 S:\2018\2018-369 CHANNEL EATON RD RESIDENTIAL CHICO\TITLEMENTS\18-368_A2_2 BUILDING A ELEVATIONS DWG

EATON RANCH
 CHANNEL PROPERTIES
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559
 707-252-5460

CHICO, CA

BUILDING "A" ELEVATIONS

A2.3

DATE: 09-10-2018
 JOB NO.: 2018-369

ARCHITECTS ORANGE
 144 NORTH ORANGE ST., ORANGE, CA 92866
 (714) 639-9860



Attachment D

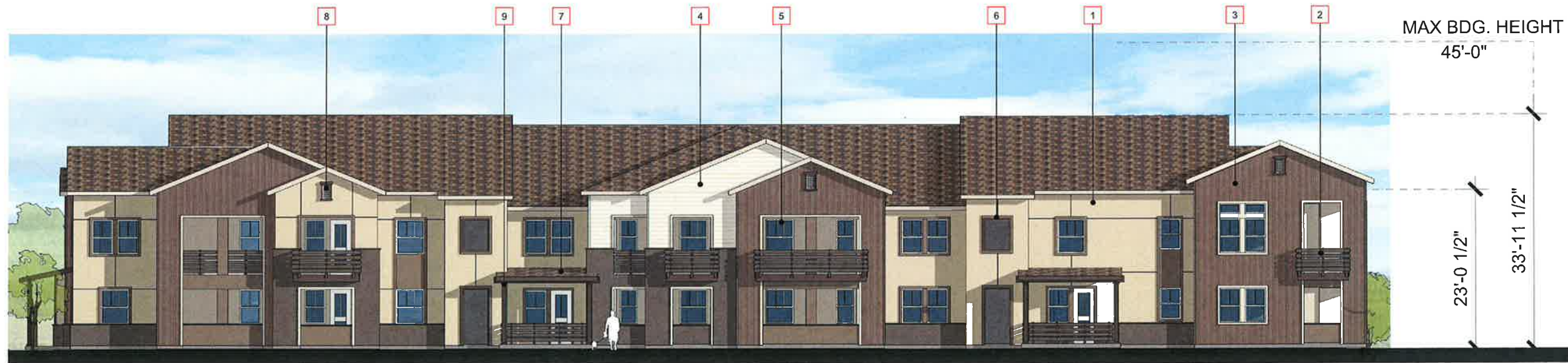
MATERIAL / COLOR LEGEND

- 1 EXTERIOR PLASTER
- 2 COMPOSITE SLATS RAILING
- 3 BOARD AND BATTEN SIDING (FIBER CEMENT)
- 4 HORIZONTAL SIDING (FIBER CEMENT)
- 5 VINYL WINDOWS
- 6 STUCCO OVER FOAM TRIM
- 7 COMPOSITION ROOF TILES
- 8 DECORATIVE LOUVERED VENT
- 9 DECORATIVE WOOD POST
- 10 DECORATIVE METAL MESH GRILLE
- 11 METAL SECTIONAL GARAGE DOOR



LEFT ELEVATION 2

RECEIVED
 SEP 12 2018
 CITY OF CHICO
 PLANNING SERVICES



FRONT ELEVATION 1



BUILDING "B" ELEVATIONS

A3.2

EATON RANCH
CHANNEL PROPERTIES
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559
 707-252-5460

CHICO, CA

DATE: 09-10-2018
 JOB NO.: 2018-369

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 144 NORTH ORANGE ST., ORANGE, CA 92866
 (714) 639-9860



Attachment D

Friday, September 07, 2018, 12:20:43 PM
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MATERIAL / COLOR LEGEND

- 1 EXTERIOR PLASTER
- 2 COMPOSITE SLATS RAILING
- 3 BOARD AND BATTEN SIDING (FIBER CEMENT)
- 4 HORIZONTAL SIDING (FIBER CEMENT)
- 5 VINYL WINDOWS
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- 8 DECORATIVE LOUVERED VENT
- 9 DECORATIVE WOOD POST
- 10 DECORATIVE METAL MESH GRILLE
- 11 METAL SECTIONAL GARAGE DOOR



RIGHT ELEVATION 4

RECEIVED
 SEP 12, 2018
 CITY OF ORANGE
 PLANNING SERVICES



REAR ELEVATION 3



Friday, September 07, 2018, 12:20:56 PM
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EATON RANCH
CHANNEL PROPERTIES
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559
 707-252-5460

CHICO, CA

BUILDING "B" ELEVATIONS

A3.3

DATE: 09-10-2018
 JOB NO.: 2018-369

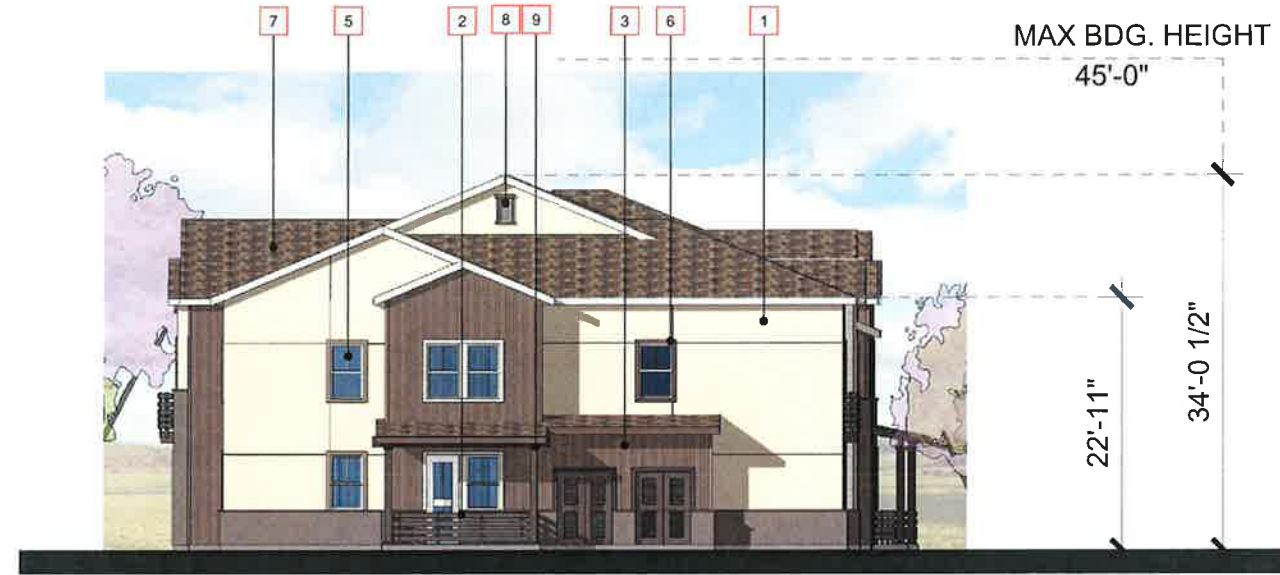
ARCHITECTS ORANGE
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 (714) 639-9860



Attachment D

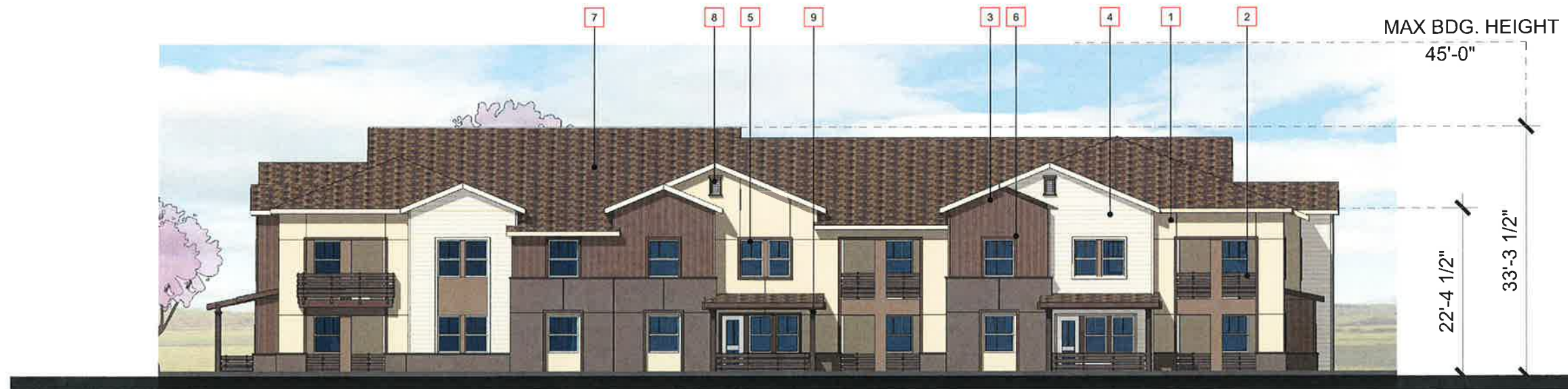
MATERIAL / COLOR LEGEND

- 1 EXTERIOR PLASTER
- 2 COMPOSITE SLATS RAILING
- 3 BOARD AND BATTEN SIDING (FIBER CEMENT)
- 4 HORIZONTAL SIDING (FIBER CEMENT)
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LEFT ELEVATION 2

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 SEP 12 2018
 CITY OF CHICO
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FRONT ELEVATION 1



Friday, September 07, 2018 12:21:18 PM
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EATON RANCH
 CHANNEL PROPERTIES
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559
 707-252-5460

CHICO, CA

BUILDING "C" ELEVATIONS

A4.2

DATE: 09-10-2018
 JOB NO.: 2018-369

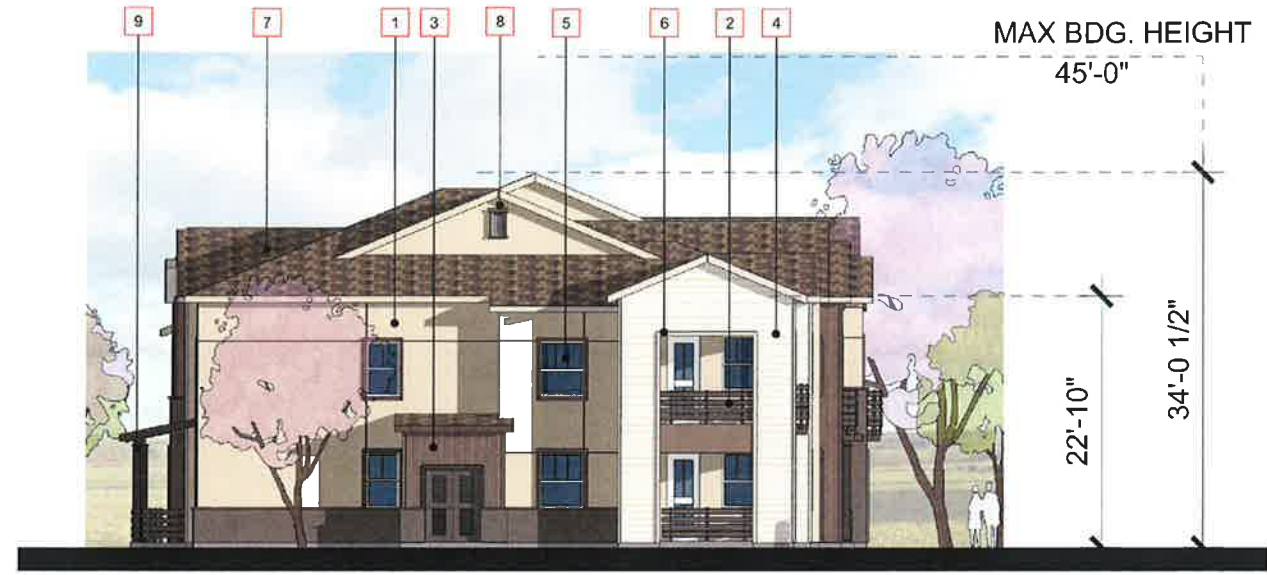
ARCHITECTS ORANGE
 144 NORTH ORANGE ST., ORANGE, CA 92866
 (714) 639-9860



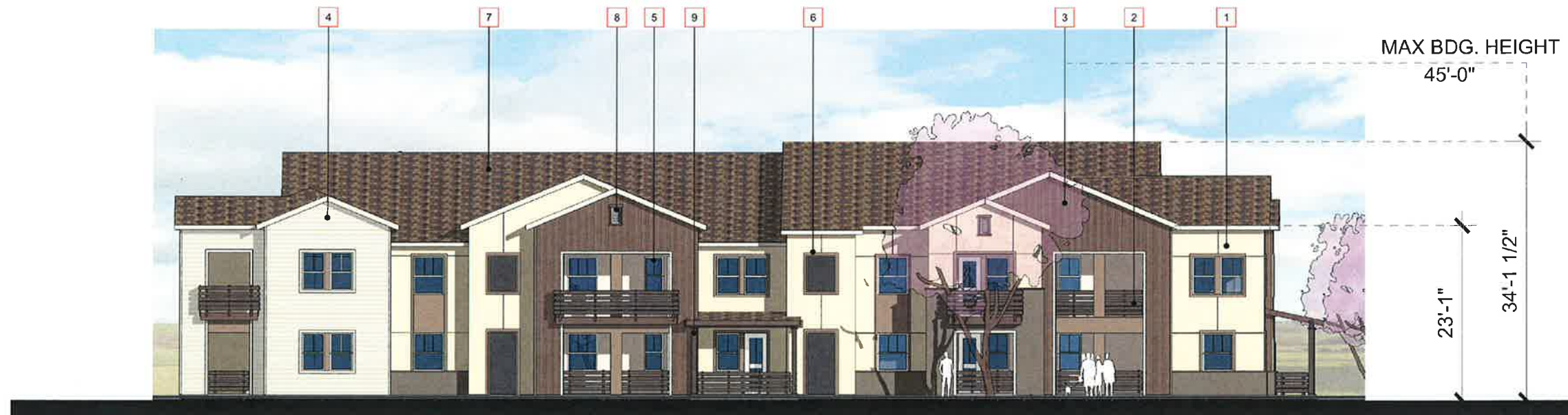
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MATERIAL / COLOR LEGEND

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- 2 COMPOSITE SLATS RAILING
- 3 BOARD AND BATTEN SIDING (FIBER CEMENT)
- 4 HORIZONTAL SIDING (FIBER CEMENT)
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RIGHT ELEVATION 4



REAR ELEVATION 3



Friday, September 07, 2018, 12:49:52 PM
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EATON RANCH
CHANNEL PROPERTIES
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559
 707-252-5460

CHICO, CA

BUILDING "C" ELEVATIONS

A4.3

DATE: 09-10-2018
 JOB NO.: 2018-369

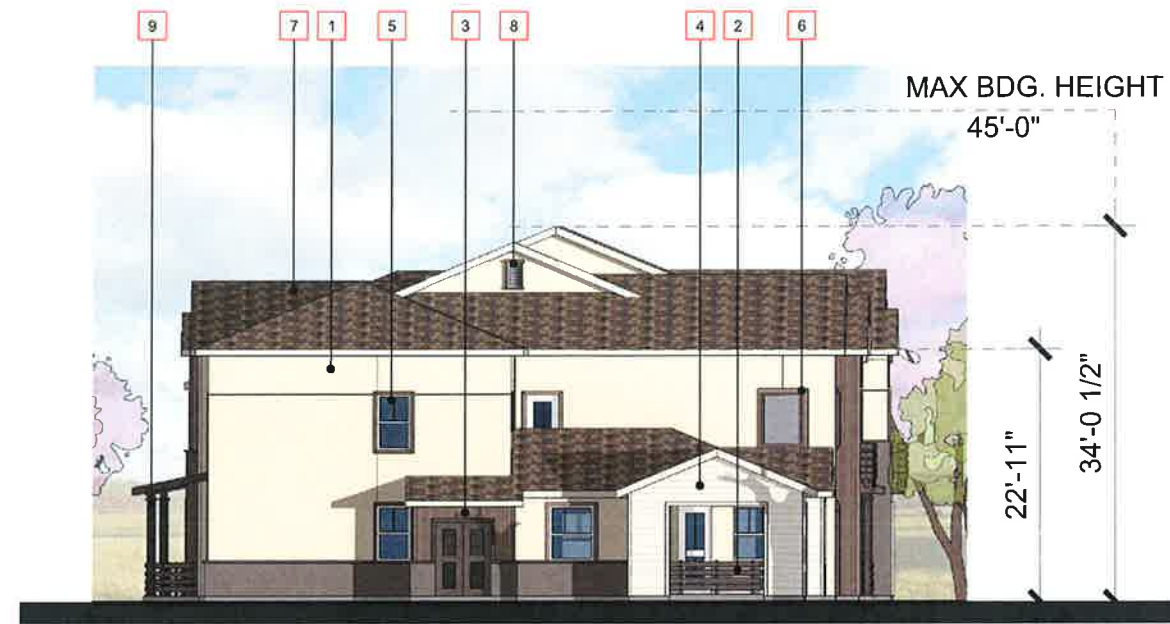
ARCHITECTS ORANGE
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 (714) 639-9860



Attachment D

MATERIAL / COLOR LEGEND

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LEFT ELEVATION 2



FRONT ELEVATION 1



BUILDING "D" ELEVATIONS

A5.2

EATON RANCH
CHANNEL PROPERTIES
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559
 707-252-5460

CHICO, CA

DATE: 09-10-2018
 JOB NO.: 2018-369

ARCHITECTS ORANGE
 144 NORTH ORANGE ST., ORANGE, CA 92866
 (714) 639-9860

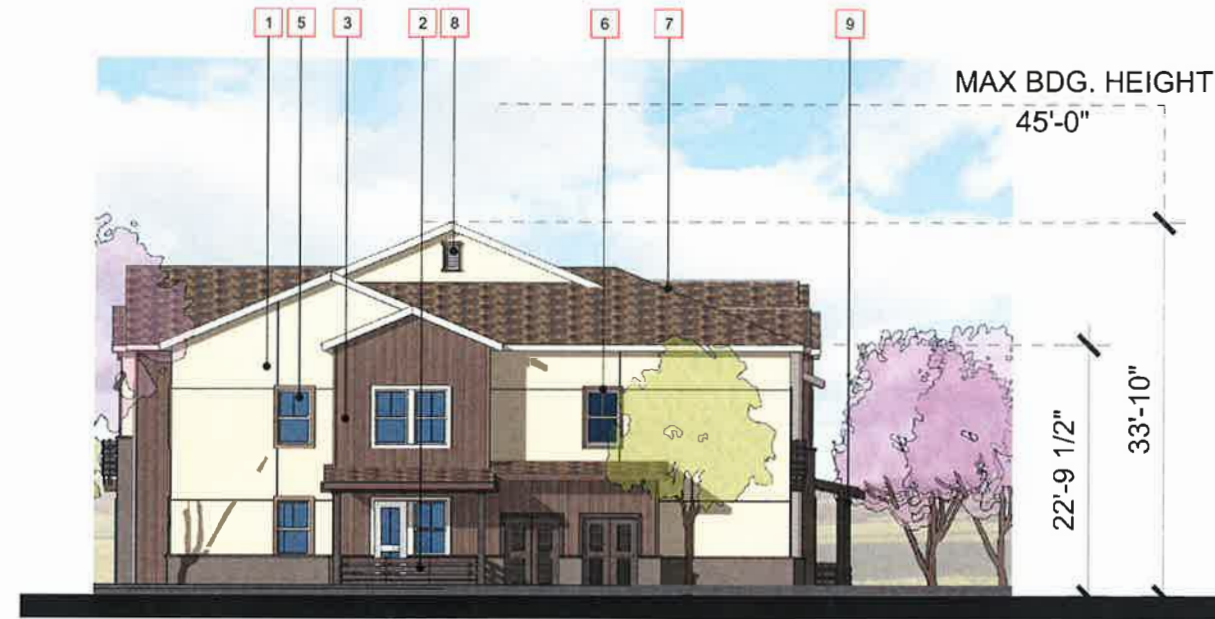


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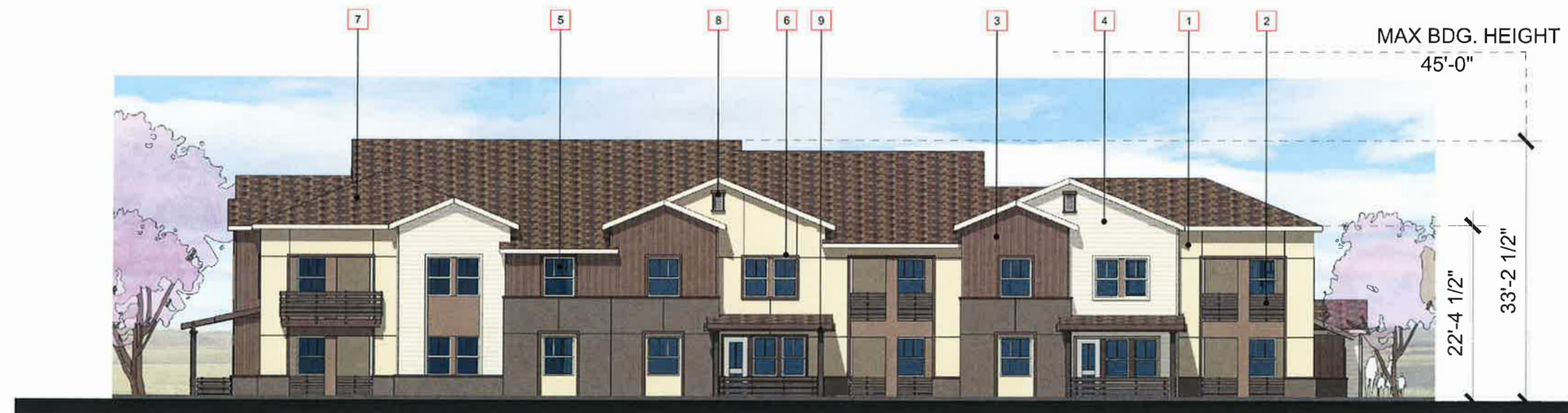
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MATERIAL / COLOR LEGEND

- 1 EXTERIOR PLASTER
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RIGHT ELEVATION 4



REAR ELEVATION 3



BUILDING "D" ELEVATIONS

A5.3

EATON RANCH

CHICO, CA

CHANNEL PROPERTIES

1850 SOCOL AVE, SUITE 207 NAPA, CA 94559
707-252-5460

DATE: 09-10-2018
JOB NO.: 2018-369

ARCHITECTS ORANGE

144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860

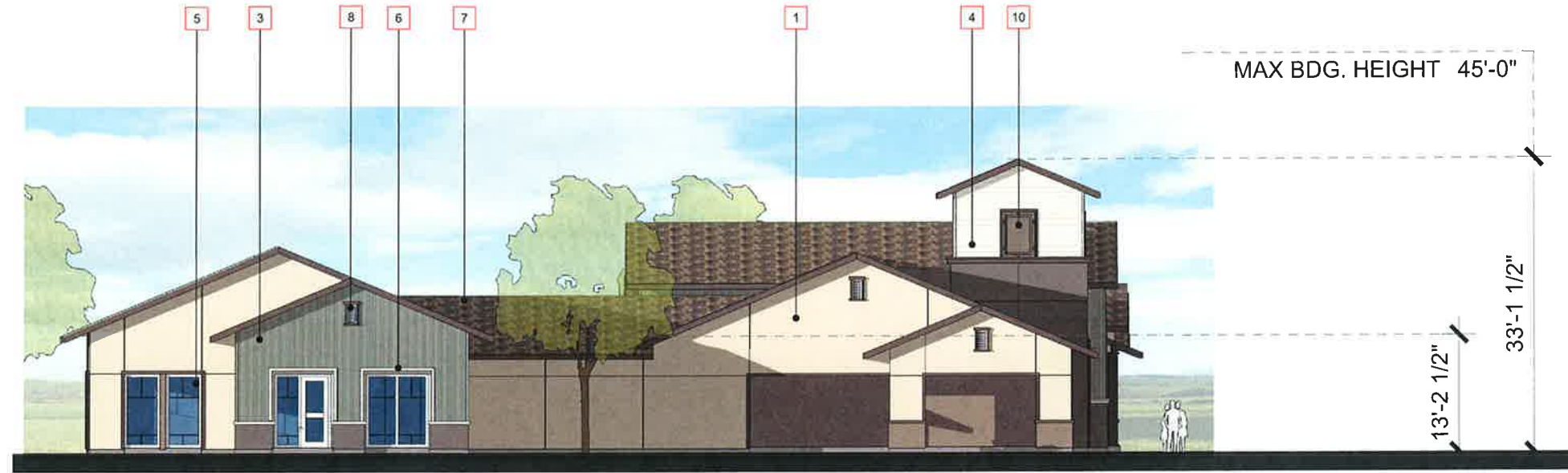


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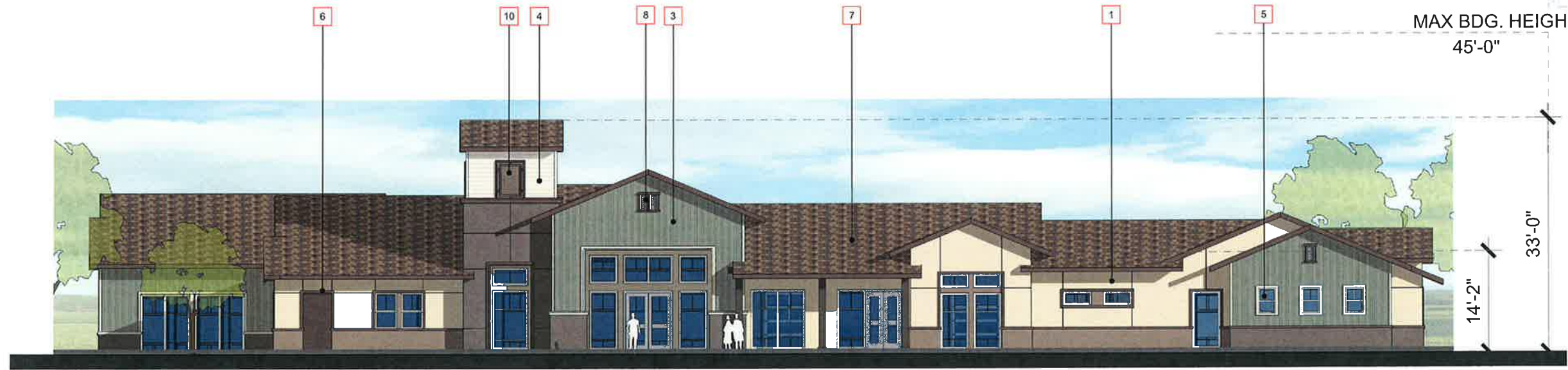
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MATERIAL / COLOR LEGEND

- 1 EXTERIOR PLASTER
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EAST ELEVATION 2



NORTH ELEVATION 1



EATON RANCH I AMENITIES BUILDING ELEVATIONS

A7.2

EATON RANCH
CHANNEL PROPERTIES
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559
 707-252-5460

CHICO, CA

DATE: 09-10-2018
 JOB NO.: 2018-369

ARCHITECTS ORANGE
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 (714) 639-9860

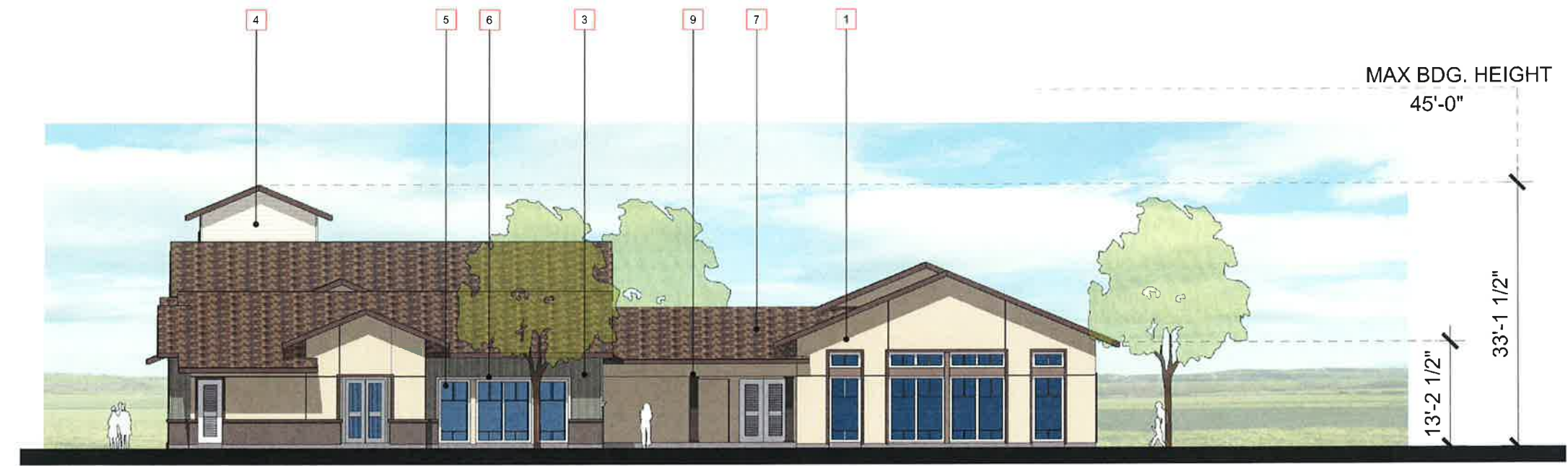


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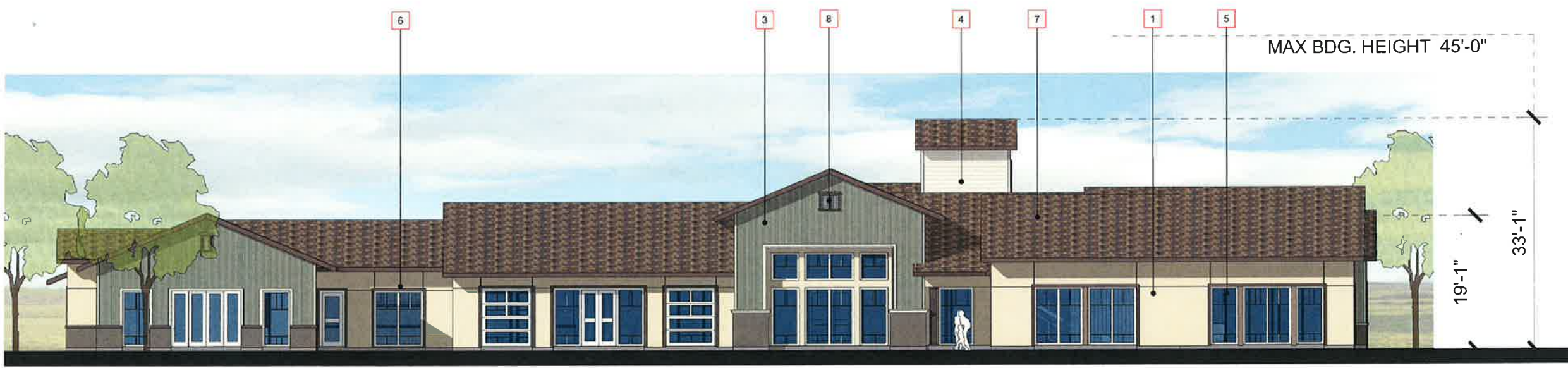
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MATERIAL / COLOR LEGEND

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WEST ELEVATION 4



SOUTH ELEVATION 3



EATON RANCH I AMENITIES BUILDING ELEVATIONS

A7.3

EATON RANCH
CHANNEL PROPERTIES
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559
 707-252-5460

CHICO, CA

DATE: 09-10-2018
 JOB NO.: 2018-369
ARCHITECTS ORANGE
 144 NORTH ORANGE ST., ORANGE, CA 92866
 (714) 639-9860

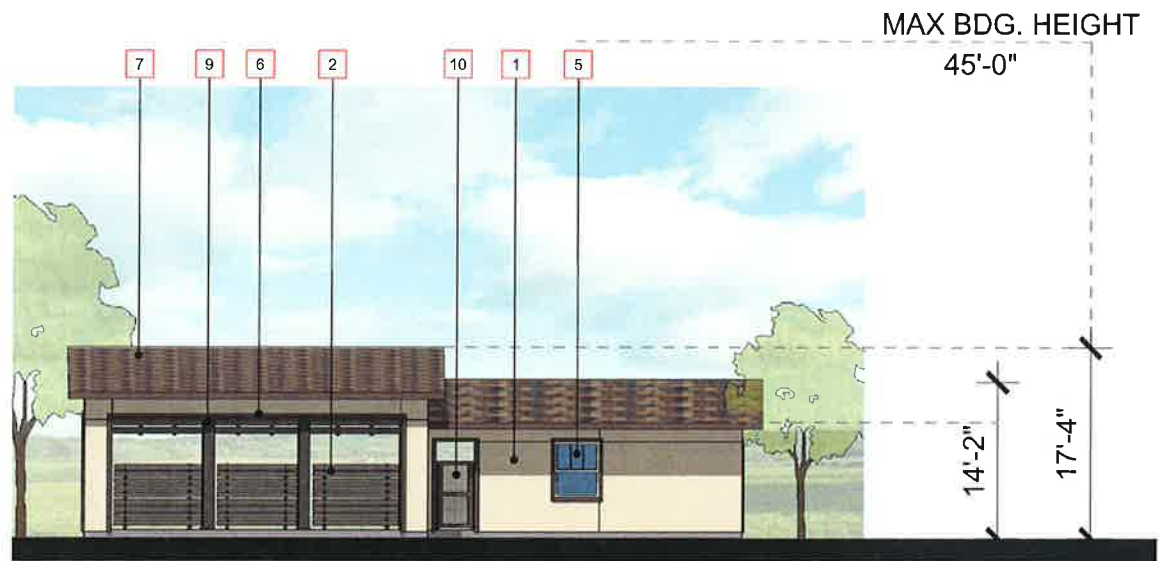


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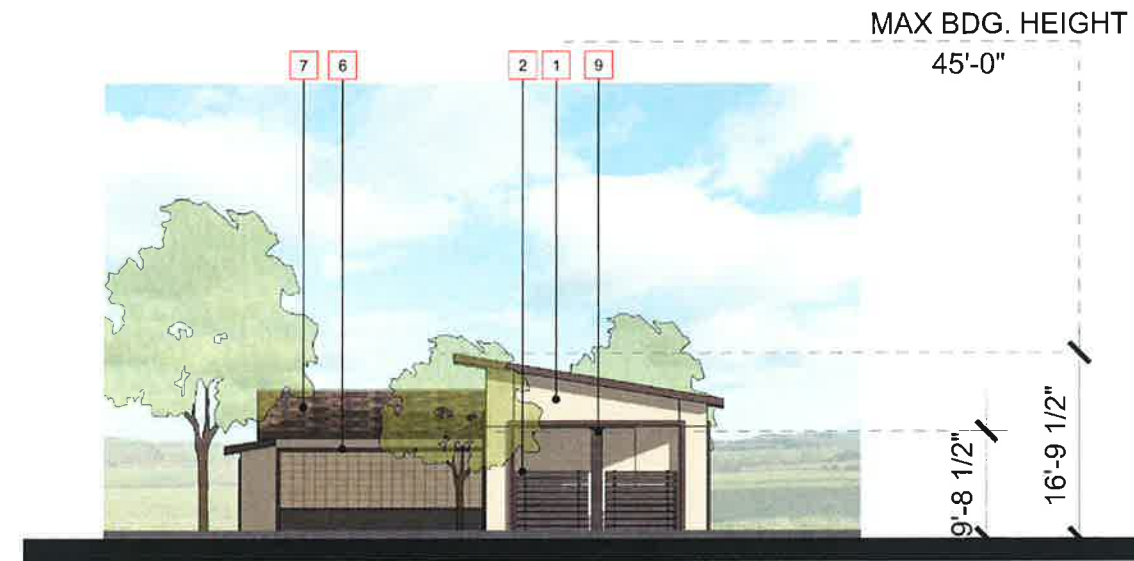
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MATERIAL / COLOR LEGEND

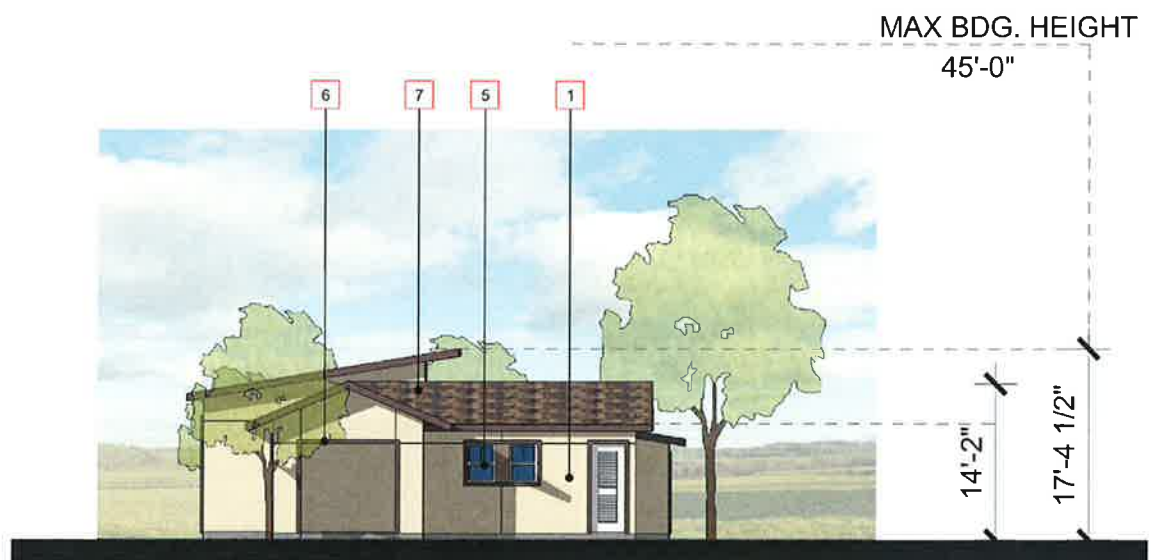
- 1 EXTERIOR PLASTER
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- 11 METAL SECTIONAL GARAGE DOOR



WEST ELEVATION 4



NORTH ELEVATION 2



SOUTH ELEVATION 3



EAST ELEVATION 1

PREPARED BY
 07.10.2018
 CIVIL AND
 PLANNING SERVICES



Friday, September 07, 2018, 1:50:42 PM
 S:\2018\2018-369 CHANNEL EATON RD RESIDENTIAL CHICO\TITLEMENTS\18-369_A7.5 EATON RANCH I CABANA ELEVATION.DWG

EATON RANCH
CHANNEL PROPERTIES
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559
 707-252-5460

CHICO, CA

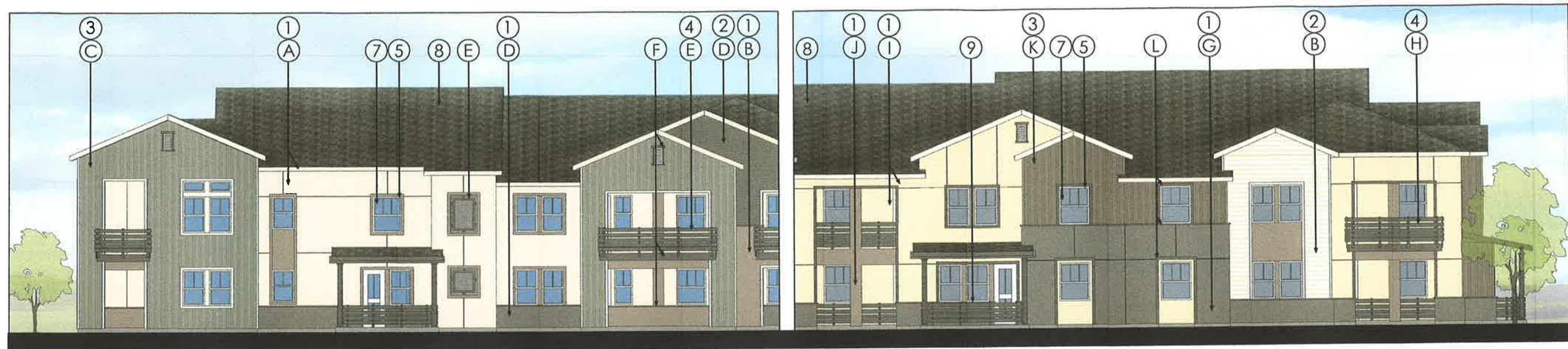
EATON RANCH I CABANA BUILDING ELEVATIONS

A7.5

DATE: 09-10-2018
 JOB NO.: 2018-369
ARCHITECTS ORANGE
 144 NORTH ORANGE ST., ORANGE, CA 92866
 (714) 639-9860



Attachment E



A Accessible Beige
SW 7036



B Sycamore Tan
SW 2855



C Dried Thyme
SW 6186



D Porpoise
SW 7047



E Urbane Bronze
SW 7048



F Rookwood Medium Brown
SW 2807



1 Exterior Plaster 20/30
Sand Finish - Paint Grade



2 Fiber Cement Wood Grain
Lap Siding - Paint Grade



3 Fiber Cement Wood Grain
Vertical Siding - Paint Grade



4 Fiber Cement Wood Grain
Railing Panels - Paint Grade



5 Vinyl Windows - White



7 Clear Glass



G Accessible Beige
SW 7036



H Aesthetic White
SW 7035



I Lotus Pod
SW 7572



J Sycamore Tan
SW 2855



K Cobble Brown
SW 6082



L Rookwood Medium Brown
SW 2807



G Porpoise
SW 7047



H Urbane Bronze
SW 7048

MATERIAL BOARD

DATE: 09-05-2018
JOB NO.: 2018-369

EATON RANCH

CHANNEL PROPERTIES

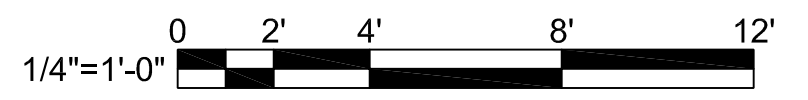
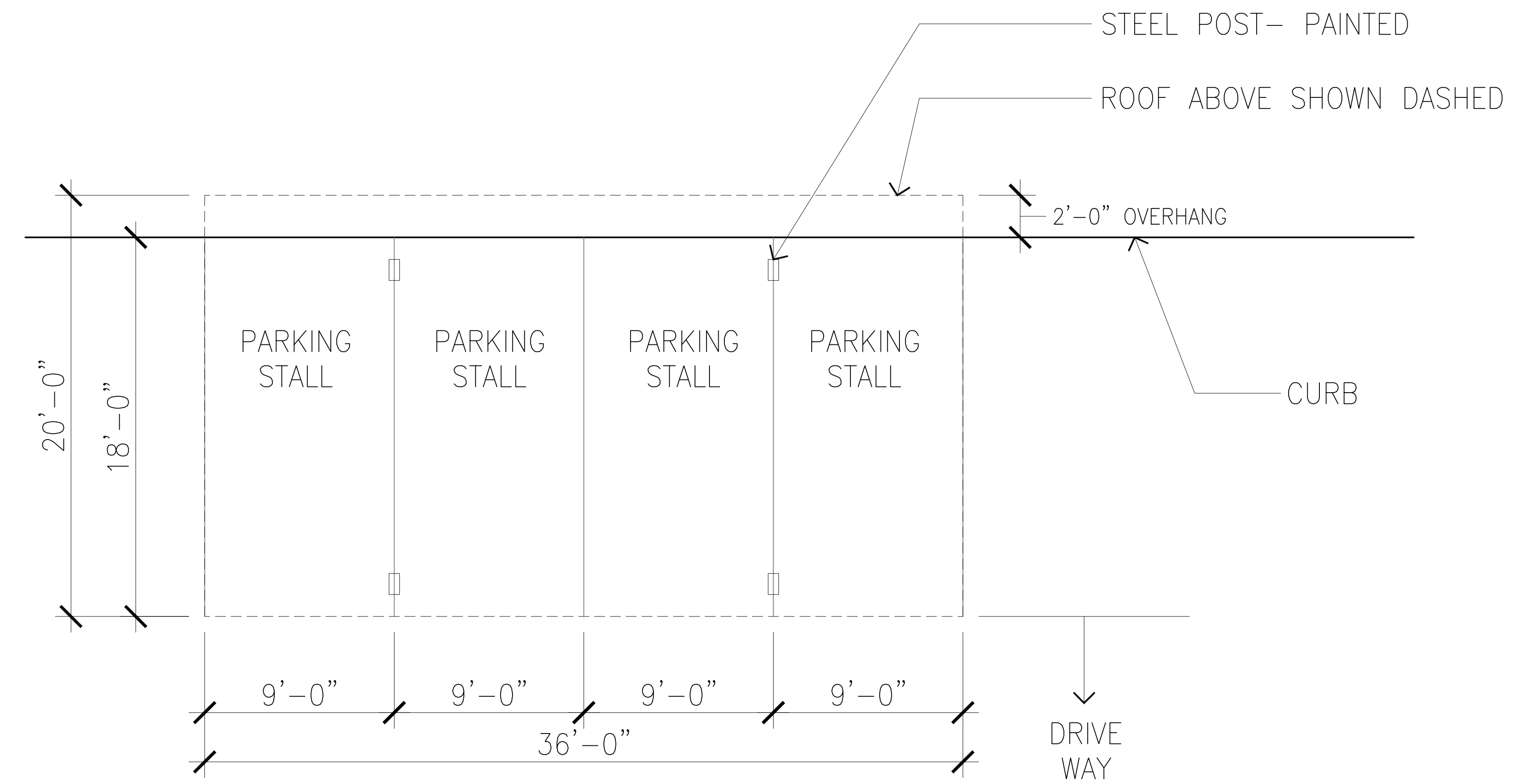
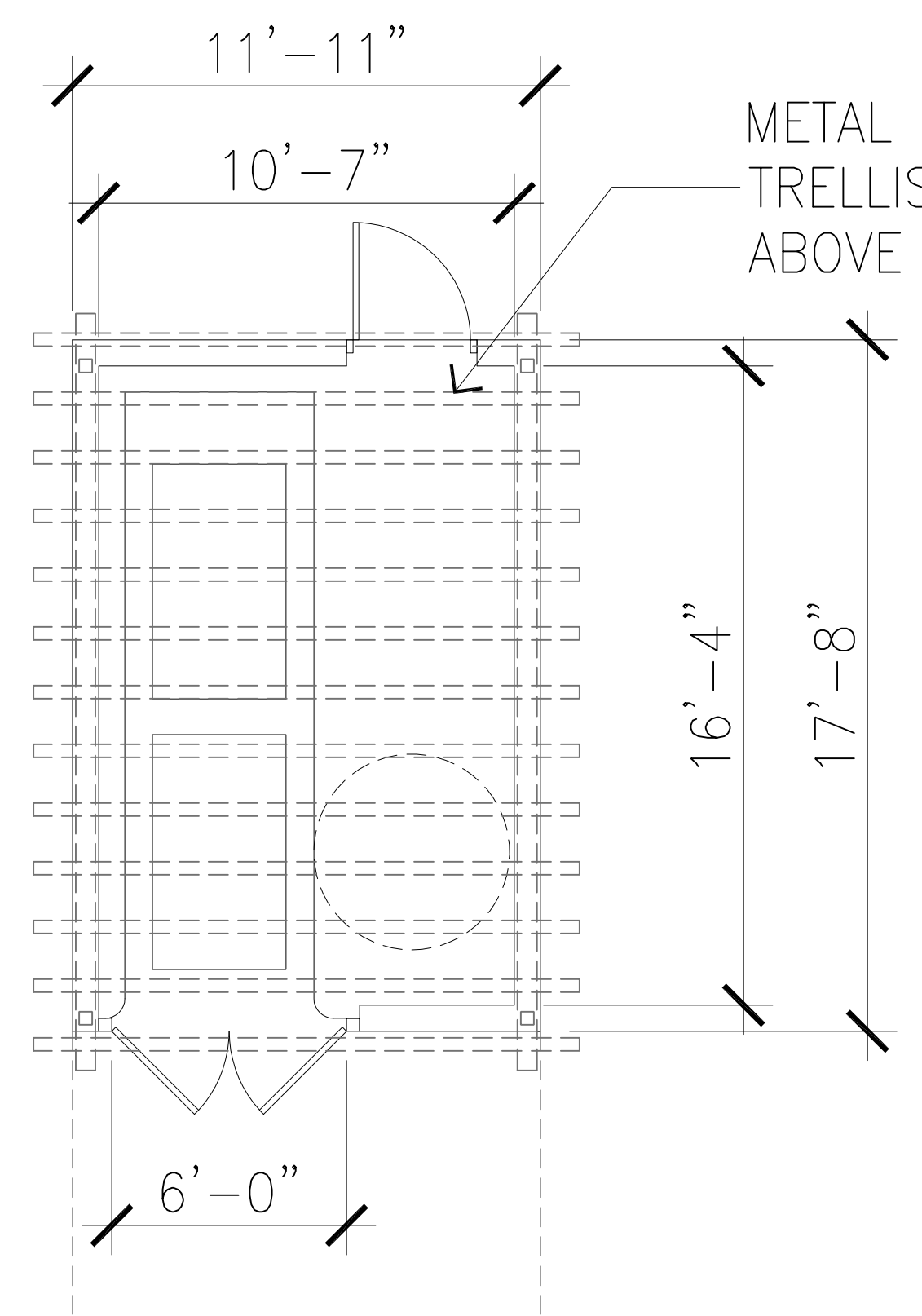
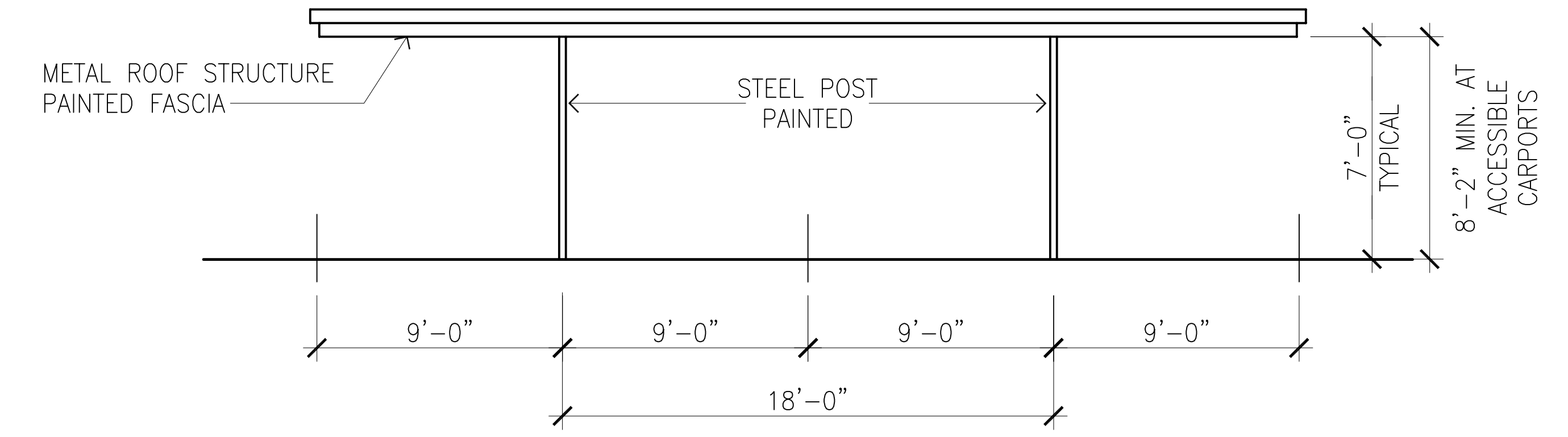
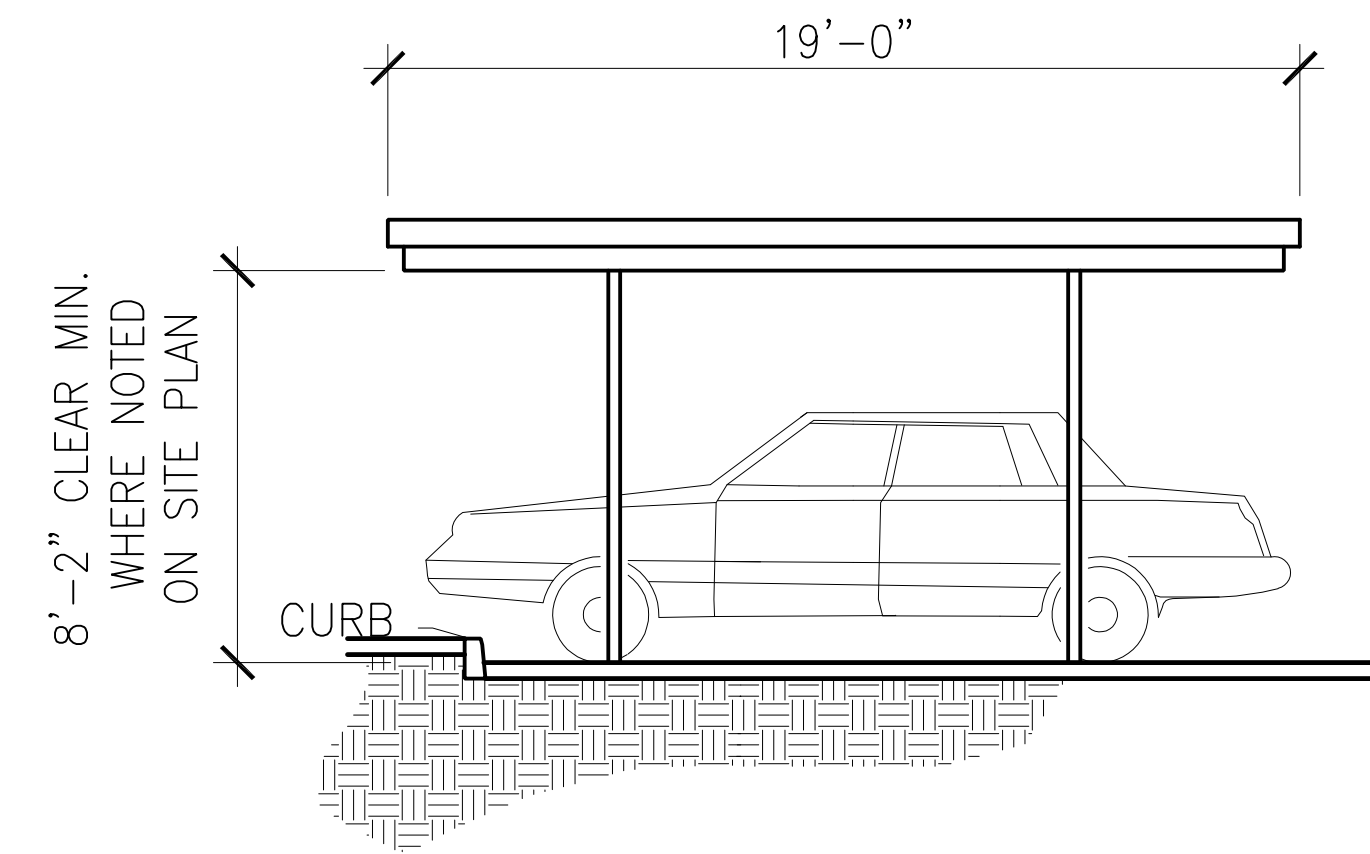
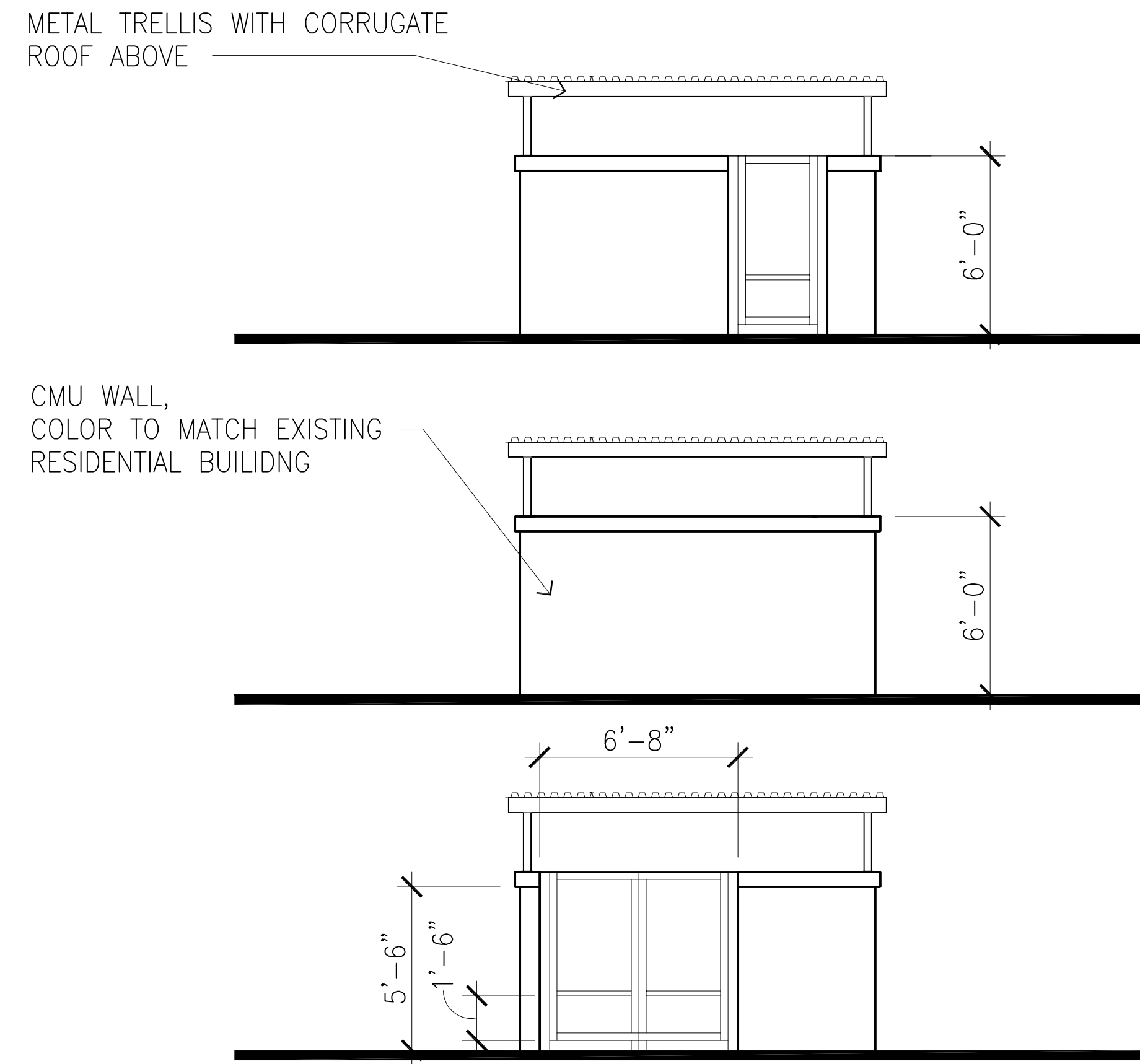
1850 SOCOL AVE, SUITE 207 NAPA, CA 94559
(000) 000-0000

CHICO, CA

ARCHITECTS ORANGE

144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860





Wednesday, September 19, 2018 1:38:03 PM S:\2018\2018-369 CHANNEL EATON RD RESIDENTIAL CHICO\TILEMENTS\18-369_A8 PARKING-CARPORT.DWG

EATON RANCH
CHANNEL PROPERTIES
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559
 707-252-5460

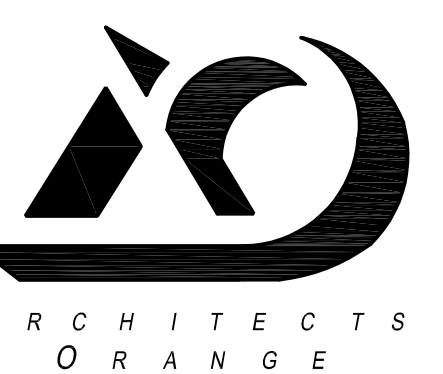
CHICO, CA

PARKING/CARPORT LAYOUT

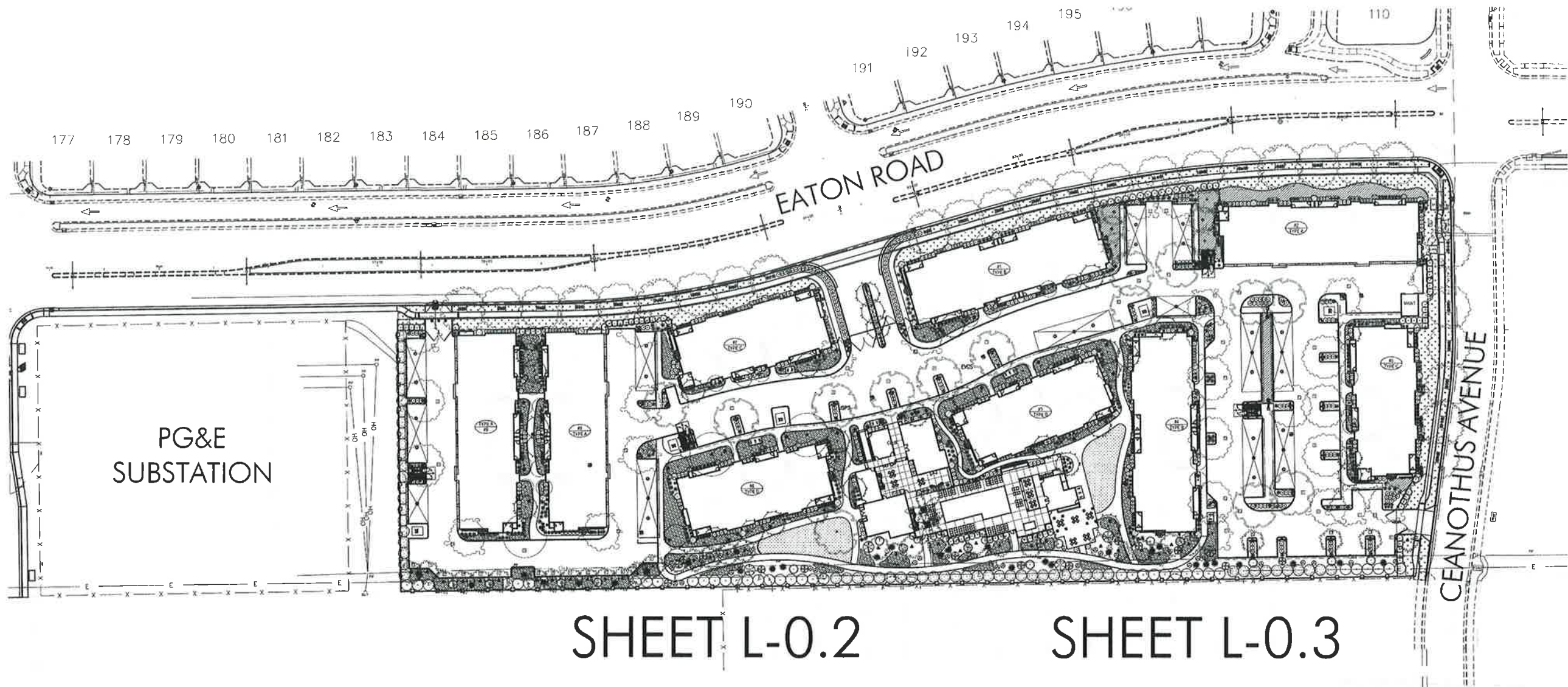
A8.0

DATE: 09-14-18
 JOB NO.: 2018-369

ARCHITECTS ORANGE
 144 NORTH ORANGE ST., ORANGE, CA 92866
 (714) 639-9860



Attachment G



BRIAN FIRTH
LANDSCAPE
ARCHITECT, INC.
627 BROADWAY, SUITE 220,
CHICO, CALIFORNIA 95928
PHONE: (530) 899-1130
www.BFLandscape.com
www.facebook.com/BFLandscape

LICENSE



CONSULTANT

CLIENT

CHANNEL
PROPERTIES

1850 SOSCOL
AVENUE, SUITE 207
NAPA, CA 94559

PROJECT

EATON RANCH
APARTMENTS

EATON AVENUE
CHICO CA 95928

SHEET TITLE

EATON RANCH II
PRELIMINARY
LANDSCAPE PLAN
REFERENCE SHEET

DATES	NO	DESCRIPTION	DATE
1	REVIEW SUBMITTAL	9-19-18	
	SITE REVISIONS	10-30-18	

Plot Date: October 30, 2018 - 11:52 am

PROJECT NUMBERS
BFLA PROJECT #: 2056
CONSULTANT PROJECT #:
APN: 016-200-117 AND 016-340-034

SHEET NUMBER

L-0.1



SCALE: NO SCALE

SHEET L-0.2

SHEET L-0.3

PARKING LOT LANDSCAPE AREA

DESCRIPTION	AREA	PERCENT
TOTAL PARKING AND BACK-UP AREA	62,614 SF	
PARKING LOT LANDSCAPE AREA PROVIDED	5,840 SF	9%

SHADE CALCULATIONS

DESCRIPTION	TOTAL
GROSS PARKING AND BACK-UP AREA	78,098 SF
MINUS CARPORT AREA	15,483 SF
TOTAL PARKING AND BACK-UP AREA FOR CALCULATIONS	62,614 SF

SHADE AREA PROVIDED

DESCRIPTION	SHADE AREA	QUANTITY	TOTAL	PERCENT
20 FOOT DIAMETER TREES				
F FULL	314 SF	0	0	0
TQ THREE QUARTER	235 SF	3	705 SF	1%
H HALF	157 SF	13	2,041 SF	3%
Q QUARTER	78 SF	2	156 SF	0
40 FOOT DIAMETER TREES				
F FULL	1,256 SF	8	10,048 SF	16%
TQ THREE QUARTER	942 SF	13	12,246 SF	19%
H HALF	628 SF	10	6,280 SF	10%
Q QUARTER	314 SF	5	1,570 SF	2%
TOTAL SHADE AREA PROVIDED			33,046 SF	52%

WATER USE CALCULATIONS

Maximum Applied Water Allowance (MAWA) - Calculation

MAWA = (Eto) (0.7) (LA) (0.62)

MAWA = 1,971,004 Gallons per Year

Hydrozone	PF	HA (square feet)	Acres	IE	EWU (gallons per year)	acre-feet/year	cct/year
Hydrozone 5; Medium water use trees, shrubs and ground cover; drip.	0.5	74,947	1.720546	0.9	1479203.957	4.53951	1977.545
Hydrozone 16; Cool season turf; rotator, rotor	0.8	4,311	0.098967	0.7	175031.5269	0.537152	233.9994
Total Estimated Water Use for All Hydrozones (EWU) - Sum					EWU = 1,654,236	5.076662	2,212
					(gallons per year)	(Acro-Feet per Year)	(100 cubic feet per year)

SOILS STATEMENT

STANDARD SOIL AMENDMENTS WILL BE APPLIED IN ACCORDANCE WITH RECOMMENDATIONS BY AN ANALYTICAL SOILS TESTING LABORATORY.

LANDSCAPE IRRIGATION

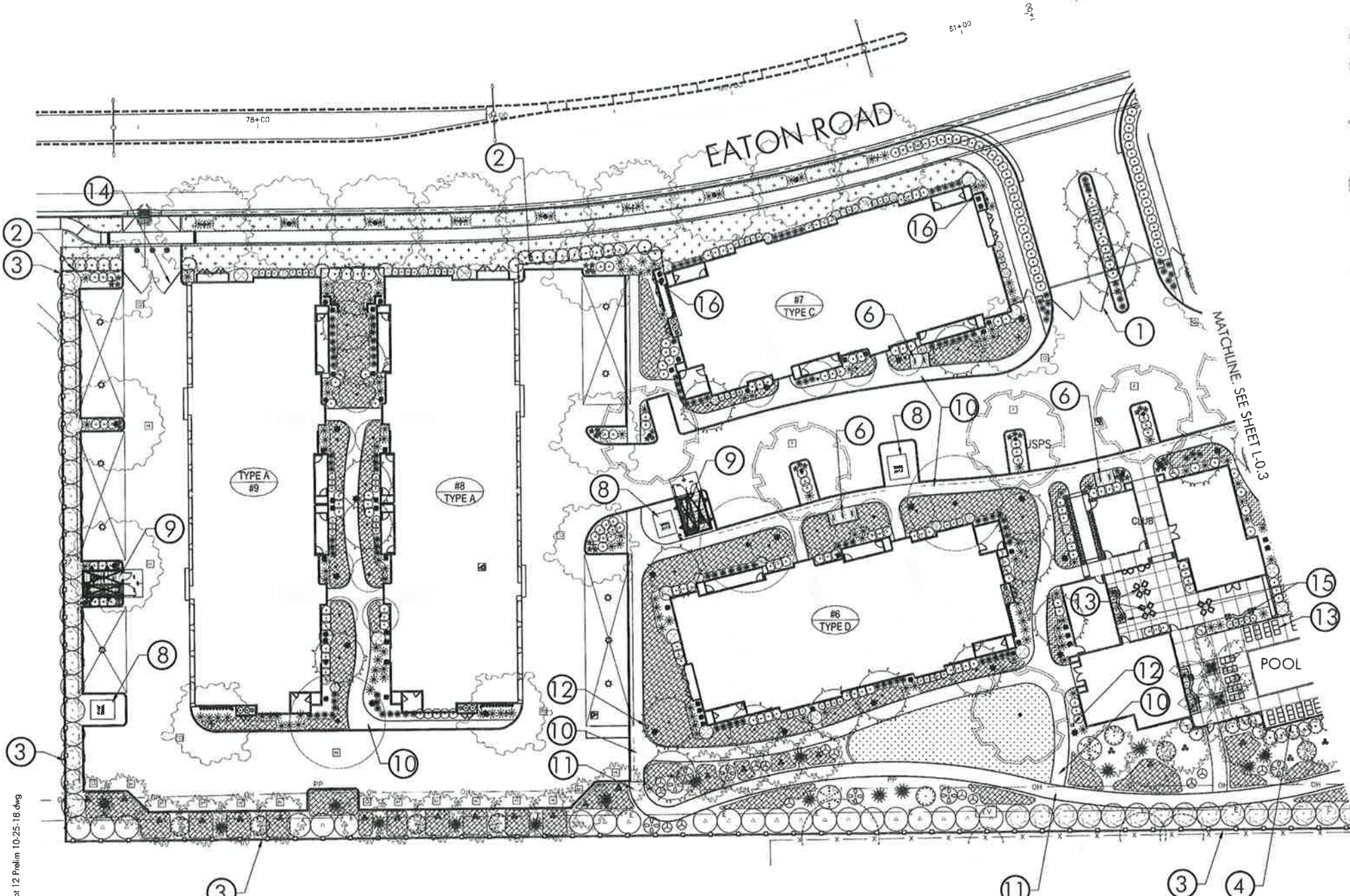
LANDSCAPE IS PRIMARILY MEDIUM WATER USE PLANTINGS IRRIGATED BY MEANS OF AN AUTOMATICALLY CONTROLLED LOW VOLUME DRIP IRRIGATION SYSTEM. A PORTION OF THE LANDSCAPE WILL BE A HIGH WATER USE TURF AREA IRRIGATED BY MEANS OF AN AUTOMATICALLY CONTROLLED POP-UP ROTATOR SYSTEM.

THE IRRIGATION SYSTEM WILL UTILIZE A FLOW SENSING/ MASTER VALVE ASSEMBLY THAT WILL SHUT THE SYSTEM DOWN IN THE EVENT OF A LINE BREAK SO AS TO PREVENT WASTING WATER AND DAMAGE TO LANDSCAPE. IT WILL ALSO FEATURE AN EVAPOTRANSPIRATION/ RAIN/ FREEZE SENSOR WHICH ADJUSTS THE IRRIGATION SCHEDULE BASED UPON REAL-TIME CONDITIONS IN ORDER TO PROVIDE THE MINIMUM AMOUNT OF IRRIGATION FOR OPTIMAL PLANT GROWTH.

File Name: Z:\BFLA (2000-2099)\2056 Channel Lumber Apartments\2056 CAD\2056 Master Plan\2056 Lot 12 Prelim 10-25-18.dwg

PLANT LIST

TREES	SYMBOL	COMMON NAME	CONTAINER SIZE	QUANTITY	REMARKS	WATER USE
ACER PALMATUM	10000000	JAPANESE MAPLE	24 BCK	20	STANDARD	MEDIUM
ULMUS PARVIFLORA	10000000	SMALL LEAF ELM	3 GAL	20	STANDARD	MEDIUM
QUERCUS RUBER	10000000	SCOUR LOG	15 GAL	15	STANDARD	MEDIUM
PHILUS CANADENSIS	10000000	CANARY BIRD PINE	15 GAL	6	STANDARD	LOW
QUERCUS LOBATA	10000000	VALLEY OAK	15 GAL	17	STANDARD	LOW
LAGESTROCHMA INDOCA	10000000	RED BELLIED TROPIC BIRD	24 BCK	24	STANDARD	LOW
LAGESTROCHMA INDOCA	10000000	TUSCANY TROPIC BIRD	24 BCK	14	STANDARD	LOW
PLATANUS OCCIDENTALIS	10000000	WESTERN Sycamore	15 GAL	18	STANDARD	LOW
OSMANTHUS FRAGRANS	10000000	SWEET OLIVE	15 GAL	37	STANDARD	MEDIUM
WASHINGTONIA ROBURATA	10000000	MEXICAN PALM	12 HEIGHT	7	STANDARD	MEDIUM
SHRUBS	SYMBOL	COMMON NAME	CONTAINER SIZE	QUANTITY	REMARKS	WATER USE
VIBURNUM TINUS	10000000	SPRING BOUQUET	5 GAL	34		MEDIUM
CAMELIA SASSANICA	10000000	CLEOPATRA	5 GAL	96		MEDIUM
ROSA HOATRUM	10000000	ROSE BEEBEE	1 GAL	34		MEDIUM
ERIGONIA BICOLOR	10000000	SPRINGWAVE	5 GAL	122		MEDIUM
AGAPANTHUS AMERICANUS	10000000	GLADIOLUS	1 GAL	316		MEDIUM
DIETES BICOLOR	10000000	FORNIGHT	1 GAL	248		LOW
PODOCARPUS N. HAWAII	10000000	SP. RUBRY	5 GAL	41		MEDIUM
HELIOPSIS SCHEMATA	10000000	COMPACT	1 GAL	142		LOW
LOROPETALUM CHINESE	10000000	LAZT HANDS	5 GAL	270		MEDIUM
HELIOPSIS SCHEMATA	10000000	COMPACT	1 GAL	118		MEDIUM
PHOTINIA X FRASER	10000000	FRASER'S	5 GAL	38		MEDIUM
PRUNUS LAUROCESTRUS	10000000	ENGLISH LAUREL	5 GAL	59		MEDIUM
QUERCUS N. HAWAII	10000000	MOULI	5 GAL	90		LOW
ARCTOSTAPHYLOS HOWARD	10000000	MCMAHON	5 GAL	15		LOW
FLUOROCALYPSO	10000000	CAFE PLUMADO	5 GAL	15		LOW
ZALUSCHNERIA CALIFORNICA	10000000	CALIFORNIA	1 GAL	30		LOW
HELIOPSIS SCHEMATA	10000000	COMPACT	1 GAL	30		LOW
CERIS OCCIDENTALIS	10000000	WESTERN	5 GAL	3		LOW
TURF	SYMBOL	DESCRIPTION	QUANTITY	REMARKS	WATER USE	
DHARP	10000000	TURF TYPE FAL FESCUE	500	4,311 SF		HIGH
TRACHELOSPERMUM	10000000	STAR JASMINE	1 GAL	4,291 SF	PLANT @ 30" O.C.	MEDIUM
TEUCRIUM CHAMAEDRIS	10000000	PROSTRATE	1 GAL	374 SF	PLANT @ 30" O.C.	LOW
ARTEMISIA	10000000	SCORPION	1 GAL	15,022 SF	PLANT @ 30" O.C.	LOW
ARTOCARPUS	10000000	WOODS	1 GAL	16,022 SF	PLANT @ 30" O.C.	MEDIUM
VEGETATION	SYMBOL	DESCRIPTION	QUANTITY	REMARKS	WATER USE	
FAIRBANKS	10000000	BOSTON IVY	1 GAL	17	TRAIN TO TRASH ENCLOSURE	MEDIUM
TRACHELOSPERMUM	10000000	STAR JASMINE	1 GAL	22	TRAIN/MVC SCREEN	MEDIUM



File Name: Z:\BFLA\2000-2099\2056 Channel Apartments\2056 CAD\2056 Master Plan\2056 Lot 12 Prelim 10-25-18.dwg

PLAN LEGEND

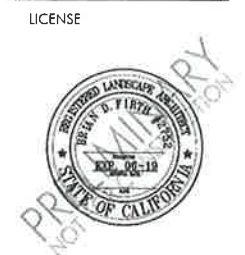
SYMBOL	DESCRIPTION
1	ENTRY GATE
2	SIX FOOT HIGH, BLACK, TUBULAR STEEL FENCING
3	SIX FOOT HIGH, BOARD ON BOARD FENCE WITH CAP
4	POOL FENCING
5	SHADE TRELLIS
6	QUEST BICYCLE PARKING, TYPICAL SYMBOL
7	PG & E ACCESS GATES (12 FOOT MINIMUM WIDTH)
8	TRANSFORMER LOCATION
9	TRASH ENCLOSURE (BY OTHERS)
10	CONCRETE WALKWAY
11	ASPHALT WALKWAY
12	DOGIE WASTE STATION
13	SITE FURNISHING, PER OWNER
14	EMERGENCY ACCESS GATE, BY OTHERS
15	CONCRETE SEATWALL WITH PLANTING CONTAINERS, FORM BOARD FINISH
16	HVAC/ UTILITY SCREEN PANEL TYPICAL AT ALL HVAC'S/ UTILITIES FACING PUBLIC VIEW

LIGHTING SYMBOLS

SYMBOL	DESCRIPTION
☆	CARPORT LED LIGHT
★	LED BOLLARD LIGHT
⦿	LED AREA LIGHT 14' LUMINERE HEIGHT WITH GLARE CUT-OFFS AS REQUIRED TO PREVENT LIGHT FROM SHINING ONTO ADJACENT PROPERTIES

NOTE: ALL LANDSCAPED AREAS TO RECEIVE A MINIMUM 3" LAYER OF BROWN LAVA ROCK.

BRIAN FIRTH LANDSCAPE ARCHITECT, INC.
 627 BROADWAY, SUITE 220
 CHICO, CALIFORNIA 95926
 PHONE (530) 899-1130
 www.BFLAdesign.com
 www.facebook.com/BFLAdesign



CONSULTANT

CLIENT

CHANNEL PROPERTIES
 1850 SOSCOL AVENUE, SUITE 207
 NAPA, CA 94559

PROJECT
EATON RANCH APARTMENTS
 EATON AVENUE
 CHICO CA 95928

SHEET TITLE
EATON RANCH II PRELIMINARY LANDSCAPE PLAN 20 SCALE

DATES	NO	DESCRIPTION	DATE
1	REVIEW SUBMITTAL		9-19-18
	SITE REVISIONS		10-30-18

Plot Date: October 30, 2018 - 11:52 am

PROJECT NUMBERS
 BFLA PROJECT #: 2056
 CONSULTANT PROJECT #:
 APN: 016-200-117 AND 016-340-034

SHEET NUMBER

L-0.2

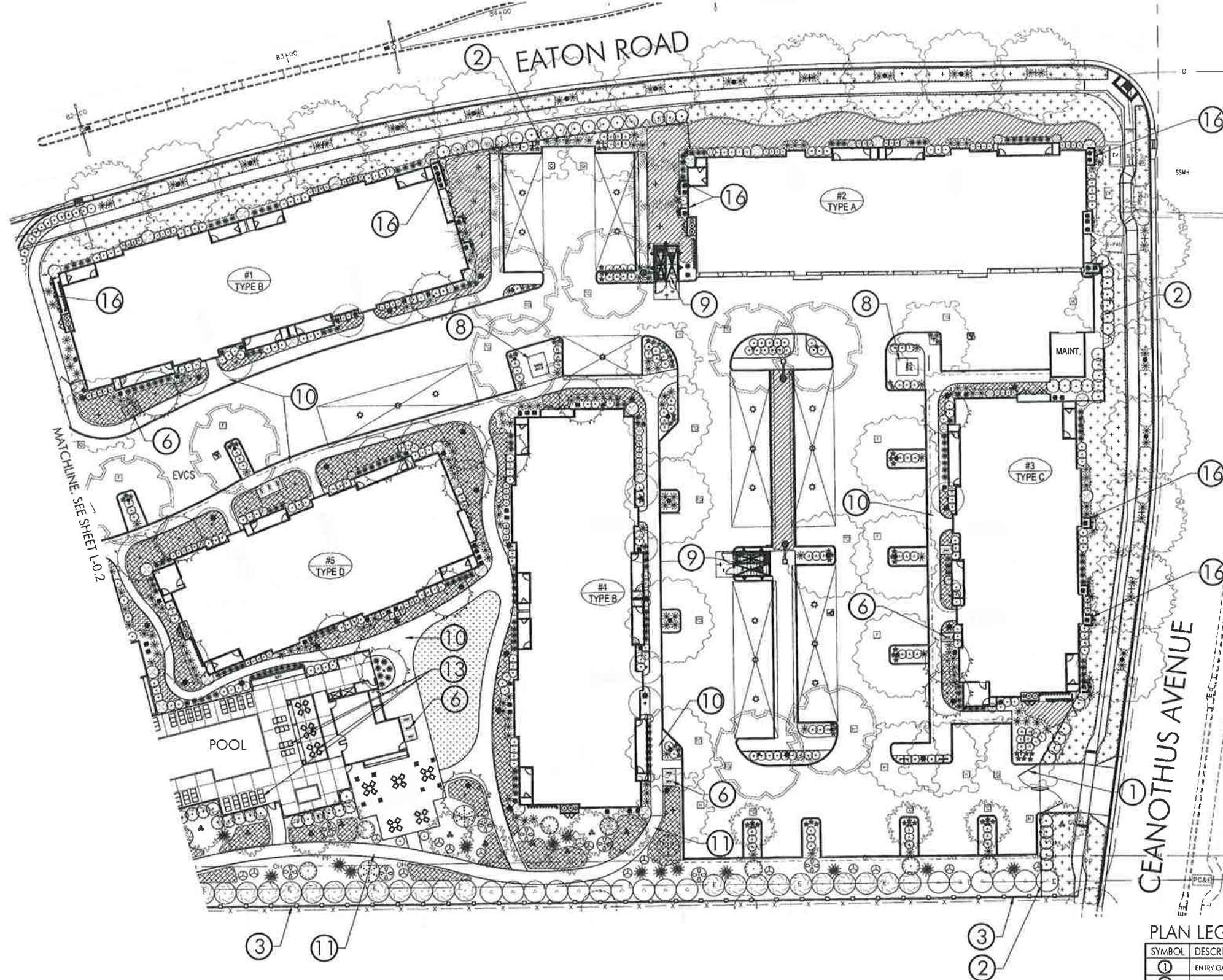
Attachment H

OCT 31 2018



SCALE: 1" = 20'-0"

File Name: Z:\BFLA\2000-2099\2056 Channel Lumber Apartments\2056 CAD\2056 Master Plan\2056.Lot 12 Prelim 10-25-18.dwg



PLANT LIST

SYMBOL	UNIVERSITY COMMON NAME	COUNT	QUANTITY	REMARKS	WATER USE
1	ACEB PALM, W. 3.0000000	24" BCR	27	STANDARD	MEDIUM
2	YUCCA BARRISCHII	12 GA.	21	STANDARD	MEDIUM
3	QUERCUS LAEVIS	12 GA.	10	STANDARD	MEDIUM
4	MAUI CACTUS	12 GA.	8	STANDARD	LOW
5	QUERCUS LAEVIS	15 GA.	13	STANDARD	LOW
6	UNDERSTORY PALM	24" BCR	24	STANDARD	LOW
7	UNDERSTORY PALM	24" BCR	16	STANDARD	LOW
8	UNDERSTORY PALM	24" BCR	16	STANDARD	LOW
9	UNDERSTORY PALM	24" BCR	16	STANDARD	LOW
10	UNDERSTORY PALM	24" BCR	16	STANDARD	LOW
11	UNDERSTORY PALM	24" BCR	16	STANDARD	LOW
12	UNDERSTORY PALM	24" BCR	16	STANDARD	LOW
13	UNDERSTORY PALM	24" BCR	16	STANDARD	LOW
14	UNDERSTORY PALM	24" BCR	16	STANDARD	LOW
15	UNDERSTORY PALM	24" BCR	16	STANDARD	LOW
16	UNDERSTORY PALM	24" BCR	16	STANDARD	LOW

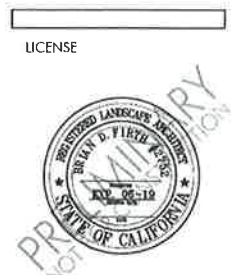
PLAN LEGEND

SYMBOL	DESCRIPTION
1	ENTRY GATE
2	6X6 FOOT HIGH, BLACK, TUBULAR STEEL FENCING
3	6X6 FOOT HIGH, BOARD ON BOARD FENCE WITH CAP
4	POOL FENCING
5	SHADE TRELLIS
6	GUEST BICYCLE PARKING, TYPICAL SYMBOL
7	PG & E ACCESS GATES (12 FOOT MINIMUM WIDTH)
8	TRANSFORMER LOCATION
9	TRASH ENCLOSURE (BY OTHERS)
10	CONCRETE WALKWAY
11	ASPHALT WALKWAY
12	DOG/DOG WASTE STATION
13	SITE FURNISHING, PER OWNER
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15	CONCRETE SEATWALL WITH PLANTING CONTAINERS, FORM BOARD FINISH
16	HVAC/UTILITY SCREEN PANEL, TYPICAL AT ALL HVAC'S/UTILITIES FACING PUBLIC VIEW

LIGHTING SYMBOLS

SYMBOL	DESCRIPTION
☆	CARPORT LED LIGHT
★	LED BOLLARD LIGHT
⦿	LED AREA LIGHT 14' LUMINERE HEIGHT WITH GLARE CUT-OFFS AS REQUIRED TO PREVENT LIGHT FROM SHINING ONTO ADJACENT PROPERTIES

BRIAN FIRTH LANDSCAPE ARCHITECT, INC.
 627 BROADWAY, SUITE 220,
 CHICO, CALIFORNIA 95928
 PHONE: (530) 899-1130
 www.BFLAdesign.com
 www.facebook.com/BFLAdesign



CONSULTANT
CHANNEL PROPERTIES
 1850 SOSCOL AVENUE, SUITE 207
 NAPA, CA 94559

PROJECT
 EATON RANCH APARTMENTS
 EATON AVENUE CHICO CA 95928

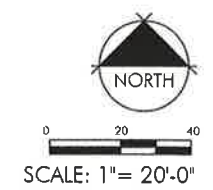
SHEET TITLE
 EATON RANCH II PRELIMINARY LANDSCAPE PLAN 20 SCALE

DATE	DESCRIPTION	DATE
1	REVIEW SUBMITTAL	9-19-18
	SITE REVISIONS	10-30-18

Plot Date: October 30, 2018 - 11:52 am
PROJECT NUMBERS
 BFLA PROJECT # 2056
 CONSULTANT PROJECT #:
 APN: 016-200-117 AND 016-340-034

SHEET NUMBER
L-0.3
 Attachment H

OCT 31 2018
 CITY OF CHICO
 PLANNING DEPARTMENT





GAS GRILL



HVAC/ UTILITY SCREEN PANEL (WITH EVERGREEN VINE TRAINED TO PANEL)



TUBULAR STEEL FENCING



BICYCLE RACK



DOGGY WASTE STATION



TABLES AND CHAIRS STATION

BRIAN FIRTH
LANDSCAPE
ARCHITECT, INC.
627 BROADWAY, SUITE 220,
CHICO, CALIFORNIA 95928
PHONE: (530) 899-1130
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LICENSE



CONSULTANT

CLIENT

CHANNEL
PROPERTIES

1850 SOSCOL
AVENUE, SUITE 207
NAPA, CA 94559

PROJECT
EATON RANCH
APARTMENTS

EATON AVENUE
CHICO CA 95928

SHEET TITLE
EATON RANCH II
PRELIMINARY
LANDSCAPE DESIGN
DEVELOPMENT

DATES	NO	DESCRIPTION	DATE
	1	REVIEW SUBMITTAL	9-19-18
		SITE REVISIONS	10-30-18

Plot Date: October 30, 2018 - 11:52 am

PROJECT NUMBERS
BFLA PROJECT #: 2056
CONSULTANT PROJECT #:
APN: 016-200-117 AND 016-340-034

SHEET NUMBER

L-0.4

Attachment H

PHILIPS GARDCO
LED
Site & Area
SVPK SoftView LED
Parking garage luminaires

Model	Power	Beam Angle	Height	Notes
SVPK-100	100W	120°	10-12'	Standard luminaire
SVPK-150	150W	120°	10-12'	Standard luminaire
SVPK-200	200W	120°	10-12'	Standard luminaire

CARPORT

PHILIPS GARDCO
LED
Site & Area
PBL PureForm LED bollard

Model	Power	Beam Angle	Height	Notes
PBL-100	100W	120°	4-6'	Standard bollard
PBL-150	150W	120°	4-6'	Standard bollard
PBL-200	200W	120°	4-6'	Standard bollard

BOLLARD LIGHT

PHILIPS GARDCO
LED
Site & Area
ECF-5 EcoForm small

Model	Power	Beam Angle	Height	Notes
ECF-5-100	100W	120°	14'	Standard luminaire
ECF-5-150	150W	120°	14'	Standard luminaire
ECF-5-200	200W	120°	14'	Standard luminaire

AREA LIGHT (14 FOOT LUMINERE HEIGHT)

OCT 31 2018

PRELIMINARY PLANNING SERVICES



POOL



BOARD ON BOARD FENCE



POOL FENCING



ENTRY SIGNAGE

File Name: Z:\BFLA (2000-2099)\2056 Channel Lumber Apartments\2056 CAD\2056 Master Plan\2056_Lot 12 Prelim 10-25-18.dwg

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LICENSE



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1850 SOSCOL
AVENUE, SUITE 207
NAPA, CA 94559

PROJECT

EATON RANCH
APARTMENTS

EATON AVENUE
CHICO CA 95928

SHEET TITLE

EATON RANCH I
PRELIMINARY
LANDSCAPE PLAN
REFERENCE SHEET

DATES

NO	DESCRIPTION	DATE
1	REVIEW SUBMITTAL	9-19-18
1	SITE REVISIONS	10-30-18

Plot Date: October 30, 2018 - 2:31 pm

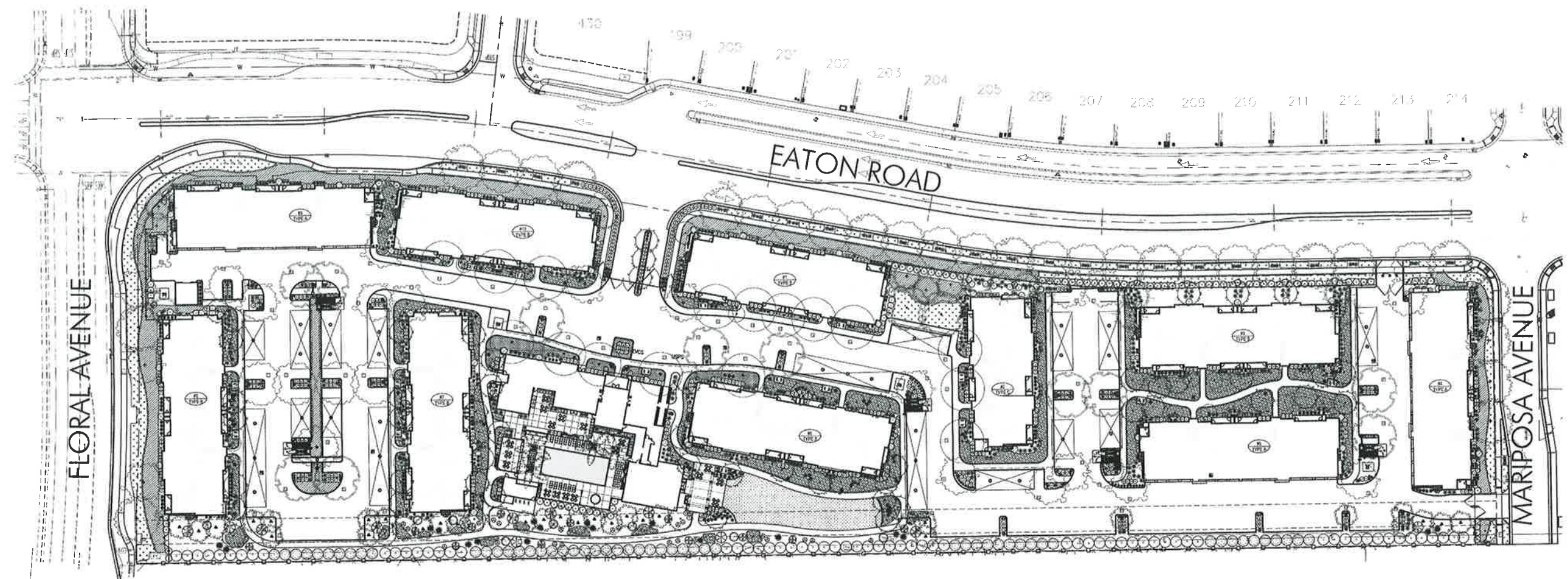
PROJECT NUMBERS

BFLA PROJECT # 2056
CONSULTANT PROJECT #:
APN: 016-200-117 AND 016-340-034

SHEET NUMBER

L-0.1

Attachment H



SHEET L-0.2

SHEET L-0.3

SHEET L-0.4

PARKING LOT LANDSCAPE AREA

DESCRIPTION	AREA	PERCENT
TOTAL PARKING AND BACK-UP AREA	73,742 SF	
PARKING LOT LANDSCAPE AREA PROVIDED	8,052 SF	10%

SHADE CALCULATIONS

DESCRIPTION	TOTAL
GROSS PARKING AND BACK-UP AREA	92,740 SF
MINUS CARPORT AREA	18,998 SF
TOTAL PARKING AND BACK-UP AREA FOR CALCULATIONS	73,742 SF

SHADE AREA PROVIDED				
DESCRIPTION	SHADE AREA	QUANTITY	TOTAL	PERCENT
20 FOOT DIAMETER TREES				
F FULL	314 SF	0	0	0
TO THREE QUARTER	235 SF	4	940 SF	1%
H HALF	157 SF	5	785 SF	1%
Q QUARTER	78 SF	4	312 SF	<1%
40 FOOT DIAMETER TREES				
F FULL	1,256 SF	11	13,816 SF	18%
TO THREE QUARTER	942 SF	9	8,478 SF	11%
H HALF	628 SF	11	6,280 SF	8%
Q QUARTER	314 SF	20	6,280 SF	8%
TOTAL SHADE AREA PROVIDED			36,891 SF	50%

WATER USE CALCULATIONS

Maximum Applied Water Allowance (MAWA) - Calculation

MAWA = (Eto) (0.7) (LA) (0.62)

MAWA = 2,863,126 Gallons per Year

Hydrozone	PF	HA	IE	EWU	Acres	ccf/year
Hydrozone 5; Medium water use trees, shrubs and ground cover; drip.	0.5	110,120 (square feet)	0.9	2173401.733 (gallons per year)	2.528007	2905.617
Hydrozone 15; Cool season turf; rotator, rotor	0.8	5,012 (square feet)	0.7	203492.928 (gallons per year)	0.624497	272.0494
Total Estimated Water Use for All Hydrozones (EWU) - Sum				2,376,895 (gallons per year)	7.294422	272.0494
				3,178 (100 cubic feet per year)	0.072949	

SOILS STATEMENT

STANDARD SOIL AMENDMENTS WILL BE APPLIED IN ACCORDANCE WITH RECOMMENDATIONS BY AN ANALYTICAL SOILS TESTING LABORATORY.

LANDSCAPE IRRIGATION

LANDSCAPE IS PRIMARILY MEDIUM WATER USE PLANTINGS IRRIGATED BY MEANS OF AN AUTOMATICALLY CONTROLLED LOW VOLUME DRIP IRRIGATION SYSTEM. A PORTION OF THE LANDSCAPE WILL BE A HIGH WATER USE TURF AREA IRRIGATED BY MEANS OF AN AUTOMATICALLY CONTROLLED POP-UP ROTATOR SYSTEM.

THE IRRIGATION SYSTEM WILL UTILIZE A FLOW SENSING/ MASTER VALVE ASSEMBLY THAT WILL SHUT THE SYSTEM DOWN IN THE EVENT OF A LINE BREAK SO AS TO PREVENT WASTING WATER AND DAMAGE TO LANDSCAPE. IT WILL ALSO FEATURE AN EVAPOTRANSPIRATION/ RAIN/ FREEZE SENSOR WHICH ADJUSTS THE IRRIGATION SCHEDULE BASED UPON REAL-TIME CONDITIONS IN ORDER TO PROVIDE THE MINIMUM AMOUNT OF IRRIGATION FOR OPTIMAL PLANT GROWTH.

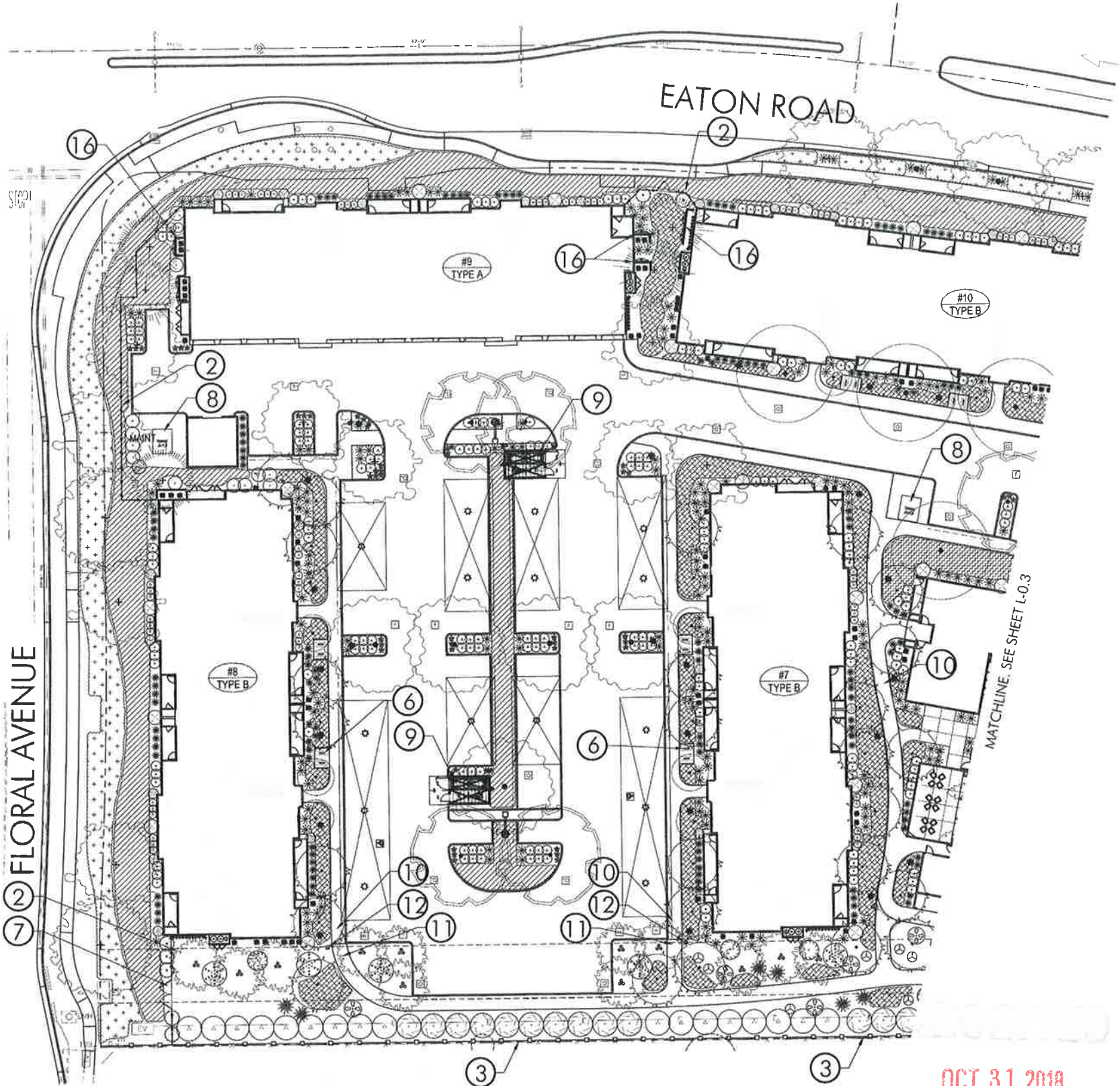
RECEIVED
OCT 31 2018
STAFFING
PLANTING SERVICES



SCALE: NO SCALE

File Name: C:\Users\jason\appdata\local\temp\AcPublish_Br04\2056 Lot 11 Prelim 10-29-18.dwg

File Name: C:\Users\lason\appdata\local\temp\acPublish_8404\2056 Lot 11 Prelim 10-29-18.dwg



PLANT LIST

SYMBOL	LATIN NAME/ COMMON NAME	CONTAINER SIZE	QUANTITY	REMARKS	WATER USE
TREES					
●	ACER PALMATUM BIODOGWOOD	24" BOX	28	STANDARD	MEDIUM
●	JAPANESE MAPLE	15 GAL	22	STANDARD	MEDIUM
●	LEUCUS PARVIFOLIA EVERGREEN ELM	15 GAL	14	STANDARD	MEDIUM
●	QUERCUS SUBER COCK OAK	15 GAL	14	STANDARD	MEDIUM
●	PNUS CANARIENSIS CANARY ISLAND PINE	15 GAL	16	STANDARD	LOW
●	QUERCUS LOBATA VALLEY OAK	15 GAL	21	STANDARD	LOW
●	LAGERSTROEMIA INDICA FREDR'D RED FLOWERING CRAPE MYRTLE	24" BOX	28	STANDARD	LOW
●	LAGERSTROEMIA INDICA TUSCARORA TUSCARORA CRAPE MYRTLE	24" BOX	34	STANDARD	LOW
●	PISTACHIA CHINENSIS KEITH DAVEY KEITH DAVIES CHINESE PISTACHE	15 GAL	13	STANDARD	LOW
●	QUERCUS COCCINEA ROBERT OAK	15 GAL	16	STANDARD	MEDIUM
●	OSMANTHUS FRAGRANS SWEET OLIVE	24" BOX	31	STANDARD	MEDIUM
●	WASHINGTONIA ROBUSTA MEXICAN FAN PALM	12" HEIGHT	4	STANDARD	MEDIUM
SHRUBS					
○	VIBURNUM TINUS 'SPRING BOUQUET' SPRING BOUQUET VIBURNUM	5 GAL	44		MEDIUM
○	CAMELLIA SASANGUUA 'CLEOPATRA' SASANGUUA CAMELLIA	5 GAL	53		MEDIUM
○	ROSA NOATREMA GROUND COVER ROSE (RED)	1 GAL	82		MEDIUM
○	RHAPHIOLEPS INDICA SPRINGTIME INDICA HAWTHORN	5 GAL	156		MEDIUM
○	AGAPANTHUS AFRICANUS QUEEN ANNE LILY OF THE Nile	1 GAL	384		MEDIUM
○	DIETES BICOLOR FOUR-NIGHT LILY/MORNING GLORY	1 GAL	508		LOW
○	PODOCARPUS M. MAKI SHRUBBY YEW PINE	5 GAL	50		MEDIUM
○	NANDINA DOMESTICA 'COMPACTA' COMPACT HEAVENLY BAMBOO	1 GAL	196		LOW
○	LOROPETALUM CHINENSE 'JAZZ HANDS' COMPACT LOROPETALUM	5 GAL	326		MEDIUM
○	HEPEROCALLIS HYBRID EVERGREEN DAVID LILY (FLOWER COLOR PER OWNER)	1 GAL	136		MEDIUM
○	PHOTINIA X FRASENI FRASENI PHOTINIA	5 GAL	65		MEDIUM
○	PRUNUS LAURO-CERASUS ENGLISH LAUREL	5 GAL	53		MEDIUM
○	GREVILLEA X 'HOELL' NOELL GREVILLEA	5 GAL	69		LOW
○	ARCTOSTAPHYLOS HOWARD MCMINN MCMINN MANZANITA	5 GAL	8		LOW
○	PLUMBAGO AURICULATA CAPE PLUMBAGO	5 GAL	12		LOW
○	ZALUSCHNERIA CALIFORNICA CALIFORNIA FUCHSIA	1 GAL	22		LOW
○	MULLENBERGIA RIGENS DEER GRASS	1 GAL	18		LOW
○	CERCIS OCCIDENTALIS WESTERN REDBUD	5 GAL	12		LOW
○	TURF DWARF TURF TYPE TALL FESCUE	SOD	5,012 SF		HIGH
○	TRACHELOSPERMUM JASMINOIDES STAR JASMINE	1 GAL	17,887 SF	PLANT @ 36" O.C.	MEDIUM
○	TEUCRIUM CHAMAEDEIYS PROSTRATUM PROSTRATE GERMANDER	1 GAL	2,041 SF	PLANT @ 36" O.C.	LOW
○	JUNIPERUS CONFERTA SQUARE JUNIPER	1 GAL	13,130 SF	PLANT @ 36" O.C.	LOW
○	ARISTARHYLOS UVA URSI WOODS COMPACT WOODS COMPACT GROUND COVER MANZANITA	1 GAL	20,034 SF	PLANT @ 36" O.C.	MEDIUM
VINES					
▲	PARthenocissus TRICSPIDATA BOSTON IVY	1 GAL	10	TRAIN TO TRASH ENCLOSURE	MEDIUM
▲	TRACHELOSPERMUM JASMINOIDES STAR JASMINE (STAKED)	1 GAL	36	TRAIN HVAC SCREEN	MEDIUM

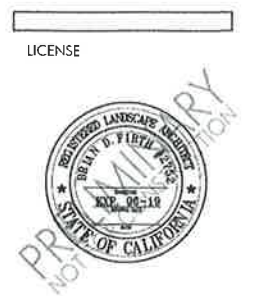
PLAN LEGEND

SYMBOL	DESCRIPTION
①	ENTRY GATE
②	SIX FOOT HIGH, BLACK, TUBULAR STEEL FENCING
③	SIX FOOT HIGH, BOARD ON BOARD FENCE WITH CAP
④	POOL FENCING
⑤	SHADE TRELLIS
⑥	GUEST BICYCLE PARKING, TYPICAL SYMBOL
⑦	PG & E ACCESS GATES (12 FOOT MINIMUM WIDTH)
⑧	TRANSFORMER LOCATION
⑨	TRASH ENCLOSURE (BY OTHERS)
⑩	CONCRETE WALKWAY
⑪	ASPHALT WALKWAY
⑫	DOGIE WASTE STATION
⑬	SITE FURNISHING, PER OWNER
⑭	EMERGENCY ACCESS GATE, BY OTHERS
⑮	CONCRETE SEATWALL WITH PLANTING CONTAINERS, FORM BOARD FINISH
⑯	HYVAC/UTILITY SCREEN PANEL, TYPICAL AT ALL HYVACS/UTILITIES FACING PUBLIC VIEW

LIGHTING SYMBOLS

SYMBOL	DESCRIPTION
☆	CARPORT LED LIGHT
*	LED BOLLARD LIGHT
⦿	LED AREA LIGHT 14' LUMINERE HEIGHT WITH GLARE CUT-OFFS AS REQUIRED TO PREVENT LIGHT FROM SHINING ONTO ADJACENT PROPERTIES

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CONSULTANT

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1850 SOSCOL
AVENUE, SUITE 207
NAPA, CA 94559

PROJECT
EATON RANCH
APARTMENTS
EATON AVENUE
CHICO CA 95928

SHEET TITLE
EATON RANCH I
PRELIMINARY
LANDSCAPE PLAN
20 SCALE

NO.	DESCRIPTION	DATE
1	REVIEW SUBMITTAL	9-19-18
	SITE REVISIONS	10-30-18

Plot Date: October 30, 2018 - 2:31 pm

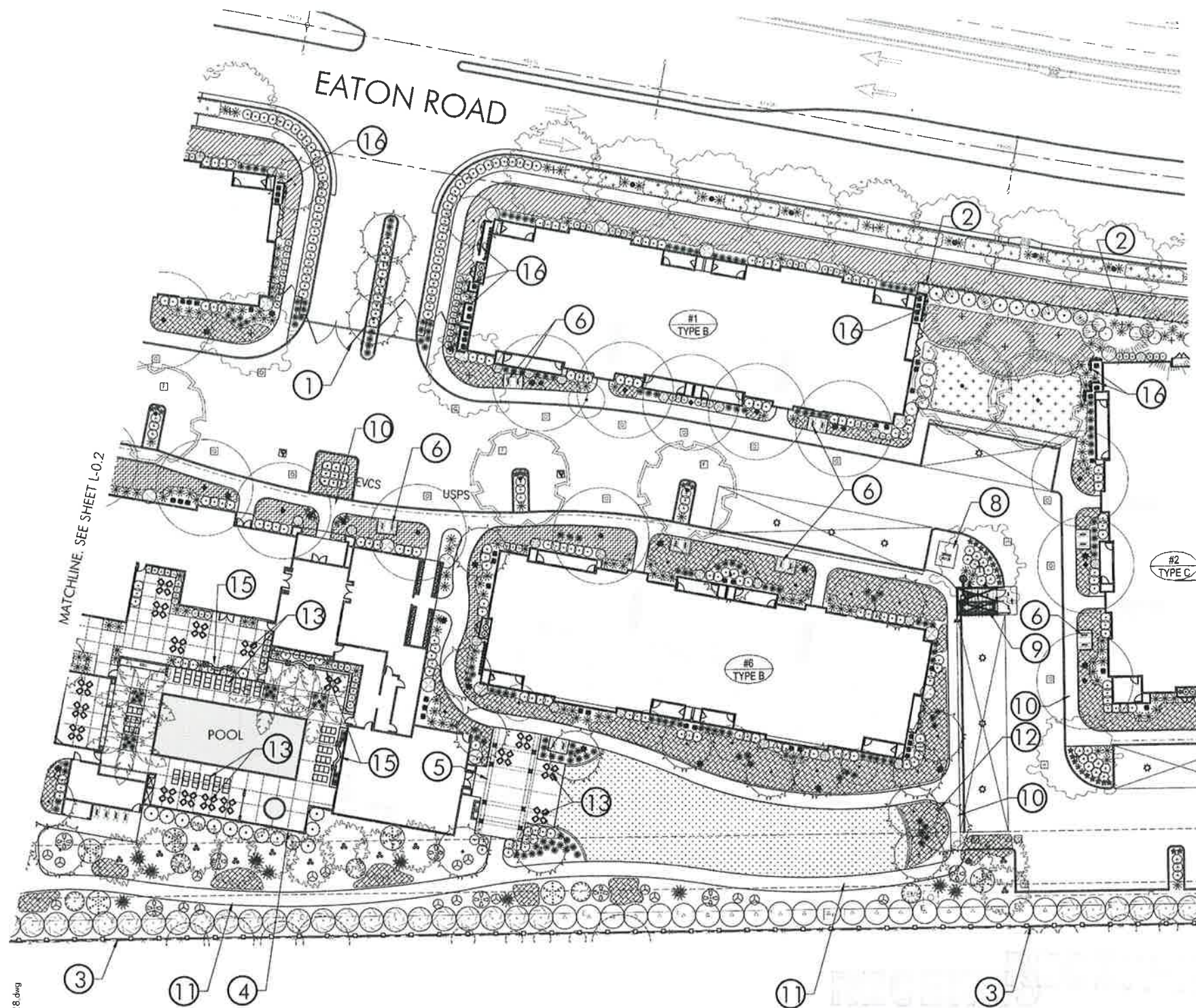
PROJECT NUMBERS
BFLA PROJECT #: 2056
CONSULTANT PROJECT #:
APN: 016-200-117 AND 016-340-034
SHEET NUMBER



SCALE: 1" = 20' 0"

L-0.2
Attachment H

File Name: C:\Users\lason\appdata\local\temp\AcPublish_840A120556 Lot 11 Prelim 10-29-18.dwg



PLANT LIST

SYMBOL	LATIN NAME / COMMON NAME	CONTAINER SIZE	QUANTITY	REMARKS	WATER USE
TREES					
●	ACER PALMATUM BLOODGOOD	24 BOX	28	STANDARD	MEDIUM
●	JAPANESE MAPLE	15 GAL	22	STANDARD	MEDIUM
●	LIRIODENDRON CHRYSEUM EVERGREEN ELM	15 GAL	14	STANDARD	MEDIUM
●	QUERCUS SUBER SCORCH OAK	15 GAL	16	STANDARD	LOW
●	PRUNUS CANADENSIS CANARY ISLAND PINE	15 GAL	21	STANDARD	LOW
●	QUERCUS LOBATA VALLEY OAK	24' BOX	28	STANDARD	LOW
●	LAEGERSTROEMIA INDICA 'FIREBIRD' RED FLOWERING CRAPE MYRTLE	24' BOX	34	STANDARD	LOW
●	LAEGERSTROEMIA INDICA TUSCARORA TUSCARORA CRAPE MYRTLE	15 GAL	13	STANDARD	LOW
●	PSITACHIA CHINENSIS KEITH DAVEY KEITH DAVEY CHINESE PISTACHE	15 GAL	16	STANDARD	MEDIUM
●	QUERCUS COCCINEA CARLETT OAK	24' BOX	31	STANDARD	MEDIUM
●	OSMANTHUS FRAGRANS SWEET OLIVE	12 HEIGHT	4	STANDARD	MEDIUM
●	WASHINGTONIA ROBUSTA MEXICAN FAN PALM				
SHRUBS					
○	VIBURNUM TINUS SPRING BOUQUET SPRING BOUQUET VIBURNUM	5 GAL	44		MEDIUM
○	CAMELLIA SASANGUELA CIECAPATRA SASANGUELA CAMELLIA	1 GAL	62		MEDIUM
○	ROSA NOATRUM GROUND COVER ROSE (RED)	5 GAL	156		MEDIUM
○	RHAPHIOLEPS INDICA 'SPRINGTIME' SPRINGTIME INDIA HAWTHORN	1 GAL	384		MEDIUM
○	AGAPANTHUS AFRICANUS QUEEN ANNE' LILY OF THE Nile	1 GAL	508		LOW
○	DIETES BICOLOR FORTNIGHT LILY/MORREA LILY	5 GAL	50		MEDIUM
○	PODOCARPUS M. AMATI SHREVEY YEW PINE	1 GAL	196		LOW
○	HANDSIA DOMESTICA 'COMPACTA' COMPACT HEAVENLY BAMBUSO	5 GAL	326		MEDIUM
○	LOROPETALUM CHINENSIS 'JAZZ HANDS' COMPACT LOROPETALUM	1 GAL	136		MEDIUM
○	HEMEROCALLIS HYBRID EVERGREEN DAYLILY (FLOWER COLOR PER OWNER)	5 GAL	65		MEDIUM
○	FRAXINUS PRINCEANA PRINCEANA ENGLISH LAUREL	5 GAL	33		MEDIUM
○	GRILLEA X 'NOELI' NOELI GREVILLEA	5 GAL	69		LOW
○	ARCTOSTAPHYLOS HOWARD MCMINN MCMINN MANZANITA	5 GAL	8		LOW
○	PLUMBAGO AURICULATA CAPE PLUMBAGO	5 GAL	12		LOW
○	ZAUSCHNERIA CALIFORNICA CALIFORNIA FUCHSIA	1 GAL	22		LOW
○	MAHLENBERGIA RIGENS DEER GRASS	1 GAL	18		LOW
○	CERCIS OCCIDENTALIS WESTERN REDBUD	5 GAL	12		LOW
○	TURF DWARF TURF TYPE TALL FESCUE	SOD	5,012 SF		HIGH
○	TRACHELOSPERMUM JASMINOIDES STAR JASMINE	1 GAL	17,887 SF	PLANT @ 36" O.C.	MEDIUM
○	TEUCRIUM CHAMAEDRYS 'PROSTRATUM' PROSTRATE GERMANDER	1 GAL	2,041 SF	PLANT @ 36" O.C.	LOW
○	JUNPERUS CONFERTA SHORE JUNPER	1 GAL	15,136 SF	PLANT @ 36" O.C.	LOW
○	ARTISTOPHYLLIS LIVIA URSI WOODS COMPACT WOODS COMPACT GROUND COVER MANZANITA	1 GAL	20,034 SF	PLANT @ 36" O.C.	MEDIUM
VINES					
▲	PARTHENOCISSUS TRICSPATA BOSTON IVY	1 GAL	10	TRAIN TO TRASH ENCLOSURE TRANSFER SCREEN	MEDIUM
▲	TRACHELOSPERMUM JASMINOIDES STAR JASMINE (STAKED)	1 GAL	36		MEDIUM

PLAN LEGEND

SYMBOL	DESCRIPTION
①	ENTRY GATE
②	SIX FOOT HIGH, BLACK, TUBULAR STEEL FENCING
③	SIX FOOT HIGH, BOARD ON BOARD FENCE WITH CAP
④	POOL FENCING
⑤	SHADE TRELLIS
⑥	GUEST BICYCLE PARKING TYPICAL SYMBOL
⑦	PG & E ACCESS GATES (12 FOOT MINIMUM WIDTH)
⑧	TRANSFORMER LOCATION
⑨	TRASH ENCLOSURE (BY OTHERS)
⑩	CONCRETE WALKWAY
⑪	ASPHALT WALKWAY
⑫	DOGIE WASTE STATION
⑬	SITE FURNISHING PER OWNER
⑭	EMERGENCY ACCESS GATE BY OTHERS
⑮	CONCRETE SEATWALL WITH PLANTING CONTAINERS FORM BOARD FINISH
⑯	HWAC/ UTILITY SCREEN PANEL TYPICAL AT ALL HWAC/ UTILITIES FACING PUBLIC VIEW

NOTE: ALL LANDSCAPED AREAS TO RECEIVE A MINIMUM 3" LAYER BROWN LAVA ROCK.

LIGHTING SYMBOLS

SYMBOL	DESCRIPTION
⊛	CARPORT LED LIGHT
⊛	LED BOLLARD LIGHT
⊛	LED AREA LIGHT 14' LUMINERE HEIGHT WITH GLARE CUT-OFFS AS REQUIRED TO PREVENT LIGHT FROM SHINING ONTO ADJACENT PROPERTIES

BRIAN FIRTH
LANDSCAPE
ARCHITECT, INC.
627 BROADWAY, SUITE 220,
CHICO, CALIFORNIA 95928
PHONE (530) 899-1130
www.BFLAdesign.com
www.facebook.com/BFLAdesign

LICENSE



CONSULTANT

CLIENT

CHANNEL
PROPERTIES

1850 SOSCOL
AVENUE, SUITE 207
NAPA, CA 94559

PROJECT

EATON RANCH
APARTMENTS

EATON AVENUE
CHICO CA 95928

SHEET TITLE
EATON RANCH I
PRELIMINARY
LANDSCAPE PLAN
20 SCALE

DATES	NO	DESCRIPTION	DATE
1	REVIEW SUBMITTAL	9-19-18	
	SITE REVISIONS	10-30-18	

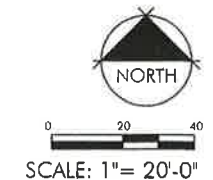
Plot Date: October 30, 2018 - 2:32 pm

PROJECT NUMBERS
BFLA PROJECT #: 2056
CONSULTANT PROJECT #:
APN: 016-200-117 AND 016-340-034

SHEET NUMBER

L-0.3

Attachment H





GAS GRILL



HVAC/ UTILITY SCREEN PANEL (WITH EVERGREEN VINE TRAINED TO PANEL)



TUBULAR STEEL FENCING



BICYCLE RACK



DOGGY WASTE STATION



TABLES AND CHAIRS STATION

BRIAN FIRTH
LANDSCAPE
ARCHITECT, INC.
627 BROADWAY, SUITE 220
CHICO, CALIFORNIA 95928
PHONE: (530) 899 1130
www.BFLAdesign.com
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LICENSE



CONSULTANT

PHILIPS GARDCO LED

Carport lighting fixture

Item	Description	Quantity	Unit	Notes
1	Philips Gardco LED Carport Light	1	Each	14' x 14' x 14'
2	Philips Gardco LED Carport Light	1	Each	14' x 14' x 14'
3	Philips Gardco LED Carport Light	1	Each	14' x 14' x 14'
4	Philips Gardco LED Carport Light	1	Each	14' x 14' x 14'
5	Philips Gardco LED Carport Light	1	Each	14' x 14' x 14'
6	Philips Gardco LED Carport Light	1	Each	14' x 14' x 14'
7	Philips Gardco LED Carport Light	1	Each	14' x 14' x 14'
8	Philips Gardco LED Carport Light	1	Each	14' x 14' x 14'
9	Philips Gardco LED Carport Light	1	Each	14' x 14' x 14'
10	Philips Gardco LED Carport Light	1	Each	14' x 14' x 14'

CARPORT

SVPG SoftView LED

Parking garage luminaire

Item	Description	Quantity	Unit	Notes
1	SVPG SoftView LED Parking Garage Luminaire	1	Each	14' x 14' x 14'
2	SVPG SoftView LED Parking Garage Luminaire	1	Each	14' x 14' x 14'
3	SVPG SoftView LED Parking Garage Luminaire	1	Each	14' x 14' x 14'
4	SVPG SoftView LED Parking Garage Luminaire	1	Each	14' x 14' x 14'
5	SVPG SoftView LED Parking Garage Luminaire	1	Each	14' x 14' x 14'
6	SVPG SoftView LED Parking Garage Luminaire	1	Each	14' x 14' x 14'
7	SVPG SoftView LED Parking Garage Luminaire	1	Each	14' x 14' x 14'
8	SVPG SoftView LED Parking Garage Luminaire	1	Each	14' x 14' x 14'
9	SVPG SoftView LED Parking Garage Luminaire	1	Each	14' x 14' x 14'
10	SVPG SoftView LED Parking Garage Luminaire	1	Each	14' x 14' x 14'

PHILIPS GARDCO LED

Bollard light

Item	Description	Quantity	Unit	Notes
1	Philips Gardco LED Bollard Light	1	Each	14' x 14' x 14'
2	Philips Gardco LED Bollard Light	1	Each	14' x 14' x 14'
3	Philips Gardco LED Bollard Light	1	Each	14' x 14' x 14'
4	Philips Gardco LED Bollard Light	1	Each	14' x 14' x 14'
5	Philips Gardco LED Bollard Light	1	Each	14' x 14' x 14'
6	Philips Gardco LED Bollard Light	1	Each	14' x 14' x 14'
7	Philips Gardco LED Bollard Light	1	Each	14' x 14' x 14'
8	Philips Gardco LED Bollard Light	1	Each	14' x 14' x 14'
9	Philips Gardco LED Bollard Light	1	Each	14' x 14' x 14'
10	Philips Gardco LED Bollard Light	1	Each	14' x 14' x 14'

BOLLARD LIGHT

PBL PureForm LED bollard

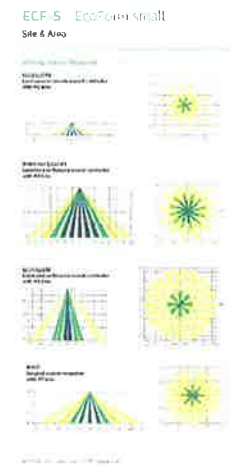
Item	Description	Quantity	Unit	Notes
1	PBL PureForm LED Bollard	1	Each	14' x 14' x 14'
2	PBL PureForm LED Bollard	1	Each	14' x 14' x 14'
3	PBL PureForm LED Bollard	1	Each	14' x 14' x 14'
4	PBL PureForm LED Bollard	1	Each	14' x 14' x 14'
5	PBL PureForm LED Bollard	1	Each	14' x 14' x 14'
6	PBL PureForm LED Bollard	1	Each	14' x 14' x 14'
7	PBL PureForm LED Bollard	1	Each	14' x 14' x 14'
8	PBL PureForm LED Bollard	1	Each	14' x 14' x 14'
9	PBL PureForm LED Bollard	1	Each	14' x 14' x 14'
10	PBL PureForm LED Bollard	1	Each	14' x 14' x 14'

OCT 31 2018 AREA LIGHT (14 FOOT LUMINERE HEIGHT)

PHILIPS GARDCO LED

Area light

Item	Description	Quantity	Unit	Notes
1	Philips Gardco LED Area Light	1	Each	14' x 14' x 14'
2	Philips Gardco LED Area Light	1	Each	14' x 14' x 14'
3	Philips Gardco LED Area Light	1	Each	14' x 14' x 14'
4	Philips Gardco LED Area Light	1	Each	14' x 14' x 14'
5	Philips Gardco LED Area Light	1	Each	14' x 14' x 14'
6	Philips Gardco LED Area Light	1	Each	14' x 14' x 14'
7	Philips Gardco LED Area Light	1	Each	14' x 14' x 14'
8	Philips Gardco LED Area Light	1	Each	14' x 14' x 14'
9	Philips Gardco LED Area Light	1	Each	14' x 14' x 14'
10	Philips Gardco LED Area Light	1	Each	14' x 14' x 14'



CLIENT

CHANNEL PROPERTIES
1850 SOSCOL AVENUE, SUITE 207
NAPA, CA 94559

PROJECT
EATON RANCH APARTMENTS

EATON AVENUE
CHICO CA 95928

SHEET TITLE
EATON RANCH I
PRELIMINARY DESIGN
DEVELOPMENT

DATES

NO	DESCRIPTION	DATE
1	REVIEW SUBMITTAL	9-19-18
	SITE REVISIONS	10-30-18

Plot Date: October 30, 2018 - 2:32 pm

PROJECT NUMBERS
BFLA PROJECT #: 2056
CONSULTANT PROJECT #:
APN: 016-200-117 AND 016-340-034

SHEET NUMBER

L-0.5

Attachment H

File Name: C:\Users\lucan\AppData\Local\Temp\AcP\publish_8404\2056 Lot 11 Prelim 10-29-18.dwg



POOL



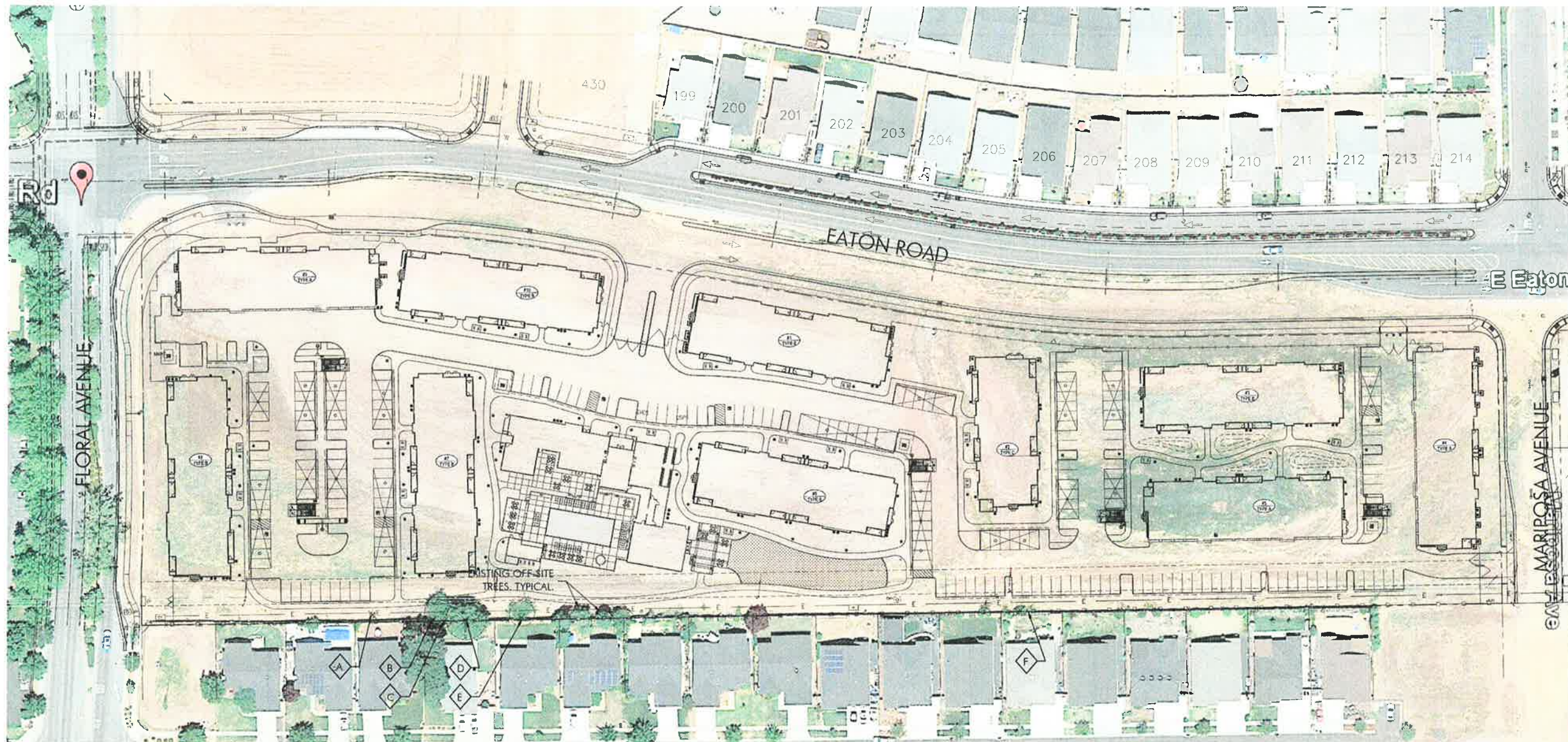
BOARD ON BOARD FENCE



POOL FENCING



ENTRY SIGNAGE



BRIAN FIRTH
 LANDSCAPE
 ARCHITECT, INC.
 627 BROADWAY, SUITE 220
 CHICO, CALIFORNIA 95928
 PHONE: (530) 899-1130
 www.BFLAdesign.com
 www.facebook.com/BFLAdesign

LICENSE



CONSULTANT

CLIENT

CHANNEL
 PROPERTIES
 1850 SOSCOL
 AVENUE, SUITE 207
 NAPA, CA 94559

PROJECT

EATON RANCH
 APARTMENTS
 EATON AVENUE
 CHICO CA 95928

SHEET TITLE

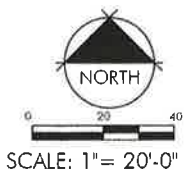
EATON RANCH I
 PRELIMINARY TREE
 REMOVAL PLAN
 ENLARGEMENT

NO	DESCRIPTION	DATE
1	REVIEW SUBMITTAL	9-19-18
	SITE REVISIONS	10-30-18

Plot Date: October 30, 2018 - 2:41 pm

PROJECT NUMBERS
 BFLA PROJECT # 2056
 CONSULTANT PROJECT #
 APN: 016-200-117 AND 016-340-034

SHEET NUMBER



SCALE: 1" = 20'-0"

TREE MITIGATION TABLE

TREE ID NUMBER	TREE SPECIES	DIAMETER (DBH)	REMOVE/RETAIN	MITIGATION REQUIREMENT	REMARKS
A	VALLEY OAK	1'-1/2", 1'-1/2", & 2"	REMOVE	NO	LESS THAN 6" DBH
B	CHINESE WINGNUT	18", 12" & 8"	REMOVE	YES	120" CIRCUMFERENCE
C	CAMPHOR	16"	REMOVE	YES	50" CIRCUMFERENCE
D	CHINESE WINGNUT	20" & 20"	REMOVE	YES	126" CIRCUMFERENCE
E	SILKTASSEL TREE	1", 1", 1", 1"-1/2", 1-1/2", 1-1/2", 2"	REMOVE	NO	LESS THAN 15 FEET HIGH
F	COTTONWOOD	20" & 20"	REMOVE	NO	NOT A QUALIFYING SPECIES
TOTAL DBH OF QUALIFYING TREES TO BE REMOVED		94" DBH	REPLACEMENT TREES OR "IN-LIEU" FEES FOR 16 REPLACEMENT TREES ARE REQUIRED		

NOTES

- OBTAIN WRITTEN APPROVAL FROM THE CITY OF CHICO URBAN FORESTER PRIOR TO THE REMOVAL OF ANY TREES.
- ALL TREES TO BE REMOVED ARE WITHIN PG&E'S ACCESS EASEMENT FOR MAINTENANCE OF OVERHEAD POWER LINES. AS SUCH, ADDITIONAL PERMISSIONS MAY BE REQUIRED. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY SUCH PERMISSIONS PRIOR TO TREE REMOVAL.



PHILIPS



Site & Area

PureForm

LED bollard



RECEIVED

OCT 31 2018

CITY OF CHICAGO
PLANNING SERVICES



Project _____
 Location _____
 Cat No _____
 Type _____
 Qty _____
 Notes _____

Philips Gardco PureForm LED bollard PBL integrates a sleek, low profile design, extraordinary light output, and energy savings into an innovative pedestrian scale luminaire. PureForm bollard features a high performance optical system designed to achieve wide spacings and full cutoff performance. Three heights available for a customized look. IP66 optics ensure dust or moisture will never interfere with performance.

Ordering guide

example: PBL-42-14L-450-NW-G2-5-UNV

Prefix	Shaft Height	Number of LEDs	Drive Current	LED Color - Generation	Distribution	Emergency	Voltage
<input type="text" value="PBL"/>	<input type="text"/>	<input type="text" value="14L"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
PBL PureForm bollard	36 Standard Shaft 36" 42 Standard Shaft 42" 60 Standard Shaft 60"	14L 14 LEDs (full ring)	100 100mA 200 200mA 350 350mA 450 450mA 600 600mA 800 800mA 1050 1050mA	WW-G2 Warm White 3000K, 70 CRI Generation 2 NW-G2 Neutral White 4000K, 70 CRI Generation 2 CW-G2 Cool White 5000K, 70 CRI Generation 2 WY-G2 Warm Yellow 2700K, 80 CRI Generation 2 ¹ AM-G2 Direct Amber (590nm) Generation 2 ^{1,14}	Type 3 3 Type 3 Type 5 5 Type 5	Leave blank for no battery EBP Emergency battery ^{2,5,11}	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V UNV 120-277V (50/60Hz)
Options							
Dimming controls	Motion sensing	Photo-sensing	Electrical	Finish			
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>			
DD 0-10V External dimming (by others) ^{4,5} FAWS Field Adjustable ^{4,5} SW Interface module for SiteWise ^{3,4,5,6} LLC Wireless controls without PIR sensor ^{4,5,6} BL BL-level functionality with motion sensor ^{4,7} DynaDimmer: Automatic Profile Dimming ^{4,5} CS50 Security 50% Dimming, 7 hours CM50 Median 50% Dimming, 8 hours CE50 Economy 50% Dimming, 9 hours DA50 All Night 50% Dimming CS30 Security 30% Dimming, 7 hours CM30 Median 30% Dimming, 8 hours CE30 Economy 30% Dimming, 9 hours DA30 All Night 30% Dimming	IMRI Integral infrared ^{2,12}	PCB Photocontrol Button ^{9,10}	Fusing F1 Single (120, 277, 347VAC) ⁹ F2 Double (208, 240, 480VAC) ⁹ F3 Canadian Double Pull (208, 240, 480VAC) ⁹ Surge Protection (10kA standard) SP2 Increased 20kA GFCI Ground Fault Interrupt Outlet ¹⁰	Textured BK Black WH White BZ Bronze DGY Dark Gray MGY Medium Gray Customer specified RAL Specify optional color or RAL (ex: RAL7024) Custom color (Must supply color chip for required factory quote) CC			

1. Extended lead times apply. Contact factory for details.
 2. Not available in 100, 200 or 350mA.
 3. Available in 120V or 277V only.
 4. Not available with other control options.
 5. Not available with motion sensor.

6. Not available with photocontrol.
 7. Available only with BL dimming control.
 8. Not available with SW, LLC, and CS/CM/CE/DA.
 9. Must specify input voltage.
 10. Available in 120V only.

11. Not available in 347 or 480V.
 12. Not available in 100, 200, and 1050mA.
 13. Not available with SW or LLC.
 14. Not available in 800 and 1050mA.

RECEIVED

OCT 31 2018

CITY OF DALLAS
PLANNING SERVICES



PHILIPS



Garage & Canopy

SoftView

SVPG with comfort optics



Project _____
 Location _____
 Cat No _____
 Type _____
 Qty _____
 Notes _____

Philips Gardco SoftView LED parking garage luminaires feature edge lit technology, providing visual comfort with minimal glare to enhance the user experience. An added uplight feature reduces the cave effect for an increased sense of security. SoftView features multiple optical distributions, lumen packages and mounting options providing you with the ideal solution for your garage lighting needs. Optional emergency battery backup available for path of egress lighting and is integral to the luminaire.

Ordering guide

example: SVPG-140L-2100-NW-G2-SM-5-BL-IMRI2-MGY

Luminaire	Number of LEDs	Drive Current	Color Temperature	Mounting	Distribution	Emergency	Voltage	Options			Finish
								Dimming controls	Motion sensing	Electrical	
SVPG	140L										
SVPG SoftView Parking Garage	140L 140 LEDs (comfort engine)	450 450mA 800 800mA 1200 1200mA 1675 1675mA 2100 2100mA	WW-G2 Warm White 3000K (70 CRI) Generation 2 NW-G2 Neutral White 4000K (70 CRI) Generation 2 CW-G2 Cool White 5000K (70 CRI) Generation 2 WY-G2 Warm Yellow 2700K (80 CRI) Generation 2 ¹ BW-G2 Balanced White 3500K (80 CRI) Generation 2 ¹	SM Surface / Pendant Mount (pendant and junction box by others) T ¹⁵ Trunion Mount (ordered separately, see Accessories) WM Wall Mount (ordered separately, see Accessories)	1R Type IR Rectangular 3 ⁴ Type III Asymmetric 5 Type V CD Concentrated Downlight	NONE Leave Blank EBP ^{12,3,7} Emergency Battery pack EBPC ^{12,4,7,8} Emergency Battery pack cold rated	120 120V 208 208V 240 240V 277 277V UNV Universal 120-277V 347 347V 480 480V HVV Universal 347-480V	NONE Leave Blank DD ^{9,13,14} 0-10V Dimming external leads (controls by others) BL ^{10,14} BI-level with motion sensor LLC ^{6,7,10,14} Wireless Controls	NONE Leave Blank IMRI2 ¹¹ Integral Motion Response, #2 lens IMRI3 ¹² Integral Motion Response, #3 lens (factory customizable, contact factory ³)	Fusing F1 ⁹ Single Fuse (120, 277, 347V) F2 ⁹ Double Fuse (208, 240, 480V) F3 ⁹ Double Fuse Canadian double pull (208, 240, 480V) Surge Protection blank SP1 10KV 5KA (standard) SP2 20KV 10KA (option)	BZ Bronze MGY Medium Gray WH White OC Optional Color Specify optional color or RAL ex: OC-LGP or OC-RAL7024 SC Special Color Must supply color chip. Requires factory quote.

- Choose either **EBP** suitable for 0°C (32°F) to +40°C (+104°F) or **EBPC** suitable for -20°C (-4°F) to +40°C (+104°F).
- Not available with **347V, 480V** or **HVV**
- Not available with 1200mA, 1675mA or 2100mA.
- Not available with 2100mA.
- Extended lead times apply. Contact factory for details.
- Not available with Emergency options (**EBP, EBPC**)
- Available with **120V, 208V, 240V, 277V** or **UNV** only.
- Provide specific input voltage.
- Luminaire includes 0-10V dimming wires for dimming control by others.
- 0-10V dimming driver standard.
- Must be combined with Motion Sensing option (**IMRI2** or **IMRI3**).
- Must be combined with Dimming Controls option (**BL** or **LLC**).
- Not available with Motion Sensing
- Not available with other Dimming Controls.
- Trunion Mount (T) not available with both **DD** and **EBP** or **EBPC**, is available with each individually (**DD** or **EBP** or **EPBC**).





Site & Area

EcoForm

ECF-S small



RECEIVED

OCT 31 2018

CITY OF LOS ANGELES
PLANNING SERVICES



Project _____
 Location _____
 Cat No _____
 Type _____
 Qty _____
 Notes _____

The Philips Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 26,400 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems available for further energy savings.

Ordering guide

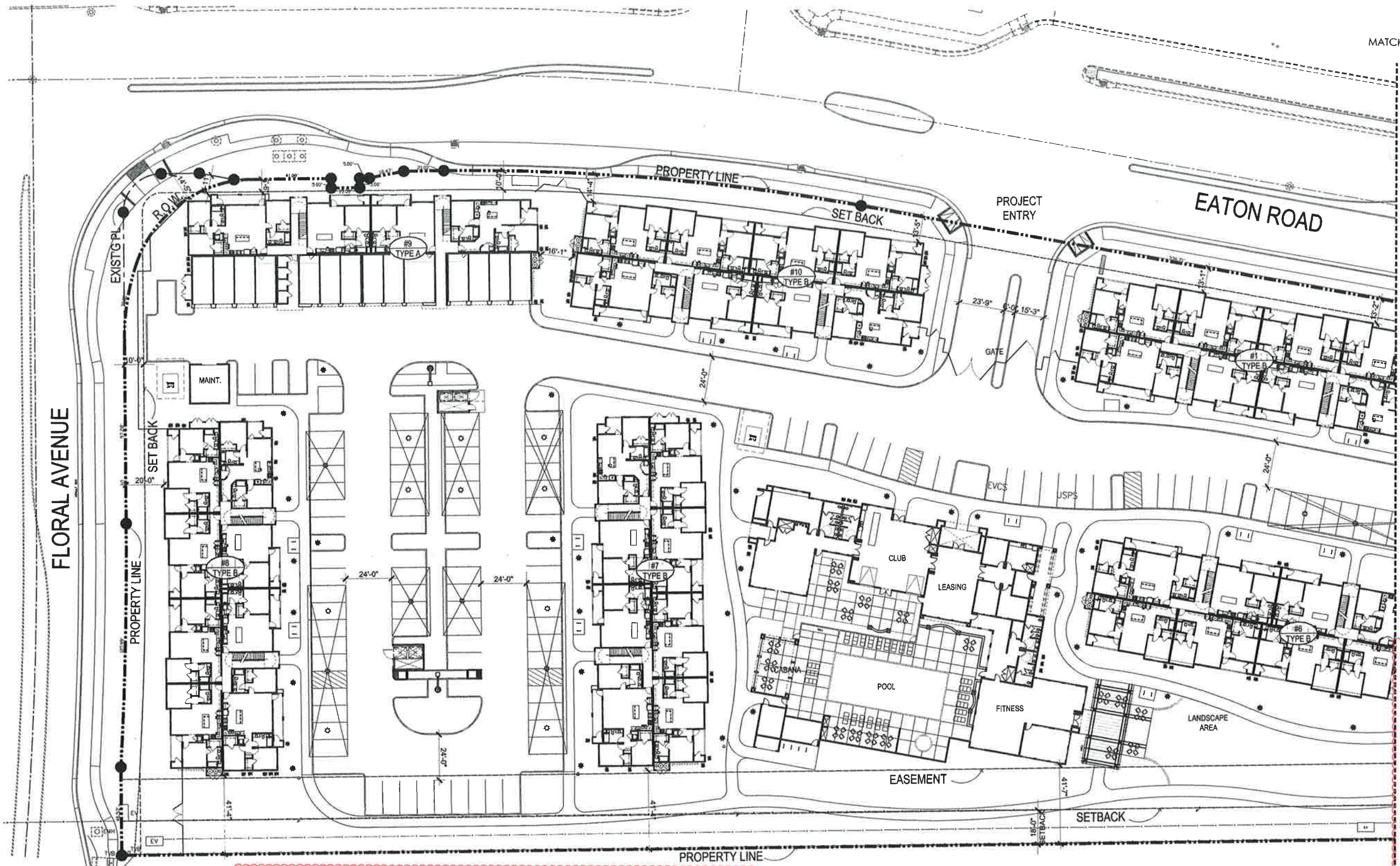
example: ECF-S-64L-900-NW-G2-AR-5-120-HIS-MGY

Prefix	Number of LEDs	Drive Current	LED Color - Generation	Mounting	Distribution	Voltage	Options					Luminaire	Finish
							Dimming controls	Motion sensing	Photo-sensing	Electrical			
ECF-S													
ECF-S EcoForm site and area, small	32L 32 LEDs (2 modules)	530 530mA 700 700mA 1A 1050mA 1.2A 1200mA	WW-G2 Warm White 3000K, 70 CRI Generation 2 NW-G2 Neutral White 4000K, 70 CRI Generation 2	AR Arm Mount (standard) ⁹ <i>The following mounting kits must be ordered separately (See accessories)</i> SF Slip Filter Mount ¹¹ (fits to 2 1/8" O.D. tenon)	Type 2 2 Type 2 2-90 Rotated left 90° 2-270 Rotated right 270°	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V UNV 120-277V (50/60Hz) HVV 347-480V (50/60Hz)	DD 0-10V External dimming (by others) ⁵ DCC Dual Circuit Control ⁶ FAWS Field Adjustable ¹⁴ SW Interface module for SiteWise ^{13,15} LLC2 Integral module with #2 lens ¹⁶ LLC3 Integral module with #3 lens ¹⁶ LLC4 Integral module with #4 lens ¹⁶ DynaDimmer: Automatic Profile Dimming CS50 Safety 50% Dimming, 7 hours ¹ CM50 Median 50% Dimming, 8 hours ¹ CE50 Economy 50% Dimming, 9 hours ¹ DA50 All Night 50% Dimming ¹ CS30 Safety 30% Dimming, 7 hours ¹ CM30 Median 30% Dimming, 8 hours ¹ CE30 Economy 30% Dimming, 9 hours ¹ DA30 All Night 30% Dimming ¹	IMRI3 Integral with #3 lens ² IMRI7 Integral with #7 lens ⁸ IMRO Pole mounted motion sensor ³ (see accessories)	PCB Photocontrol Button ^{2,3} TLRD5 Twist Lock Receptacle 5 Pin ¹⁵ TLRD7 Twist Lock Receptacle 7 Pin ¹³ TLRPC Twist Lock Receptacle w/ Photocell ²	Fusing F1 Single (120, 277, 347VAC) ² F2 Double (208, 240, 480VAC) ² Pole Mount Fusing FP1 Single (120, 277, 347VAC) ² FP2 Double (208, 240, 480VAC) ² FP3 Canadian Double Pull (208, 240, 480VAC) ² Surge Protection (10kA standard) SP2 Increased 20kA	Square Pole Adapter included in standard product TB Terminal Block ⁷ RPA Round Pole Adapter (fits to 3"-3 9/16" O.D. pole) ¹⁰ HIS Internal Housing Side Shield ⁴	Textured BK Black WH White BZ Bronze DGY Dark Gray MGY Medium Gray Customer specified RAL Specify optional color or RAL (ex: RAL7024) CC Custom color (Must supply color chip for required factory quote)	
		900 900mA 1A 1050mA 1.2A 1200mA											CW-G2 Cool White 5000K, 70 CRI Generation 2
	48L 48 LEDs (3 modules)	WS Wall mount with surface conduit rear entry permitted RAM Retrofit arm mount kit ⁹	Type 4 4 Type 4 4-90 Rotated left 90° 4-270 Rotated right 270° Type 5 5 Type 5 5W Type 5W										
64L 64 LEDs (4 modules)	900 900mA 1A 1050mA												

1. Available only on 120, 208, 240, and 277 (or UNV)
 2. Specify Voltage
 3. Not available with 347 or 480 voltage
 4. HIS not available with Type 5 or SW optics
 5. DD is required for LLCR. Dimming leads are supplied through back of luminaire. Must be ordered separately (See accessories page)
 6. DCC and LLC2/3/4 not available with any other controls
 7. TB not available with DCC
 8. ECF-IMRI equipped with out-boarded sensor housing when voltage is HVU (347-480V)
 9. Mounts to a 4" round pole with adapter included for square poles.
 10. Not available with SF and WS. RPAs provided with black finish standard
 11. Limited to a maximum of 45 degrees aiming above horizontal
 12. SW option is not available with any other control options with the exception of IMRI3, IMRI7 and SW-IMRO motion response options
 13. Available only on 120V and 277V
 14. Not available with DCC, IMRI3, IMRI7, SW, LLC and CS/CM/CE/DA (DynaDimmer)
 15. TLRD5/7 option not available with LLC, PCB, TLRPC or DCC. Max aiming angle 45°. Works with 3 or 5 pin NEMA photocell/dimming. Dimming will not be connected to NEMA receptacle if ordering with DD, CS/CM/CE/DA, IMRI and IMRO

MATCHLINE

OCT 31 2018



KEYNOTE LEGEND

- LIGHTING
- CONDENSER
- TRANSFORMER
- TRASH ENCLOSURE
- GAS METER
- WATER HEATER

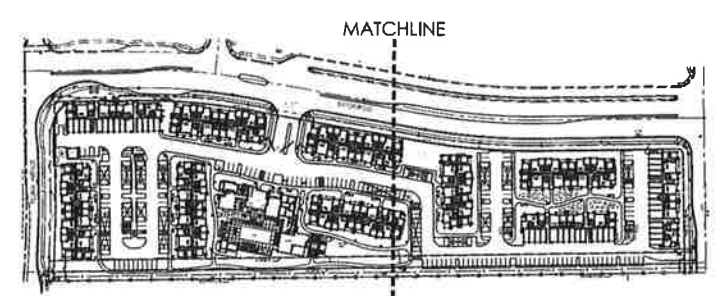
PARKING REQUIRED

DU	SPACE/DU	EATON RANCH I
1 BR	1.25	49
2 BR	1.75	147
3 BR	2.0	40
SUBTOTAL		236
GUEST	0.2	29
TOTAL		264
REQ. ACCESSIBLE STALLS (INCL. IN TOTAL)		7

MIN. 1 COVERED STALL PER UNIT

PARKING PROVIDED

PARKING TYPE	EATON RANCH I
GARAGES	41
2% ACCESSIBLE GARAGE	1
CARPOR	106
2% ACCESSIBLE CARPORT	3
OPEN	111
2% ACCESSIBLE OPEN	3
TOTAL	265



KEY MAP (N.T.S.)



1"=20'-0" 0 10' 20' 40' 60'

EATON RANCH
CHANNEL PROPERTIES
 1850 SOCOL AVE, SUITE 207 NAPA, CA 94559
 707-252-5460

CHICO, CA

EATON RANCH I SITE PLAN

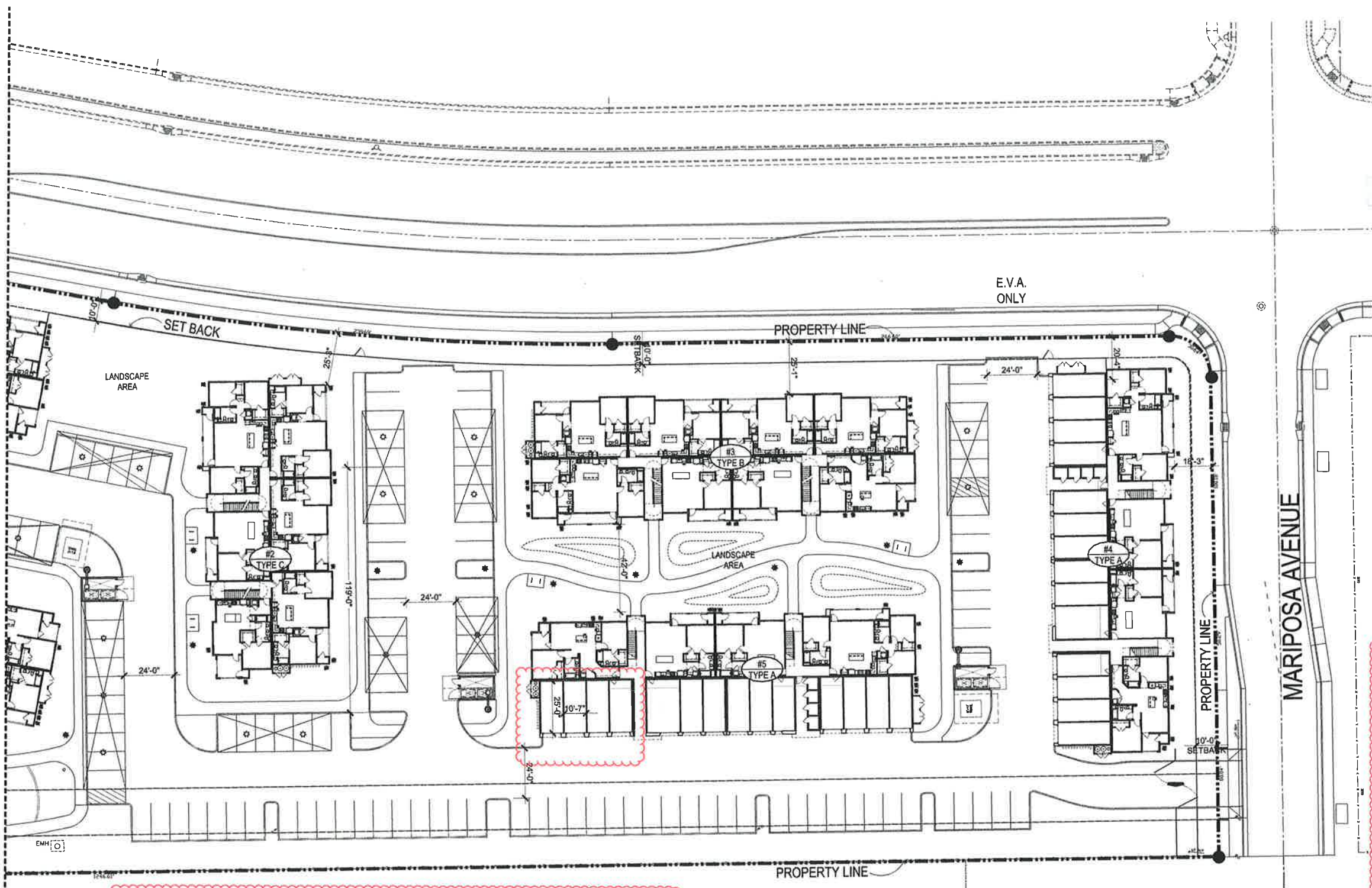
A1.3

DATE: 09-26-18
 JOB NO.: 2018-369
ARCHITECTS ORANGE
 144 NORTH ORANGE ST., ORANGE, CA 92866
 (714) 639-9860



Attachment J

MATCHLINE



OCT 31 2018

OTMPC 0101
PLAN 210 5/24/18

E.V.A.
ONLY

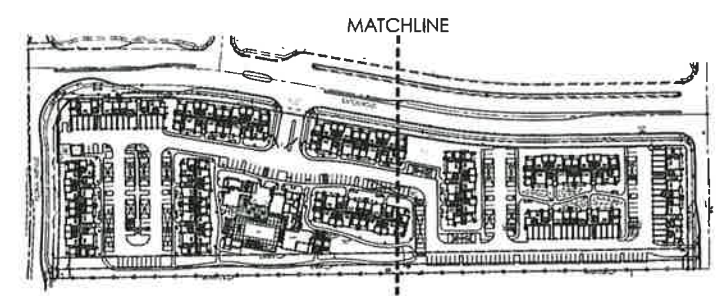
MARIPOSA AVENUE

KEYNOTE LEGEND

- LIGHTING
- CONDENSER
- TRANSFORMER
- TRASH ENCLOSURE
- GAS METER
- WATER HEATER

PARKING REQUIRED		
DU	SPACE/DU	EATON RANCH I
1 BR	1.25	49
2 BR	1.75	147
3 BR	2.0	40
SUBTOTAL		236
GUEST	0.2	29
TOTAL		264
REQ. ACCESSIBLE STALLS (INCL. IN TOTAL)		7
MIN. 1 COVERED STALL PER UNIT		

PARKING PROVIDED	
PARKING TYPE	EATON RANCH I
GARAGES	41
2% ACCESSIBLE GARAGE	1
CARPOR	106
2% ACCESSIBLE CARPOR	3
OPEN	111
2% ACCESSIBLE OPEN	3
TOTAL	265



KEY MAP
(N.T.S.)



1"=20'-0" 0 10' 20' 40' 60'

EATON RANCH I SITE PLAN

A1.4

EATON RANCH
CHANNEL PROPERTIES
1850 SOCOL AVE, SUITE 207 NAPA, CA 94559
707-252-5460

CHICO, CA

DATE: 09-26-18
JOB NO.: 2018-369
ARCHITECTS ORANGE
144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860









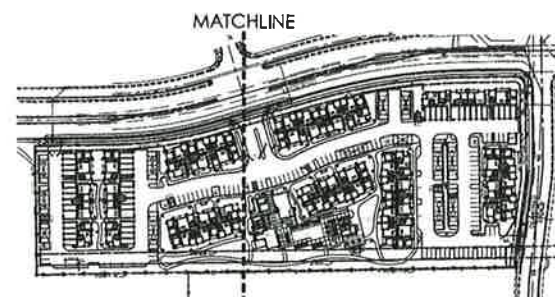
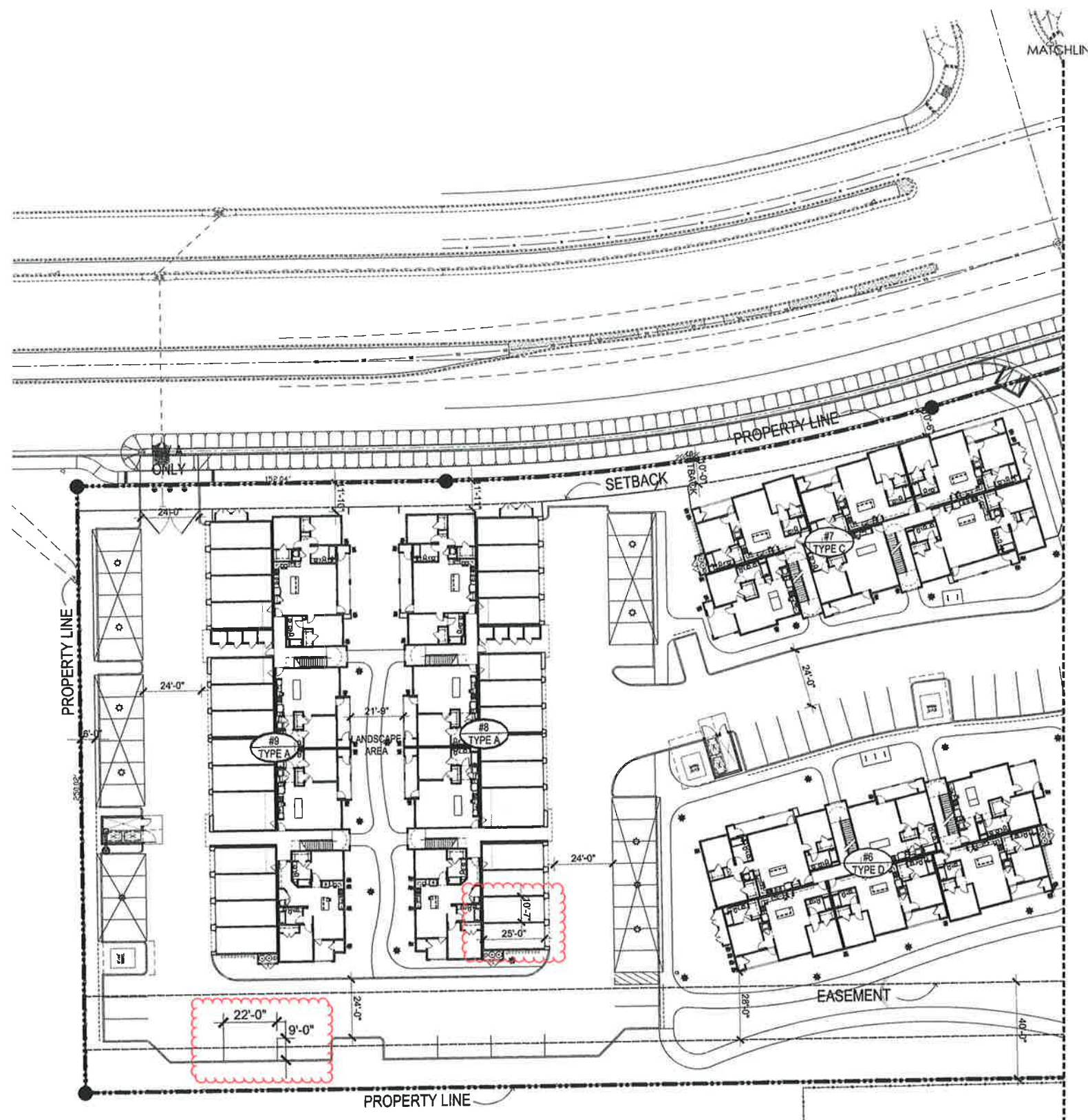
Attachment J

PARKING REQUIRED		
DU	SPACE/DU	EATON RANCH II
1 BR	1.25	43
2 BR	1.75	109
3 BR	2.0	36
SUBTOTAL		187
GUEST	0.2	23
TOTAL		210
REQ. ACCESSIBLE STALLS		5
(INCL. IN TOTAL)		
MIN. 1 COVERED STALL PER UNIT		

PARKING PROVIDED	
PARKING TYPE	EATON RANCH II
GARAGES	41
2% ACCESSIBLE GARAGE	1
CARPORT	63
2% ACCESSIBLE CARPORT	2
OPEN	87
2% ACCESSIBLE OPEN	3
TOTAL	217

KEYNOTE LEGEND

-  LIGHTING
-  CONDENSER
-  TRANSFORMER
-  TRASH ENCLOSURE
-  GAS METER
-  WATER HEATER



OCT 31 2018

CITY OF ORANGE
PLANNING SERVICES



1"=20'-0"

EATON RANCH II SITE PLAN

A1.5

EATON RANCH
CHANNEL PROPERTIES
1850 SOCOL AVE, SUITE 207 NAPA, CA 94559
707-252-5460

CHICO, CA

DATE: 09-26-18
JOB NO.: 2018-369
ARCHITECTS ORANGE
144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860









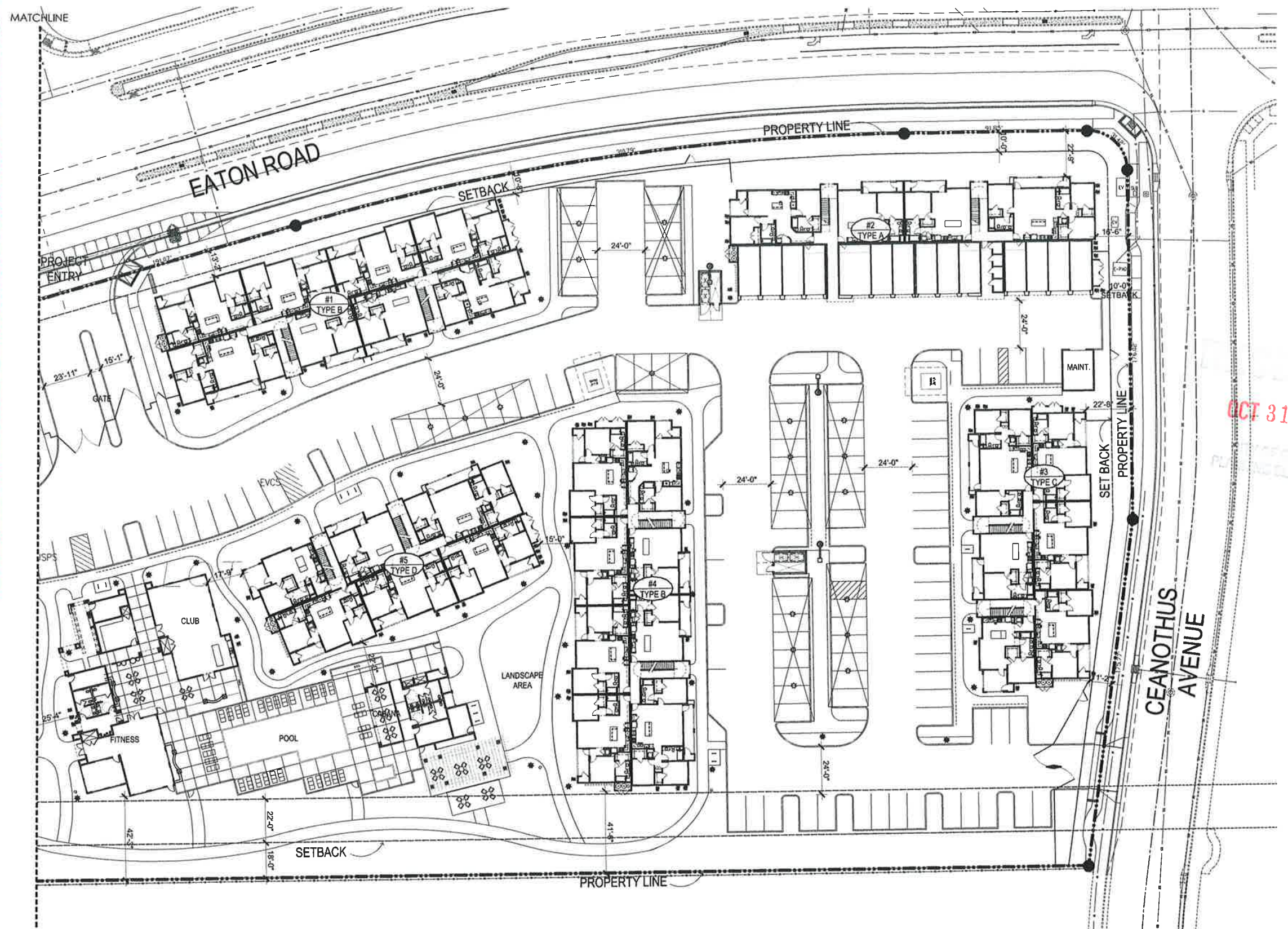
Attachment K

PARKING REQUIRED		
DU	SPACE/DU	EATON RANCH II
1 BR	1.25	43
2 BR	1.75	109
3 BR	2.0	36
SUBTOTAL		187
GUEST	0.2	23
TOTAL		210
REQ. ACCESSIBLE STALLS		5
(INCL. IN TOTAL)		
MIN. 1 COVERED STALL PER UNIT		

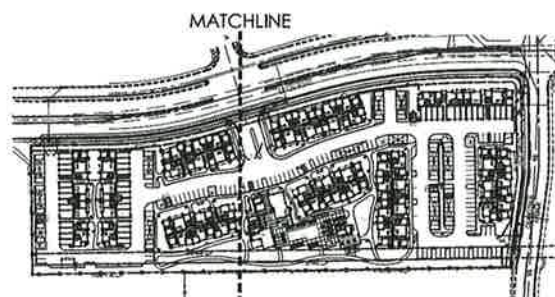
PARKING PROVIDED	
PARKING TYPE	EATON RANCH II
GARAGES	41
2% ACCESSIBLE GARAGE	1
CARPORT	83
2% ACCESSIBLE CARPORT	2
OPEN	87
2% ACCESSIBLE OPEN	3
TOTAL	217

KEYNOTE LEGEND

-  LIGHTING
-  CONDENSER
-  TRANSFORMER
-  TRASH ENCLOSURE
-  GAS METER
-  WATER HEATER



OCT 31 2018
 RECORD PLANS



Eaton Ranch I & II Neighborhood Meeting Minutes

Meeting commenced on time at 5:30 PM on Monday, October 22, 2018. Meeting took place on-site near the corner of Floral Avenue and Eaton Road. In attendance were Jim Mann, Rural Consulting Associates – Project Consultant, Mark R. Funseth, Applicant/Owner’s Representative, Wes Gilbert, W. Gilbert Engineering – Project Civil Engineer, Brian Firth, Brian Firth Landscape Architects, Inc. – Project Landscape Architect, Shannon Costa, City of Chico Assistant Planner – Project Planner, and approximately 27 neighboring Residents. Residents who attended filled out their information on the attached Sign-In Sheet. Two people refused to sign-in or provide any contact information.

Jim Mann opened the meeting with an introduction of the Project Team in attendance followed by a brief overview/description of the Project covering the following:

- Owner is Channel Lumber/Channel Properties. Project will be managed by FPI Management. Same team developed, owns, and operates Eaton Village Apartments which is located on Eaton Road west of Esplanade
- Current zoning/density allows for 14-22 units per acre. Project density as proposed is approximately 16 1/2 units per acre
- Architecture – two-story garden style apartments
- Site – Main and secondary entry locations at Eaton Road and Mariposa for Eaton Ranch I and Eaton Road and Ceanothus for Eaton Ranch II respectively
- Security – Gated community with gates locked after normal business hours
- 24” x 36” site plans, colored architectural renderings, and landscape plans are here on display for Residents to review.

Shannon Costa then gave a brief overview covering the following:

- Purpose of Neighborhood Meeting
- Project Status – Application for ARB and Planning under a PD was received by City and Completeness Review is in process
- Neighboring residents will be notified at least 10 days in advance of future ARB and Planning Commission public hearings
- Zoning – Land is zoned R-3 which allows for multi-family residential use with a density of 14 to 22 units per acre

Meeting was then opened up to questions from Residents. The following items were discussed during this part of the meeting:

- Zoning – Resident who resides in the neighborhood to the South claimed that they were told when they bought their house that this land would always be Open Space. Shannon Costa replied saying that she did not recall what the zoning was before the

- current zoning which has been in place since approximately 2007 when the Mountain Vista and Sycamore Glen Planned Development Permits were approved. She also stated that she doubted that the site was ever zoned as Open Space. Other residents remarked that they did not know what zoning was designated for this site. However, one Resident indicated that when they bought their homes, the Project's current zoning was disclosed to them in writing by Seller/Developer, Epick Homes.
- Off-site Improvements – Resident asked if there were any signal lights or roundabouts being proposed. Project Team responded saying that Eaton Road would be expanded to two lanes in each direction with a center median and cuts as shown on the site plan. No signal lights are being proposed but the City has future plans to install roundabouts at Eaton/Floral and Eaton/Ceanothus.
- Fencing and Screening – Several neighbors inquired about fencing and screening at the along the southern property line. Project Team responded saying that a 6' board on board fence would be installed just inside the existing wood fence. All buildings are setback at least 40' from the southern property line and are orientated in such a way to minimize second story units "looking into the backyards of neighboring residents". Brian Firth then elaborated on landscaping proposed in this 40' setback area to help screen the Project. He also reminded Residents that certain restrictions imposed by PG&E limit the height and type of trees that can be planted in this area.
- Lighting - Several Residents inquired about Project lighting. Specifically, at the southern portion of the Project. Project Team responded saying LED walkway bollard lights, carport lights and 14' tall area lights are proposed in conformance with City Code. A couple of Residents indicated there is a transient/homeless problem and wanted more lighting, not less to deter this.
- Height of Buildings - Several Residents asked about the height of the buildings. Project Team responded saying that most buildings are two stories at a height of approximately 34'. Maximum allowable building height of 45' was noted.

The Meeting then broke up into smaller groups with the following questions being addressed by various Project Team members accordingly:

Will the PG&E easement be fenced or gated?

Regarding the ends of the buildings facing existing homes, will the new apartment residents be able to see out to the existing homes? Are the entrances on the ends of the buildings?

Will the project include new trees?

What size will the trees be in the PG&E easement?

What type of trees will be in the PG&E easement?

Page 3 of 3

How wide is the PG&E easement?

What height will the fence be?

Is Mariposa going to connect to Eaton Road?

Is Eaton Road going to connect to the East?

Are the apartment units low income?

What is the zoning of the land to the East of Eaton Ranch II?

What about our gates in the existing fence that we use to exit our yards?

With only a few Residents still left in attendance, the meeting ended at approximately 6:15 PM.

Contributors to the Neighborhood Meeting Minutes:

Mark Funseth

Brian Firth

Wes Gilbert

Jim Mann