



Architectural Review  
and Historic Preservation Board  
Agenda Report

Meeting Date 07/18/18

DATE: June 12, 2018

File: AR 18-09

TO: Architectural Review and Historic Preservation Board

FROM: Shannon Costa, Assistant Planner, (879-6807, shannon.costa@chicoca.gov)  
Community Development Department

RE: Skypark Plaza Drive-Through; 2485 Notre Dame Blvd, APN 002-210-035  
Skypark Plaza Shopping Center

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## RECOMMENDATION

Staff recommends that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve the proposed project, subject to the recommended conditions.

### Proposed Motion

I move that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve Architectural Review 18-09 (Skypark Plaza Drive Through), subject to the recommended conditions.

## BACKGROUND

The applicant proposes to construct a drive-through restaurant in the Skypark Shopping Center, located at 2485 Notre Dame Boulevard, on the northeast corner of Notre Dame Boulevard and Skyway. The site is currently developed with a commercial restaurant building (Country Waffles) that would be demolished (see **Attachment A**, Location Map). Surrounding land uses include commercial uses to the north, south, east and west.

The site is zoned CC (Community Commercial), and is designated Commercial Mixed Use by the City's General Plan Land Use Diagram. On June 26, 2018, the Zoning Administrator approved Use Permit 18-09 (Skypark Drive-Through), which is required to authorize drive-through sales in the CC district.

The proposal includes a new 4,500 sq. ft. building with two suites, a drive-through facility, outdoor seating and associated parking (see **Attachment B**, Project Description, **Attachment C**, Site Plan).

The drive-through window is located on the west side of the building and complies with all City standards, including sufficient room to queue at least six vehicles in the drive-through lane. As shown on the site plan (**Attachment C**), the drive-through lane has room for approximately eleven vehicles. To avoid circulation conflicts with the existing Starbucks on the adjacent parcel, increased safety features have been included in the drive-through proposal and include a speed bump and stop sign to warn patrons of oncoming vehicles. Proposed screening for the drive-through lane includes a hedge of existing privet shrubs to be maintained at 42-inches high and lily plants.

The architecture is modern commercial stucco with additional decorative elements, including steel canopies, cultured stone veneer, faux-wood fiber cement and decorative vine trellis features (see **Attachment D**, Colors and Materials and **Attachment E**, Color Elevations). The primary color palette is dark taupe (“Mega Greige”, “Black Fox” and “Virtual Taupe”) with dark trim accents (“Griffin”) and black storefronts. A patio with outdoor seating and decorative paving is proposed on the east (front) side of the building, interior to the shopping center.

Exterior wall-mounted lighting would be black, aluminum, goose-neck wall sconces (see **Attachment D**). Parapet walls would reach 23-feet at the highest point and would provide adequate screening for roof-mounted HVAC systems (see **Attachment F**, Roof Plan). Parapet walls on the east (front) elevation include a decorative rounded cornice feature, but are omitted from the west (rear) elevation. To better meet Design Guidelines (DG) that encourage equal treatment to all four elevations of the building (DG 2.2.26), staff recommends a condition of approval (see Condition of Approval #3) that the decorative rounded cornice feature is included on all four building elevations.

The proposed project would utilize the existing parking area for the Skypark Shopping Center through a cross-access parking agreement with an additional 11 new vehicle parking spaces provided on-site. Bike racks would be provided on the north side of the building, accessed by a path of travel to the public sidewalk. A CMU-block trash enclosure would be constructed southeast of the building within the shared parking area. The enclosure would feature a corrugated metal roof, metal panel doors with rough-cut wood trim and would be painted to match the main building (see **Attachment G**, Trash Enclosure).

New landscaping would be provided within the project site and integrated into existing landscaping for the shopping center. The landscape plan indicates a total of 20-percent of the site area to be landscaped; exceeding the required 5-percent for the CC zoning district. A variety of shrubs, ground cover and decorative trees would enhance the aesthetic appearance of the outdoor seating area and along the Notre Dame frontage (see **Attachment H**, Landscape Plans).

Parking lot shade is estimated to reach 50-percent at tree maturity, however, crepe myrtle trees are used to shade proposed parking spaces closest to the building entry. To ensure adequate shading, staff is recommending a condition of approval (see Condition of Approval #4) that larger shade trees be utilized near the building entry, such as Chinese pistache or evergreen pear. Additional shade trees would be installed in existing planters in the shared parking area

## **DISCUSSION**

The proposal is consistent with several General Plan policies, including those that encourage compatible infill redevelopment and revitalization of existing commercial centers (LU-4.2, LU-4.4, CD-5 and ED-3), as the materials and colors are compatible with other existing commercial uses located at shopping center. The single-story architectural design is consistent with surrounding commercial development and would continue the existing context-sensitive transition at the shopping center with smaller, individual buildings located toward the perimeter of the site and the larger buildings toward the center, consistent with CD-5.2. The project is also consistent with goals and policies to enhance Chico’s long-term

prosperity (ED-1), and ensure that regulations and permitting processes for the conduct of commerce do not unreasonably inhibit local business activity (ED-1.3). Using the existing access driveways associated with shopping center is consistent with policy CIRC-1.1 and Table CIRC-1, which calls for safely and efficiently accommodating traffic from new development and minimizing new driveways on larger streets.

The project is consistent with Design Guidelines that call for commercial buildings to use appropriate massing, fenestration, and materials to provide a pedestrian-level scale (DG 2.2.11). The design creates a sense of focus toward the main entrance through the use of a steel-awning feature consistent with DG 2.2.23. Design Guideline consistency is further enhanced by screening HVAC units with roof parapets and parking lot and drive-through areas with low-fencing and landscaping, as called-for by DGs 2.1.25 and 2.1.36. For additional DG consistency analysis, see the applicant's project description, **Attachment B**.

Pursuant to Chico Municipal Code (CMC) section 19.74.140.I, ground-mounted business-identifications signs in shopping centers are permitted for free-standing buildings greater than 10,000 square feet in gross floor area; the existing sign located on the site is considered nonconforming and can be refaced in compliance with CMC 19.08.030. Additional signage would be reviewed under a separate permit in compliance with CMC 19.74.

Overall, staff has not identified any major issues with the proposal and, subject to the above, and standard conditions, recommends approval of the project.

## **REQUIRED FINDINGS FOR APPROVAL**

### Environmental Review

The project has been determined to be categorically exempt under CMC Section 1.40.220 and pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15303 (New Construction or Conversion of Small Structures). Consistent with this exemption, the project consists of the construction of a new commercial pad building less than 10,000 square feet in size, including drive-through food sales, not involving the use of significant amounts of hazardous substances, where all necessary public services are available, and the surrounding area is not environmentally sensitive.

### Architectural Review

According to the Chico Municipal Code Section 19.18.060, the Architectural Review and Historic Preservation Board shall determine whether or not a project adequately meets adopted City standards and design guidelines, based upon the following findings:

1. *The proposed development is consistent with the General Plan, any applicable specific plan, and any applicable neighborhood or area plans.*

The proposed restaurant is a commercial redevelopment project in an existing shopping center, consistent with several General Plan policies, including those that encourage compatible infill redevelopment and revitalization of existing commercial centers (LU-4.2, LU-4.4, CD-5 and ED-3) and those that call for minimizing driveways on larger streets (CIRC-1.1 and Table CIRC-1). Approval of the project is consistent with General Plan goals and policies to enhance Chico's long-term prosperity (ED-1), and ensure that regulations and permitting processes for the conduct of commerce do not unreasonably

inhibit local business activity (ED-1.3).

2. *The proposed development, including the character, scale, and quality of design are consistent with the purpose/intent of this chapter and any adopted design guidelines.*

The project promotes orderly development and would increase desirability of investment at The Skypark Shopping Center by re-developing a dilapidated building site at a prominent intersection, consistent with the stated purpose of CMC 19.18. The project is consistent with Design Guidelines that call for commercial buildings to use appropriate massing, fenestration, and materials to provide a pedestrian-level scale (DG 2.2.11). The design creates a sense of focus toward the main entrance through the use of a steel-awning element, consistent with DG 2.2.23. Design Guideline consistency is further enhanced by screening HVAC units with roof parapets and parking lot and drive-through areas with landscaping, as called-for by DGs 2.1.25 and 2.1.36.

3. *The architectural design of structures, including all elevations, materials and colors are visually compatible with surrounding development. Design elements, including screening of equipment, exterior lighting, signs, and awnings, have been incorporated into the project to further ensure its compatibility with the character and uses of adjacent development.*

The design, materials and colors of the proposed new building are visually compatible with the surrounding commercial development, specifically regarding the stucco exterior and flat roof. Exterior equipment will be properly screened from view by roof parapets, landscaping or by locating equipment inside the building.

4. *The location and configuration of structures are compatible with their sites and with surrounding sites and structures, and do not unnecessarily block views from other structures or dominate their surroundings.*

The location and configuration of the proposed structure is compatible with the surrounding shopping center and would occupy the same site as an existing commercial building. The building will not unnecessarily block views or dominate its surroundings. The drive through lane will be adequately screened by new and existing landscaping.

5. *The general landscape design, including the color, location, size, texture, type, and coverage of plant materials, and provisions for irrigation and maintenance, and protection of landscape elements, have been considered to ensure visual relief, to complement structures, and to provide an attractive environment.*

The proposed landscaping will provide visual relief around the new building and reconfigured parking area, with specific attention paid to screening the drive-through aisle from public views along Notre Dame Boulevard.

## **RECOMMENDED CONDITIONS OF APPROVAL**

1. All approved building plans and permits shall note on the cover sheet that the project shall comply with AR 18-09 (Skypark Shopping Center). No building permits related to this approval shall be finalized without authorization of Planning staff.

2. All approved building plans and permits shall note that wall-mounted utilities and roof or wall penetrations, including vent stacks, utility boxes, exhaust vents, gas meters and similar equipment, shall be screened by appropriate materials and colors. All parapet caps and other metal flashing shall be painted, consistent with the approved building colors.
3. The building plan submittal shall reflect the decorative rounded cornice feature included on all four building elevations.
4. Larger shade trees, in-lieu of crepe myrtle trees, shall be utilized near the building entry, such as Chinese pistache or evergreen pear.
5. Upon building plan submittal, the applicant shall submit revised landscape/tree planting plans to the Planning Department for review. Because of poor soil conditions, the following notes shall be added to the landscape plan:
  - a. Parking lot peninsular planters shall be excavated the full width (6 feet minimum) by a minimum of 12 feet in length and minimum of 30 inches deep or below the level of imported structural fill, whichever is greater.
  - b. Parking lot island planters shall be excavated the full width of the planter (7 ft. by 7 ft. minimum) by a minimum of 36 inches deep or below the level of imported structural fill, whichever is greater.
  - c. Shade tree planters other than the above shall be excavated 8 ft. by 8ft. by 60 inches deep. The bottom of all tree excavations shall be scarified. Backfill shall be specified by the landscape professional.
6. Approved material includes pages date stamped May 29, 2018 and labeled:
  - a. Site Plan A1
  - b. Colors and Materials M1
  - c. Color Elevations A5
  - d. Roof Plan A6
  - e. Trash Enclosure A3
  - f. Landscape Plan L1

## **PUBLIC CONTACT**

Public notice requirements are fulfilled by placing a notice on the project site and by posting of the agenda at least 10 days prior to the ARHPB meeting.

## **ATTACHMENTS**

- A. Location Map
- B. Project Description
- C. Site Plan
- D. Colors and Materials
- E. Color Elevations
- F. Roof Plan
- G. Trash Enclosure
- H. Landscape Plans

**DISTRIBUTION**

Internal (3)

AP Costa

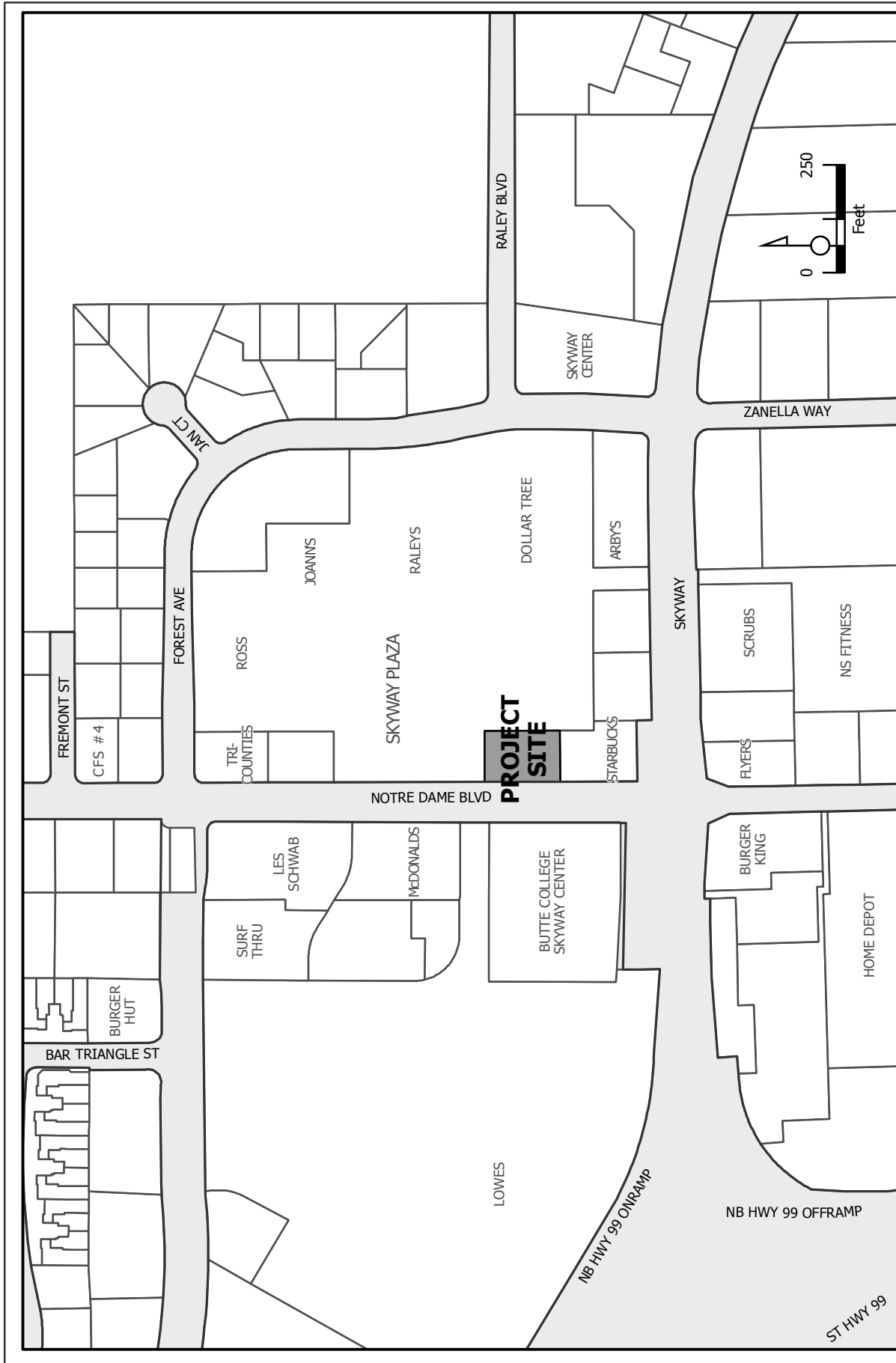
SP Sawley

File AR 18-09

External (2)

Scott Gibson Architect, Inc., 2540 Zanella Way, Suite 60, Chico, CA 95928  
([scottg@sgarchitect.net](mailto:scottg@sgarchitect.net))

Carwood Skypark, LLC, 200 E, Carillo Street, Suite 200, Santa Barbara, CA 93101



AR 18-09 (Gibson Architect, Inc)  
 2485 Notre Dame Boulevard #800  
 APN 002-210-041-000

# PROJECT DESCRIPTION

Skypark Plaza  
Pad C – 2485 Notre Dame Blvd.



We are proposing to redevelop an existing 1/2 acre parcel at the Skypark Plaza shopping center. The current 4,300 SF restaurant (built in 1987) will be replaced with a new +/- 4,500 SF building (single story), including a drive-through. We are proposing two (2) future tenants for this building: a +/- 2,300 SF restaurant tenant with drive through, as well as a +/- 2,200 SF restaurant or retail tenant.

Our intention is to create sight lines that facilitate an attractive and inviting presentation to the street - for both pedestrians and vehicular traffic. We look to develop a high quality building with a sophisticated architectural style which embraces Chico's dignified visual character.

Chapters 1 & 2 of The City of Chico Design Guidelines Manual were extensively utilized throughout the design process:

- Building materials such as stacked stone veneer were selected to complement existing aesthetics in the immediate vicinity (Starbucks, Raley's), but also reinforce a sense of permanence. [DG 1.1.1, 1.2.13, 1.2.21, 1.2.32]
- The patio will reinforce a pedestrian-friendly environment by adding a shaded outdoor sitting area and nearby bicycle parking. [DG 1.1.13]
- The proposed landscape design softens and screen views from the public right-of-way towards the drive through and parking lot. Waxleaf Texas Privet hedges maintained to +42" are utilized to provide a natural screen for vehicle headlights while in the drive through [DG 1.1.14, 2.1.26, 2.1.27]
- The patio is situated on the east side of the building which allows the building to serve as a noise buffer between Notre Dame Blvd. and the patio occupants. [DG 1.1.15]
- Decorative paving is utilized to define pedestrian gathering areas [DG 1.1.33]
- The open, well-lit site layout enhances safety, security, and surveillance [DG 1.1.35]
- Decorative goose-neck style building lights in addition to recessed under-awning lights provide effective, aesthetic lighting while minimizing glare [DG 1.5.1]
- Shade trees and energy-efficient fixtures are utilized to minimize wasted energy in all 4 seasons. The west elevation is well shaded from mature shade trees. [DG 1.7.1]
- Corporate tenants have been consulted throughout the design process to ensure the building meets both corporate requirements while also embracing Chico's visual character. [DG 1.8.1]



- The bicycle racks are located in close proximity to the building and provide shade so as to comply with sections [DG 2.1.21, 2.1.31 2.1.32].
- Electrical service, fire riser, and roof ladder are located within the building ensure adequate screening [DG 2.1.38 & 2.2.28]
- Building design subtly complements surrounding architecture while also taking on its own unique identity by utilizing goose-neck lighting and state-of-the art "Nichia" brand siding for an authentic wood appearance. [DG 2.2.1]
- Varying building materials, colors, and awnings at the façade create a sense of focus at building entrances and avoid monotony. [DG 2.2.2 & 2.2.3]

Compatibility:

The proposed project would provide the following mitigations:

1. All HVAC units will be completely screened from view with high parapets
2. Outdoor public patios and business entrance shall be located on the eastern side of the building.
3. Trash enclosures shall be placed a minimum of ten feet away from the adjacent property lines.
4. All Site and Street trees and plantings shall be drought tolerant and meet the approval of the City of Chico Forrester.

Sincerely,

**SGA** - SCOTT GIBSON ARCHITECT, Inc.



Scott Gibson, Architect  
C18327

**SUMMARY:**

**SITE DATA**

APN: 002-210-031,032,035,036,037,041,076-000  
 LOCATION: 2481, 2483, 2485 NOTRE DAMN BLVD.  
 LAND (SF): 726,806 SF (16.6852 ACRES)  
 BLDG AREA (SF):  
 PROPOSED PAD C 4,500 SF  
 EXISTING BUILDING 1 5,372 SF  
 EXISTING BUILDING 2 5,349 SF  
 EXISTING BUILDING 4 5,825 SF  
 EXISTING BUILDING 5 3,022 SF  
 EXISTING BUILDING 6 2,798 SF  
 EXISTING BUILDING 7 1,927 SF  
 EXISTING BUILDING 8 118,274 SF  
 EXISTING BUILDING 9 42,099 SF  
 TOTAL 189,166 SF  
 LAND / BLDG.: 3.84  
 BLDG. %: 26.02%  
 CURRENT ZONING: C-3  
 EXISTING USE: RESTAURANT  
 PROPOSED USE: RESTAURANT  
 PROPOSED BUILDING AREAS: 4,500 SF

**BUILDING DATA:**

TENANT	SQ. FEET.	PARKING REQ'D
<b>PROPOSED PAD C</b>	<b>4,500 SF</b>	<b>15 (3.33 PER 1,000 SF)</b>
EXISTING BUILDING 1	5,372 SF	18 (3.33 PER 1,000 SF)
EXISTING BUILDING 2	5,349 SF	18 (3.33 PER 1,000 SF)
EXISTING BUILDING 4	5,825 SF	20 (3.33 PER 1,000 SF)
EXISTING BUILDING 5	3,022 SF	10 (3.33 PER 1,000 SF)
EXISTING BUILDING 6	2,798 SF	10 (3.33 PER 1,000 SF)
EXISTING BUILDING 7	1,927 SF	7 (3.33 PER 1,000 SF)
EXISTING BUILDING 8	118,274 SF	394 (3.33 PER 1,000 SF)
EXISTING BUILDING 9	42,099 SF	140 (3.33 PER 1,000 SF)
<b>TOTAL BLDG AREA:</b>	<b>189,166 SF</b>	<b>632</b>

**PARKING DATA**

PARKING SIZES:  
 STANDARD 9'x18'  
 ACCESSIBLE STALLS 9'x18'  
 COMPACT 8'x16'

PARKING BASIS: 3.33 STALLS PER 1,000 SF  
 TOTAL PARKING REQ'D: 632

PARKING PROVIDED:  
 - STANDARD 915  
 - ACCESSIBLE 21  
   REGULAR ACCESSIBLE STALLS 21  
   VAN ACCESSIBLE STALLS 12  
 - CLEAN AIR / VANPOOL / EV SPACES: 0  
**TOTAL PARKING PROVIDED: 948 STALLS**

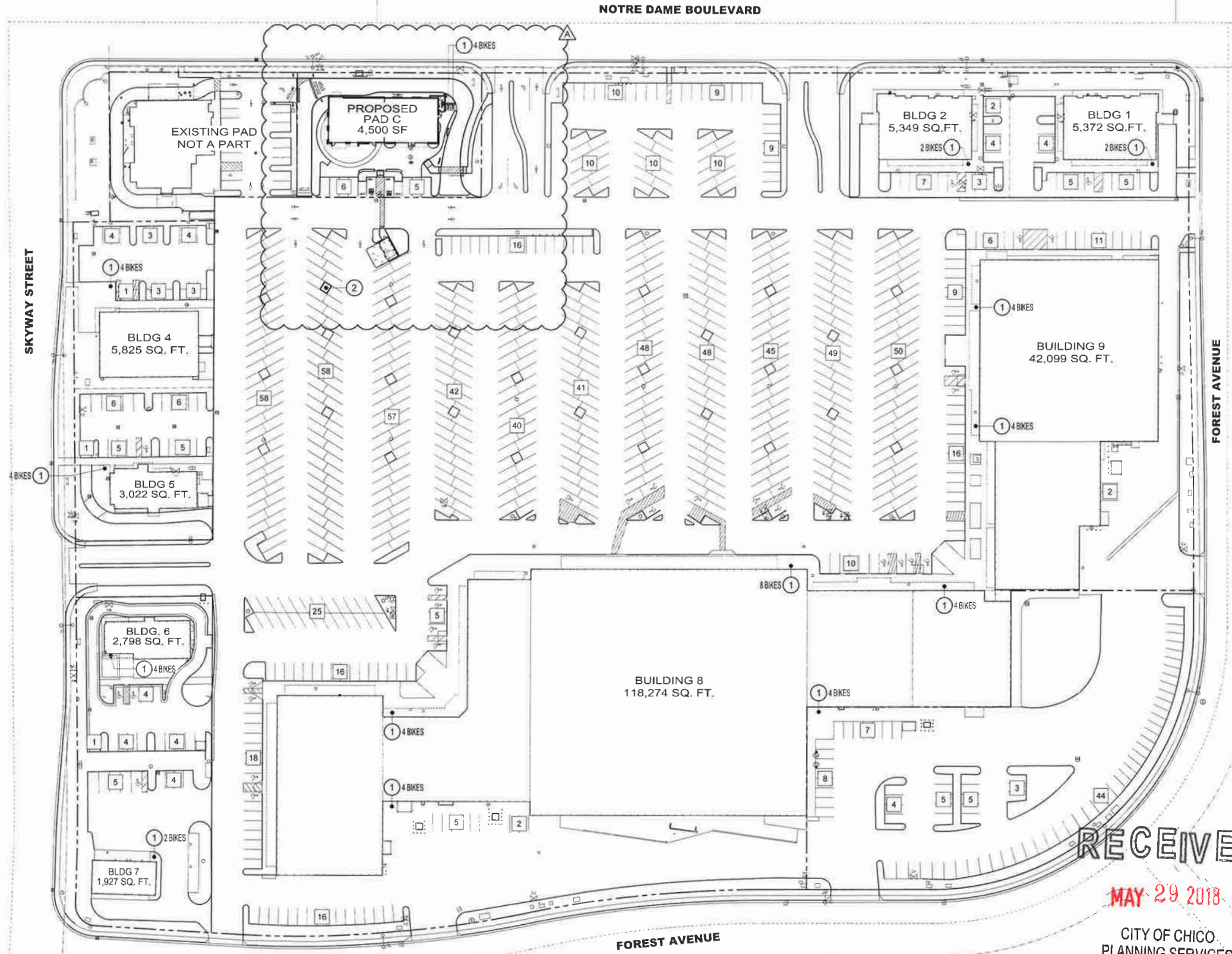
**BIKE RACKS DATA**

BIKE RACKS COUNT:  
 SHORT TERM: 948 x 5% = 48  
 Note: Tenants to allow long term bicycle storage inside back of house areas for employees.  
 TOTAL BIKE RACKS REQ'D: 48  
 BIKE RACKS PROVIDED: 48

**KEYED NOTES**

- ① BICYCLE RACKS
- ② (N) LANDSCAPE PLANTER

**NOTE:**  
 PRIOR TO RECORDATION OF THE CERTIFICATE OF COMPLIANCE, THE APPLICANT SHALL ADD A NOTE TO THE PLATS STATING THAT PARKING AND ASSOCIATED LANDSCAPE IMPROVEMENTS FOR FUTURE DEVELOPMENT OF PARCEL "A" MAY OCCUR IN THE ADJACENT PARKING FIELD LOCATED ON PARCEL "B". THE OWNER OF PARCEL "B" SHALL PERMIT SUCH IMPROVEMENTS WITHIN THE SHARED PARKING AREA, AS NEEDED TO SUPPORT FUTURE DEVELOPMENT ON PARCEL "A".



Reference Site Plan - Skypark Plaza

SCALE: 1" = 50'-0"

**REVISIONS**

REV DATE	REV DATE
05/22/2018	

SKYPARK PLAZA  
 FUTURE PAD C  
 2485 NOTRE DAME BLVD.  
 CHICO CALIFORNIA 95928

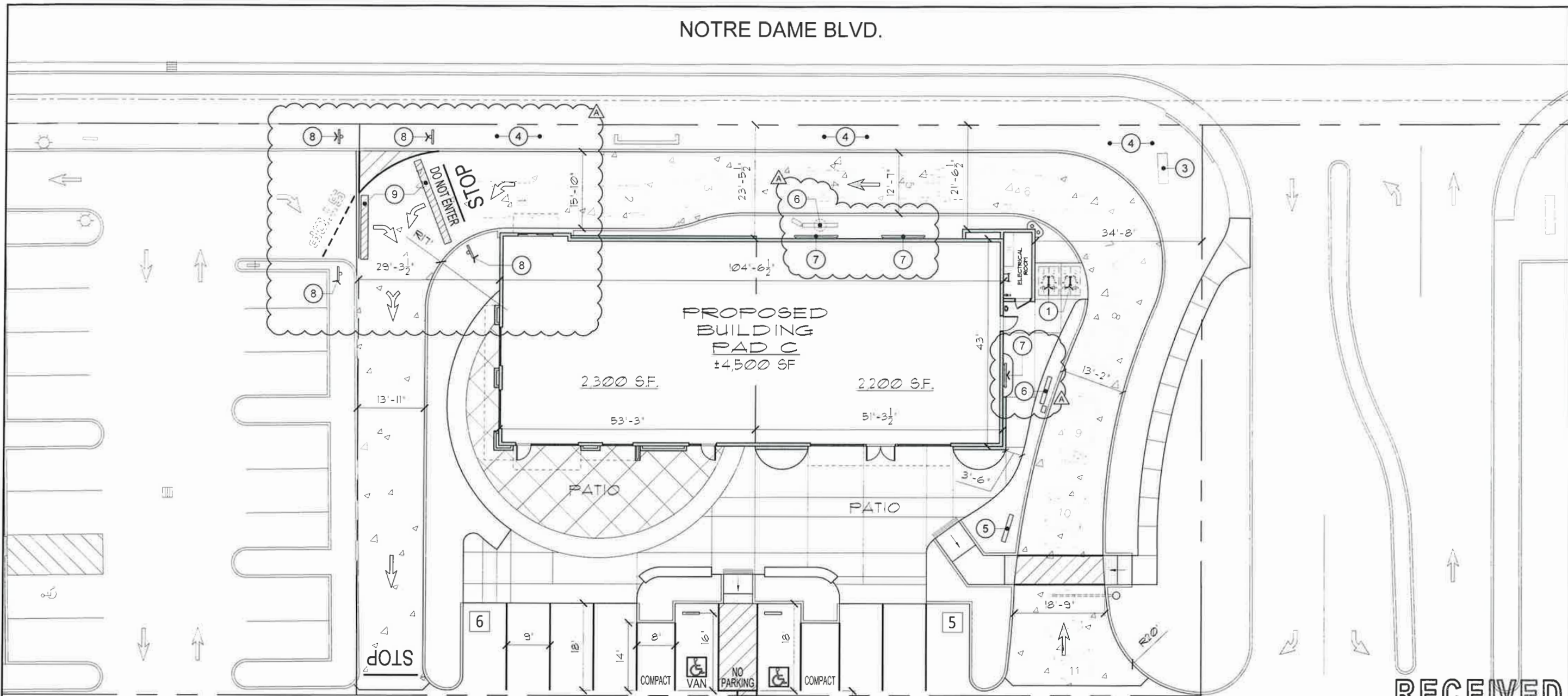
REFERENCE  
 SITE PLAN

DATE: 04/25/2018  
 JOB NO. 17.074

**A1**

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NOTRE DAME BLVD.



REVISIONS	
REV DATE	05/22/2018
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SKYPARK PLAZA  
 FUTURE PAD C  
 2485 NOTRE DAME BLVD.  
 CHICO CALIFORNIA 95928

**RECEIVED**

**MAY 29 2018**

CITY OF CHICO  
 PLANNING SERVICES

PROPOSED  
 SITE PLAN  
 - PAD C -

DATE: 04/25/2018  
 JOB NO. 17.074

**A2**

- KEYED NOTES**
- 1 BICYCLE RACKS  
REFER TO M1 FOR RACK  
DETAILS
  - 2 TRASH ENCLOSURE w/ROOF  
- REFER TO 1/A3 FOR DETAILS
  - 3 EXISTING MONUMENT SIGN  
- REFER TO 2/A3
  - 4 REFER TO LANDSCAPING PLAN  
FOR (E) HEDGE SCREENING
  - 5 DRIVE THRU PRE-ORDER BOARD
  - 6 MENU BOARD WITH ORDER  
SCREEN
  - 7 WALL MOUNTED GREEN  
SCREEN METAL TRELLIS
  - 8 STOP SIGNAGE
  - 9 SPEED BUMP



Proposed Site Plan - Pad C

SCALE: 1" = 10'-0"

Wednesday, May 23, 2018 10:30:41 AM  
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### LIGHTING

L1 SPUN ALUMINUM SHADE WITH GOOSENECK  
EXTENSION ARM  
MFR: ANP LIGHTING  
MODEL: W520-41-E6-41



L1

### MATERIALS

FC1 FIBER CEMENT  
MFR: NICHHA  
SERIES: VINTAGE WOOD SERIES  
COLOR: BARK

SV1 STONE VENEER  
MFR: ELDORADO STONE  
COLOR: SAVANNAH LIMESTONE (OVER GROUTED)



FC1



SV1

### COLORS

P1 SHERWIN WILLIAMS SW7031 - MEGA GREIGE  
P2 SHERWIN WILLIAMS SW7039 - VIRTUAL TAUPE  
P3 SHERWIN WILLIAMS SW7026 - GRIFFIN  
P4 SHERWIN WILLIAMS SW7020 - BLACK FOX  
M1 BENJAMIN MOORE 2133-10 - ONYX

NOTES: ALL EXTERIOR PAINT ACRYLIC LATEX, FLAT SHEEN  
BLACK PAINT TO BE SATIN SHEEN



P1



P2



P3



P4



M1

### STOREFRONT SYSTEM

SF1 BLACK ANODIZED ALUMINUM STOREFRONT  
MFR: VISTA WALL



SF1

### BIKE RACK

B1 BIKE RACK  
MFR: HIGHLAND  
SPEC: 145-1438 STANDARD STYLE BIKE RACK  
COLOR: BLACK



B1

REVISIONS	
REV DATE	05/22/2018
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**RECEIVED**  
**MAY 29 2018**  
CITY OF CHICO  
PLANNING SERVICES  
SKYPARK PLAZA  
FUTURE PAD C  
2485 NOTRE DAME BLVD.  
CHICO CALIFORNIA 95928

MATERIAL AND  
FINISHES

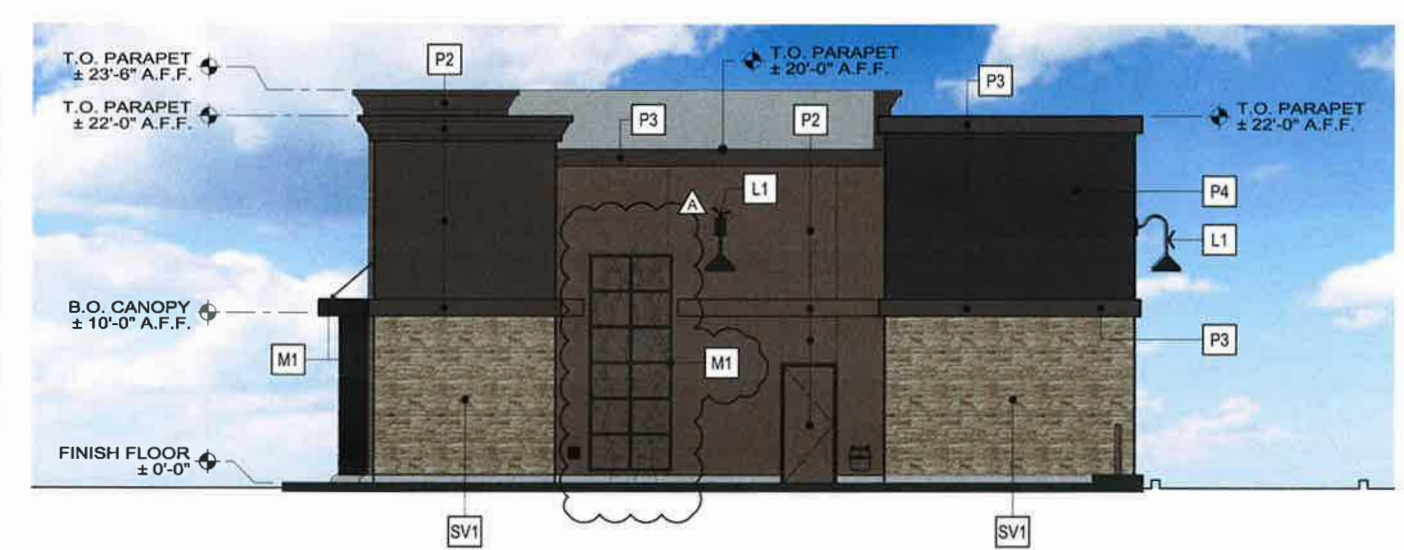
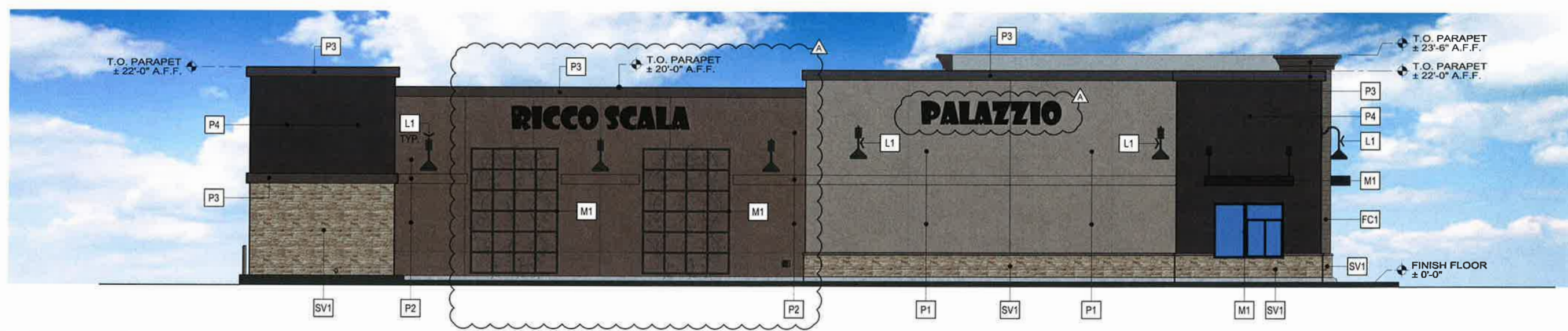
DATE: 04/25/2018  
JOB NO. 17.074

M1

Wednesday, April 25, 2018 11:16:30 AM  
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RECEIVED  
 MAY 29 2018  
 CITY OF CHICO  
 PLANNING SERVICE

REV. NO.	REV. DATE	DESCRIPTION
01	05/22/2018	REVISED



Proposed Exterior Elevations

SCALE: 3/16" = 1'-0"

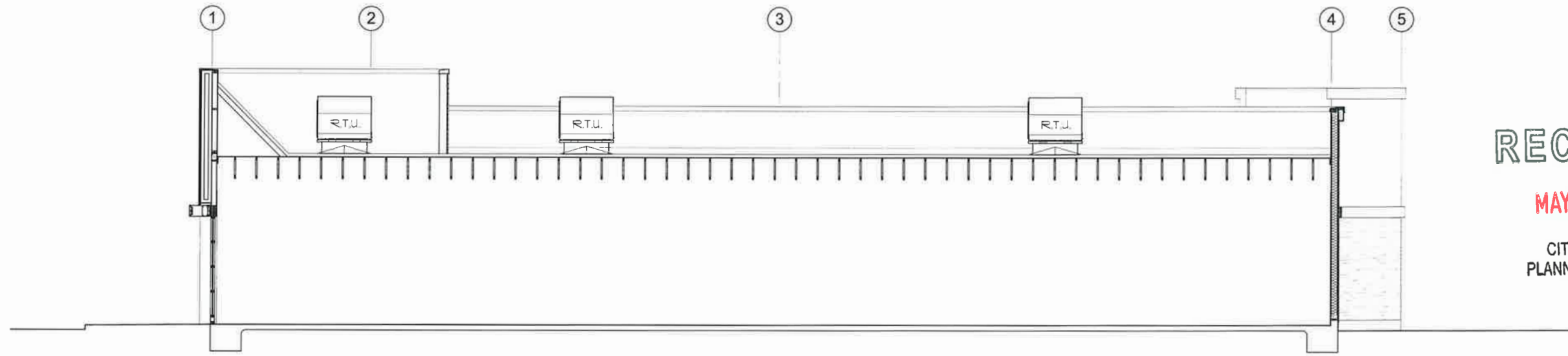
SKYPARK PLAZA  
 FUTURE PAD C  
 2485 NOTRE DAME BLVD.  
 CHICO CALIFORNIA 95928

EXTERIOR  
 ELEVATIONS  
 - PAD C -

DATE: 04/25/2018  
 JOB NO. 17.074

A5

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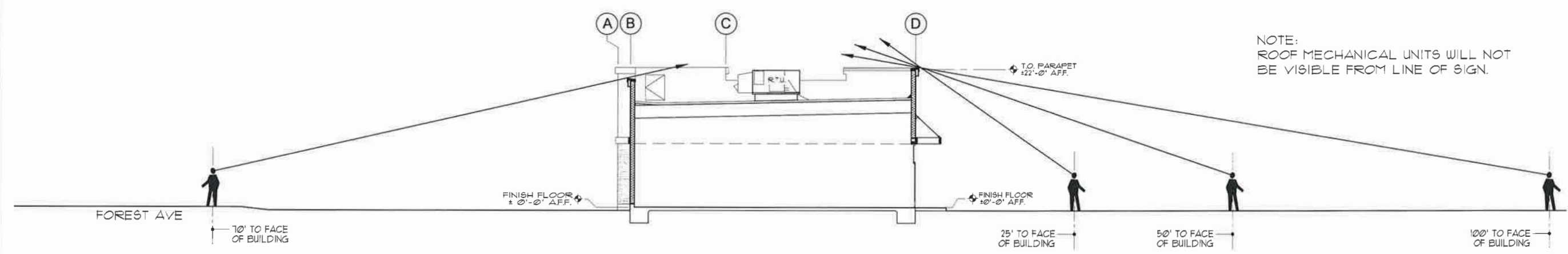


**RECEIVED**  
 MAY 29 2018  
 CITY OF CHICO  
 PLANNING SERVICES

REVISIONS	
REV DATE	05/22/2018
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REV DATE	
REV DATE	
REV DATE	

Building Section 1  
 SCALE: 3/16" = 1'-0"

SKYPARK PLAZA  
 FUTURE PAD C  
 2485 NOTRE DAME BLVD.  
 CHICO CALIFORNIA 95928



NOTE:  
 ROOF MECHANICAL UNITS WILL NOT  
 BE VISIBLE FROM LINE OF SIGHT.

BUILDING  
 SECTIONS  
 - PAD C -

DATE: 04/25/2018  
 JOB NO. 17.074

Building Section 2  
 SCALE: 1/8" = 1'-0"

A6

Wednesday, May 23, 2018 9:16:10 AM  
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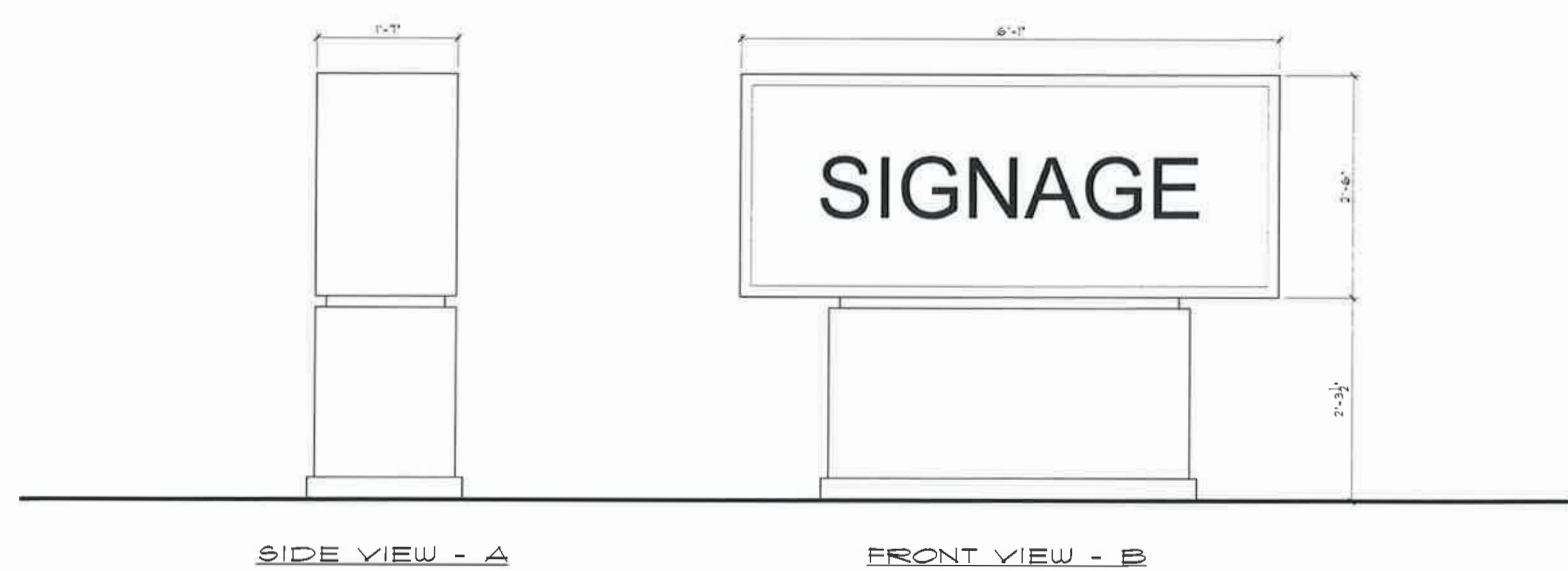
REVISIONS	
REV DATE	05/22/2018
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SKYPARK PLAZA  
 FUTURE PAD C  
 2485 NOTRE DAME BLVD.  
 CHICO CALIFORNIA 95928

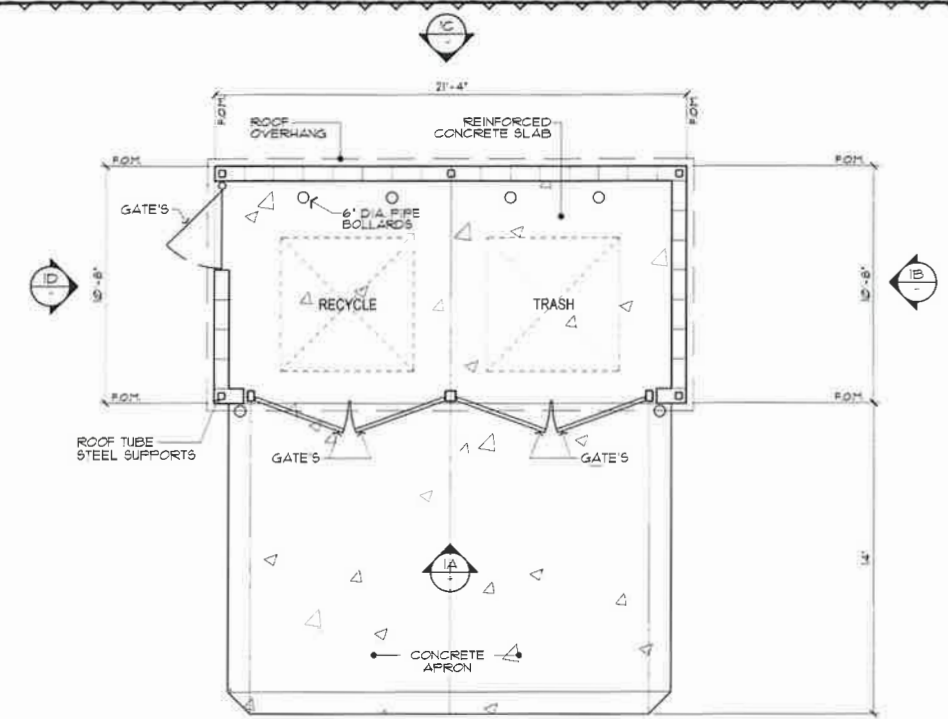
TRASH ENCLOSURE  
 PLAN AND  
 ELEVATIONS

DATE: 04/25/2018  
 JOB NO. 17.074

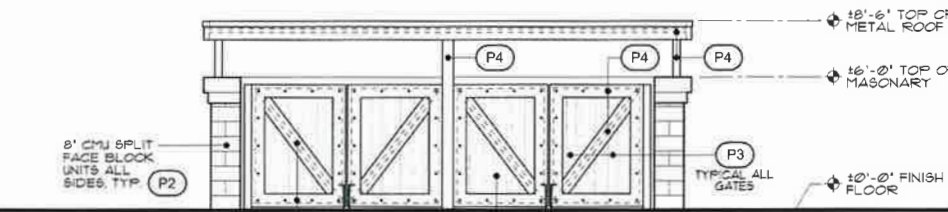
**A3**



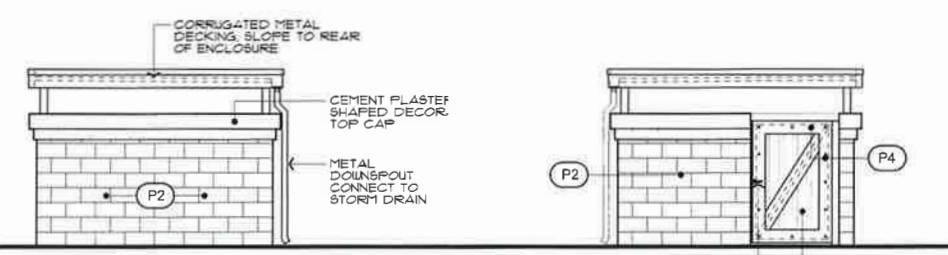
EXISTING MONUMENT SIGN SCALE: 1" = 1'-0" **2**



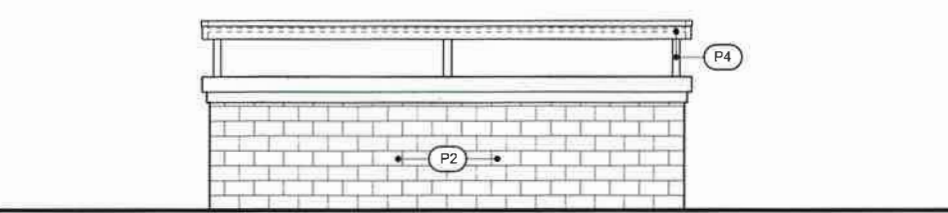
PLAN



ELEVATION - A



ELEVATION - B ELEVATION - D



ELEVATION - C

TRASH & RECYCLE ENCLOSURE PLAN AND ELEVATIONS SCALE: 1/4" = 1'-0" **1**

**RECEIVED**  
 MAY 29 2018  
 CITY OF CHICO  
 PLANNING SERVICES

Wednesday, May 23, 2018 10:30:41 AM  
 D:\Projects\201717\_074\_Skypark Plaza Pad C Chico\_CAV1\_17\_074\_SITE PLAN 05232018.dwg

A B C D E F G H J K L M N O P

MAXIMUM APPLIED WATER ALLOWANCE  
 $MAWA = (Eto - Eppt) / (0.62) (0.7XLA + 0.3XSLA)$   
 where:  
 VALUES  
 MAWA = MAXIMUM APPLIED WATER ALLOWANCE  
 Eto = REFERENCE EVAPOTRANSPIRATION 51.70  
 Eppt = EFFECTIVE PRECIPITATION 25% OF ANNUAL RAINFALL 6.50  
 0.62 = CONVERSION FACTOR TO GALLONS PER SQUARE FOOT 0.62  
 0.7 = ET ADJUSTMENT FACTOR 0.7  
 LA = LANDSCAPE AREA INCLUDES SPECIAL LANDSCAPE AREA 4,566  
 0.3 = ADDITIONAL ADJUSTMENT FACTOR FOR SLA 0.3  
 SLA = SPECIAL LANDSCAPE AREA 0

MAWA = 65,861 GALLONS PER YEAR  
 ESTIMATED TOTAL WATER USE  
 $ETWU = (Eto / 0.62) (PF \times HA / IE + SLA)$   
 where:  
 VALUES  
 ETWU = ESTIMATED TOTAL WATER USE  
 Eto = REFERENCE EVAPOTRANSPIRATION 51.70  
 PF = PLANT FACTOR 7.846  
 HA = HYDROZONE AREA 0  
 SLA = SPECIAL LANDSCAPE AREA 0  
 0.62 = CONVERSION FACTOR TO GALLONS PER SQUARE FOOT 0.62  
 IE = IRRIGATION EFFICIENCY 0.75  
 ETWU = 51,321 GALLONS PER YEAR

PLANT FACTOR

HYDROZONE	WATER USE TYPE	PLANT FACTOR	AREA	PF X AREA
1	LOW	.247	4,130	1,020
2	MEDIUM	.5	0	0
3	HIGH	.75	436	581
	TOTALS		4,566	1,601
4	SLA		0	

NOTE: THIS CALCULATION IS FOR ONSITE LANDSCAPE ONLY

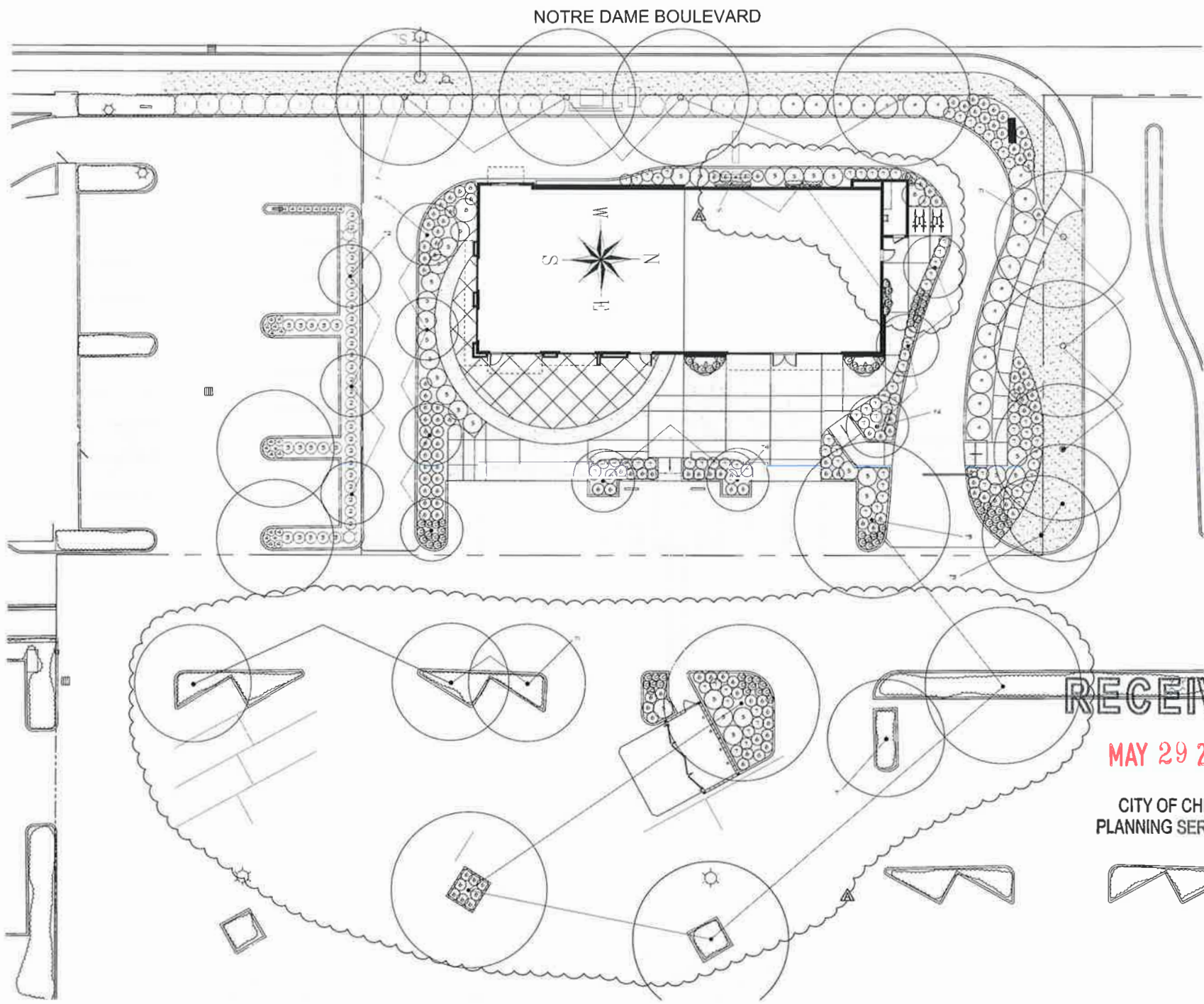
**A/10 WATER USE**  
SCALE N/A

LANDSCAPE AREA 4,066 SF = 20% LANDSCAPING  
 SITE AREA 20,562 SF

**A/8 LANDSCAPE PERCENTAGE**  
SCALE N/A

PHOTO	SYMBOL	NAME
	1 & 4	LIGUSTRUM JAPONICUM 'TEXANUM' WAXLEAF TEXAS PRIVET MAINTAIN @ 42" HIGH
	2	BERBERIS T. 'ATROPURPUREA' RED BARBERRY
	3 & 7	DIETES IRIOIDES FORTNIGHT LILY
	4 & 10	HEMEROCALLIS DAY LILY
	5	PHORMIUM TENAX 'RUBRUM' PURPLE FLAX
	6	COTONEASTER DAMERII 'LOWFAST' BEAR BERRY COTONEASTER
	8	BAMBUSA MULTIPLEX 'GOLDEN GODDESS' GOLDEN GODDESS BAMBOO
	11	PYRUS KAWAKAMI EVERGREEN PEAR
	T2 & T4	LAGERSTROEMIA FAURIEI 'ARAPAHO' CREPE MYRTLE
	T3 & T5	PISTACIA CHINENSIS 'KEITH DAVEY' CHINESE PISTACHE

**A/1 PLANT PICTURES**  
SCALE N/A



**E/4 CONCEPTUAL LANDSCAPE PLAN**  
SCALE 1" = 16'0"

SPECIES	% SHADE	QTY.	SHADE AREA	TOTALS
CREPE MYRTLE	100%	1	354 SF	354 SF
CREPE MYRTLE	50%	8	177 SF	1416 SF
CHINESE PISTACHE	75%	1	900 SF	900 SF
EVERGREEN PEAR	50%	4	480 SF	1920 SF

TOTAL SHADE AREA 4590 SF

PARKING AREAS 9154 SF

PARKING LOT SHADE 4590 SF

TOTAL ON SITE PARKING LOT AREA 9154 SF = 50% PARKING LOT SHADE

**E/1 PARKING LOT SHADING**  
SCALE N/A

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
1	LIGUSTRUM JAPONICUM 'TEXANUM'	WAXLEAF TEXAS PRIVET	EXISTING	LOW
2	BERBERIS THUNBERGIANA 'ATROPURPUREA'	RED BARBERRY	EXISTING	LOW
3	DIETES IRIOIDES	FORTNIGHT LILY	EXISTING	LOW
4	HEMEROCALLIS	DAY LILY	EXISTING	LOW
5	PHORMIUM TENAX 'RUBRUM'	PURPLE FLAX	15 GALLON	LOW
6	COTONEASTER DAMERII 'LOWFAST'	BEAR BERRY COTONEASTER	1 @ GALLON	LOW
7	DIETES IRIOIDES	FORTNIGHT LILY	5 GALLON	LOW
8	BAMBUSA MULTIPLEX 'GOLDEN GODDESS'	GOLDEN GODDESS BAMBOO	15 GALLON	LOW
9	LIGUSTRUM JAPONICUM 'TEXANUM'	WAXLEAF TEXAS PRIVET	15 GALLON	LOW
10	HEMEROCALLIS 'STELLA D'ORO'	DAY LILY	1 @ GALLON	LOW
11	PYRUS KAWAKAMI	EVERGREEN PEAR	EXISTING	LOW
T2	LAGERSTROEMIA FAURIEI 'ARAPAHO'	CREPE MYRTLE	EXISTING	LOW
T3	PISTACIA CHINENSIS	CHINESE PISTACHE	EXISTING	LOW
T4	LAGERSTROEMIA FAURIEI 'ARAPAHO'	CREPE MYRTLE	15 GALLON	LOW
T5	PISTACIA CHINENSIS 'KEITH DAVEY'	CHINESE PISTACHE	15 GALLON	LOW
VI	SELSEMIUM SEMPERVIRENS	CAROLINA JESSAMINE	15 GALLON	LOW
	VARIES	TURF	EXISTING	HIGH
	VARIES	EXISTING LANDSCAPING	EXISTING	

**L/1 PLANT LEGEND**  
SCALE N/A

REVISIONS	DATE
PLAN CHECK	5/22/18

All drawings and written material appearing herein constitute the original and unpublished work of the Landscape Architect and the same may not be duplicated, used, or disclosed without the written consent of the Landscape Architect.



PO BOX 6164  
 Chico, California 95927  
 Landscape Architect #2655  
 Contractors License #589920  
 (530) 893-2620 office  
 (530) 624-6738 cell

PROJECT NAME:  
**SKYPARK PLAZA**  
**FUTURE PAD C**  
 2485 NOTRE DAME BLVD.  
 CHICO CALIFORNIA 95928

SHEET TITLE:  
**CONCEPTUAL LANDSCAPE PLAN**



DRAWN BY	SCALE	NOTED
MRH		4/4/18
CHECKED BY	DATE	SHEET NO.
MRH	4/4/18	

L | of |



SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
1	LIGUSTRUM JAPONICUM 'TEXANUM'	WAXLEAF TEXAS PRIVET	EXISTING	LOW
2	BERBERIS THUNBERGIANA 'ATROPURPUREA'	RED BARBERRY	EXISTING	LOW
3	DIETES IRIOIDES	FORTNIGHT LILY	EXISTING	LOW
4	HEMEROCALLIS	DAY LILY	EXISTING	LOW
5	PHORMIUM TENAX 'RUBRUM'	PURPLE FLAX	15 GALLON	LOW
6	COTONEASTER DAMERII 'LOWFAST'	BEAR BERRY COTONEASTER	15 GALLON	LOW
7	DIETES IRIOIDES	FORTNIGHT LILY	15 GALLON	LOW
8	BAMBUSA MULTIFLEX 'GOLDEN GODDESS'	GOLDEN GODDESS BAMBOO	15 GALLON	LOW
9	LIGUSTRUM JAPONICUM 'TEXANUM'	WAXLEAF TEXAS PRIVET	15 GALLON	LOW
10	HEMEROCALLIS 'STELLA D'ORO'	DAY LILY	15 GALLON	LOW
T1	PYRUS KAWAKAMI	EVERGREEN PEAR	EXISTING	LOW
T2	LAGERSTROEMIA FAURIEI 'ARAPAHO'	CREPE MYRTLE	EXISTING	LOW
T3	PISTACIA CHINENSIS	CHINESE PISTACHE	EXISTING	LOW
T4	LAGERSTROEMIA FAURIEI 'ARAPAHO'	CREPE MYRTLE	15 GALLON	LOW
T5	PISTACIA CHINENSIS 'KEITH DAVEY'	CHINESE PISTACHE	15 GALLON	LOW
	VARIES	TURF	EXISTING	HIGH

REVISIONS	DATE

All drawings and written material appearing herein constitute the original and unpublished work of the Landscape Architect and the same may not be duplicated, used, or disclosed without the written consent of the Landscape Architect.

**ALPINE LANDSCAPE INC.**



PO BOX 6164  
Chico, California 95927

Landscape Architect #2655  
Contractors License #589920

(530) 893-2620 office  
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PROJECT NAME

**SKYPARK PLAZA**

**FUTURE PAD C**

2485 NOTRE DAME BLVD.  
CHICO CALIFORNIA 95928

SHEET TITLE

**CONCEPTUAL LANDSCAPE PLAN**



DESIGNED BY	SCALE	NOTED
MRH		
CHECKED BY	DATE	
MRH	4/4/18	
SHEET NO		

L of 1

**A/1 PLANT PHOTOS**

SCALE N/A

MAXIMUM APPLIED WATER ALLOWANCE  
 $MAWA = (Eto - Eppt) / (0.62) \times (TLA + 0.3 \times SLA)$   
 where:  
 MAWA = MAXIMUM APPLIED WATER ALLOWANCE  
 Eto = REFERENCE EVAPOTRANSPIRATION 51.70  
 Eppt = EFFECTIVE PRECIPITATION 25% OF ANNUAL RAINFALL 6.50  
 0.62 = CONVERSION FACTOR TO GALLONS PER SQUARE FOOT 0.62  
 0.1 = ET ADJUSTMENT FACTOR 0.1  
 LA = LANDSCAPE AREA INCLUDES SPECIAL LANDSCAPE AREA 4366  
 0.3 = ADDITIONAL ADJUSTMENT FACTOR FOR SLA 0.3  
 SLA = SPECIAL LANDSCAPE AREA 0

MAWA = 65,861 GALLONS PER YEAR

ESTIMATED TOTAL WATER USE  
 $ETNU = (Eto \times 0.62) \times (PF \times HA + IE + SLA)$   
 where:  
 ETNU = ESTIMATED TOTAL WATER USE  
 Eto = REFERENCE EVAPOTRANSPIRATION 51.70  
 PF = PLANT FACTOR 7.846  
 HA = HYDROZONE AREA  
 SLA = SPECIAL LANDSCAPE AREA 0  
 0.62 = CONVERSION FACTOR TO GALLONS PER SQUARE FOOT 0.62  
 IE = IRRIGATION EFFICIENCY 0.15

ETNU = 51,321 GALLONS PER YEAR

PLANT FACTOR	HYDROZONE	WATER USE TYPE	PLANT FACTOR	AREA	PF X AREA
2	LOW		.247	4130	1020
3	MEDIUM		.5	0	0
4	HIGH		.75	436	327
	TOTALS			4566	1347
	SLA			0	0

NOTE: THIS CALCULATION IS FOR ONSITE LANDSCAPE ONLY

**A/5 WATER USE**

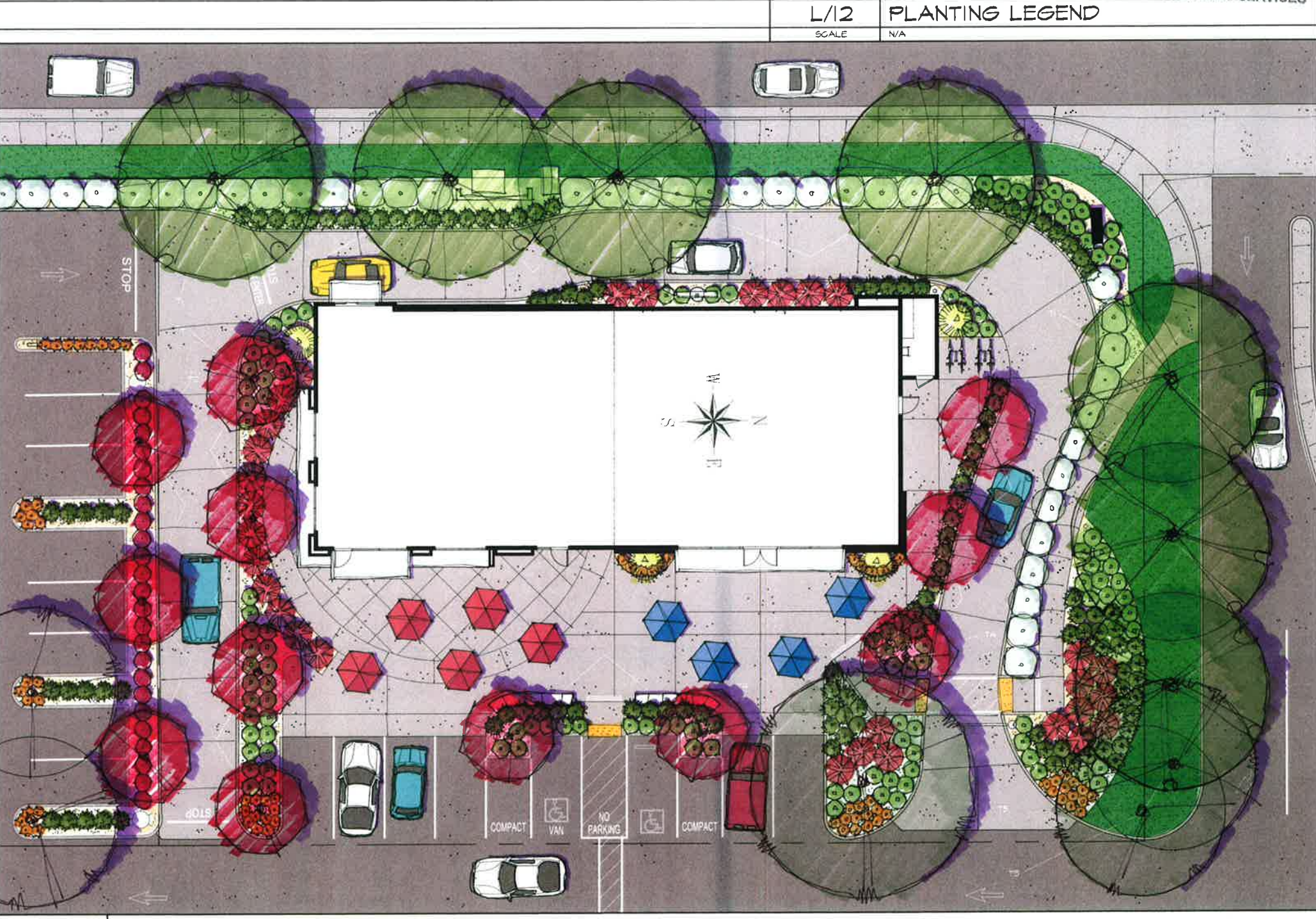
SCALE N/A

SPECIES	% SHADE	QTY	SHADE AREA	TOTALS
CREPE MYRTLE	100%	2	354 SF	354 SF
CREPE MYRTLE	50%	1	177 SF	177 SF
CHINESE PISTACHE	75%	1	400 SF	400 SF
EVERGREEN PEAR	50%	4	480 SF	1920 SF
TOTAL SHADE AREA			4590 SF	
PARKING AREAS			9154 SF	
PARKING LOT SHADE			4590 SF	
TOTAL PARKING LOT AREA			9154 SF	

50% PARKING LOT SHADE

**A/1 PARKING LOT SHADING**

SCALE N/A



**D/1 CONCEPTUAL LANDSCAPE PLAN**

SCALE 1" = 100'