



Architectural Review and
Historic Preservation Board
Agenda Report

Meeting Date 09/20/2017

DATE: September 12, 2017

File: AR 17-30

TO: Architectural Review and Historic Preservation Board

FROM: David Young, Senior Planner, (879-6535, david.young@chicoca.gov)
Community Development Department

RE: Architectural Review 17-30 (Trott, Schroeder, and Wise)
2570 Sierra Sunrise Terrace (APN 018-230-012)

RECOMMENDATION

Staff recommends that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve of the project, subject to conditions.

Proposed Motion:

I move that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve Architectural Review 17-30 (Trott, Schroeder, and Wise), subject to the recommended conditions therein.

BACKGROUND

The applicant proposes to construct a 10,750 square foot, two-story shell building for speculative office and retail uses on the 1.6-acre site. The site is designated Commercial Mixed Use (CMU) on the General Plan Land Use Diagram and located in a Community Commercial (CC) zoning district, located on the southern shore of California Park Lake. The site is surrounded by the lake, office/commercial development, and vacant/undeveloped parcels (see **Attachment A, Location Map**).

The proposed shell building would be Phase II of an existing development that was originally approved by the Architectural and Historic Review Board (ARB) in 2003 (ARB 03-28 - Lands End Real Estate). The initial Phase included the 25,787 square foot building located on the adjacent parcel at 2580 Sierra Sunrise Terrace (APN 018-230-011). Both parcels would share access, parking, and trash/recycling facilities (see **Attachment B**, ARB Site Plan). A 7,050 square foot, two-story shell building on the proposed project parcel was previously approved by the ARB in May of 2006; however, due to economic downturn, the building was never constructed. The project site was hydro-seeded for erosion control and site stability. The applicant has provided a project description that includes a brief history, proposed building program, architectural elements, and a discussion of applicable City of Chico Design Guideline objectives (see **Attachment C**, Project Description).

The proposed project would require 29 parking spaces and three bicycle racks. Both phases combined require a total of 91 parking spaces and 11 bicycle racks/spaces. There are a total of 100 spaces available for both parcels, with five of them being accessible spaces. There are four bicycle spaces serving the adjacent parcel. The proposed project would include two inverted "U-shaped" bicycle racks that would be located near the entrance to provide convenient and easy access to the building entrance.

The building pad is bounded by a retaining wall that was constructed for back-fill and lot leveling. The wall is colored stucco with a masonry cap. The retaining wall is also used as a monument entrance sign for Vista Del Lago. The wall is adjacent to the seawall of California Park Lake and extends along Sierra Sunrise Terrace to the entrance of the site. The wall is five-feet high at the northwestern corner of the site and incrementally steps down in height to two-feet and terminates at the entrance to the site. There is also an existing vinyl-coated cyclone fence on the seawall that would be replaced with project fencing.

The proposed building is a contemporary, 10,750 square foot, two-story building with dominant design elements and a presence that is obvious from Sierra Sunrise Terrace and from vantage points on and around California Park Lake. The building would be 34-feet at its highest point. The roof line would be 27-feet in height. A three-foot parapet would screen roof-mounted mechanical equipment. An architectural parapet would extend to 34-feet at the northwestern corner of the building (see **Attachment D**, Overall Building Concept).

The building's orientation was designed utilizing the elevated site pad and the backdrop of California Park Lake as a natural, uninterrupted vista. Additionally, the structure's orientation allow the building and landscaping to take precedence over the parking lot; thereby, enhancing the building's architectural significance. The pathways are textured and stained concrete to provide visual separation from parking lot and other paved areas. Existing lighting consists of three 14-foot parking lot lights and a street light at the site entrance.

The exterior building materials were selected to harmonize with existing and nearby development as well as reflect the architectural style and overall design concept of the building. The building materials would be a combination of plaster, wood, steel, stone. Exterior elevation materials would include metal siding in "Charcoal", windows frames would be anodized "Medium Bronze" and glazing would be reflective "Bronze", wainscoting and stone work would be "Intaglio" ledgerstone, and stucco/cement plaster would be a combination of coarse finish "Sandstone" for the columns and "Quake" for the cornice and trellis elements (see **Attachment E**, Materials and Color Board).

Design concepts include flat roofs with tall vertical windows and plaster and stone column elements. The building would have a recessed well on the roof to screen the mechanical equipment, wall articulation, entry accents, and elevations with depth and changes in surface materials to add visual interest and perspective (see **Attachment F**, Exterior Elevations). The project would include an outdoor patio area and porch on the second floor overlooking California Park Lake. These features were designed for employee and pedestrian gathering areas and would include seating, landscaping, and decorative scoring on the patio surface. The patio area and porch would provide covered and shaded areas for employees and visitors for breaks, lunch, special events, and meetings. The patio area also provides an open spatial arrangement to the existing building on the adjacent parcel.

The existing parking area and frontage improvements along portions of Sierra Sunrise Terrace were installed (in connection with) ARB 03-28. All on-site trees and landscaping would be retained. Proposed landscaping includes a combination of trees, shrubs, groundcover, and annual color varieties. Total landscaped area for the proposed project site would be approximately 7,342 square feet (see **Attachment G**, Preliminary Landscaping Plan). Recessed soffit lighting would be located at entrances and in eaves and porticos for safety and

security and directed downward. Proposed lighting also includes up-lighting and walkway lighting to enhance the building's architecture.

DISCUSSION

The proposed project incorporates site and building design features that are consistent with General Plan policies and Design Guidelines that would ensure compatibility with existing development around California Park Lake and in the immediate vicinity.

The project is an infill development and incorporates design elements that would maintain the compatibility with existing development and the quality of the area's architectural character (CD-5.3 and LU-4.2). The building's elevations incorporate varied building depths, shadowing, and a change of colors and materials to avoid long, unarticulated elevations and to add visual interest and maintain design continuity throughout (DG 2.2.31, DG 3.25.25, and DG 3.2.321).

The building's entry area is in a recessed column and includes an architectural trellis to create a well-defined entrance (DG 3.2.23). The parapets, trellis and stonework were included as an integral part of the building design and carefully considered on all elevations (DG 2.2.26). The project would include shaded gathering areas for employees and the public for breaks, lunches, and outdoor events (DG 3.1.31 and DG 3.1.32). Additionally, the proposed design promotes pedestrian and bicycle access the bicycle parking near the main entrance for easy and safe access (DG 3.1.34).

Proposed signage would consist of individual, vertically mounted letters that would reflect the building's overall architectural concepts. The signage is of appropriate size and scale so that it does not dominate the front elevation or overall building appearance (DG 1.6.13 and 1.6.14). A condition from the previous approval requires that all signage be indirectly lit and approved by staff. The applicant has indicated that glass or other building materials may be used for the fence to take advantage of California Park Lake views and to match the style of the new building. There are no fencing details available as of the production of this staff report. The fencing will be subject to staff level architectural review and included on building plans.

All mechanical equipment would be located in a roof-well and screened from public and offsite views. As indicated, the building would share trash and recycling facilities with the existing building, which are enclosed in a six-foot, concrete masonry unit wall structure with painted metal doors. The facilities are located near the center of the parking lot and screened from public views (DG 2.1.38). As conditioned, the project's exterior lighting fixtures would minimize energy consumption as they would be equipped with full cut-off features, and minimize glow and glare (DG 1.5.11, 1.5.12, 1.5.15).

An additional project consistency analysis with applicable City's Design Guidelines are included in the project description (see **Attachment C**, Project Description).

RECOMMENDED DISCUSSION ITEMS

Lighting

CMC 19.60.050 requires that all exterior lighting be directed downward and away from adjacent properties and public rights-of-way. A condition of approval was added to ensure that all

exterior lighting be directed downward and away from adjacent properties and public rights-of-way.

REQUIRED FINDINGS FOR APPROVAL

Environmental Review

The project has been determined to be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15332 (In-Fill Development Projects). This exemption applies to infill projects which: are consistent with the general plan and zoning; are on sites less than five acres in size within the City limits; substantially surrounded by urban uses; have no value as habitat for endangered, rare, or threatened species; would not create any significant effects relating to traffic, noise, air quality, or water quality; and can be adequately served by all required utilities and public services.

Architectural Review

According to the Chico Municipal Code Section 19.18.060, the Architectural Review and Historic Preservation Board shall determine whether or not a project adequately meets adopted City standards and design guidelines, based upon the following findings:

1. *The proposed development is consistent with the General Plan, any applicable specific plan, and any applicable neighborhood or area plans.*

The proposed project is Phase II of a development that was approved by the ARB in 2003 (ARB 03-28) and is consistent with the General Plan CMU land use designation. A condition of approval is included to ensure the current project is developed in compliance with the approval of ARB 03-28. There are no other specific or neighborhood plans that are applicable to the site.

2. *The proposed development, including the character, scale, and quality of design are consistent with the purpose/intent of this chapter and any adopted design guidelines.*

The project incorporates a dominant element that is obvious from the street, and provides a clear and unobstructed pedestrian path (DG 2.1.13). Additionally, the project was designed to provide safe pedestrian and bicycle circulation and access to both parcels by delineated pathways and visible changes in texture and or color (DG 2.1.23). As indicated, the project would include an outdoor patio area and porch on the second floor overlooking California Park Lake that would provide covered and shaded areas for employees and visitors for breaks, lunch, special events, and meetings. The patio area provides an open spatial arrangement to the existing building (DG 2.1.35).

3. *The architectural design of structures, including all elevations, materials and colors are visually compatible with surrounding development. Design elements, including screening of equipment, exterior lighting, signs, and awnings, have been incorporated into the project to further ensure its compatibility with the character and uses of adjacent development.*

The project's overall design, and color and materials were carefully selected for compatibility with Phase I of the development and existing development around California Park and in the immediate vicinity.

4. *The location and configuration of structures are compatible with their sites and with surrounding sites and structures, and do not unnecessarily block views from other structures or dominate their surroundings.*

The proposed building is slightly smaller and of similar scale as the existing building and located closer to the street for visual transition and to ensure the proposed project does not block views from key vantage points or dominate its surroundings.

5. *The general landscape design, including the color, location, size, texture, type, and coverage of plant materials, and provisions for irrigation and maintenance, and protection of landscape elements, have been considered to ensure visual relief, to complement structures, and to provide an attractive environment.*

The proposed landscaping plans proposed a variety of trees, shrubs, ground cover and annual color varieties which would enhance and compliment the building architecture and overall site design.

RECOMMENDED CONDITIONS OF APPROVAL

1. The front page of all approved building plans shall note in bold type face that the project shall comply with Architectural Review 17-30 (Trott, Schroeder, and Wise). No building permits related to this approval shall receive final approval without prior authorization of Community Development Department Planning staff.
2. All development shall comply with all other State and local Code provisions, including those of the City of Chico Community Development and Public Works Departments. The permittee is responsible for contacting these offices to verify the need for compliance.
3. All signage must be indirectly lit and approved by planning staff.
4. Eliminate the two additional parking spaces proposed for construction.
5. Any series of adjacent compact stalls in excess of 5 spaces shall have individual stall widths a minimum of 8.5 feet.
6. In accordance with CMC 19.60.050, all exterior lighting shall be directed downward and away from adjacent properties and public rights-of-way.

PUBLIC CONTACT

Public notice requirements were fulfilled by placing a notice on the project site and by posting of the agenda at least 10 days prior to this ARHPB meeting.

DISTRIBUTION

Internal (3)

Mike Sawley, Senior Planner

David Young, Senior Planner

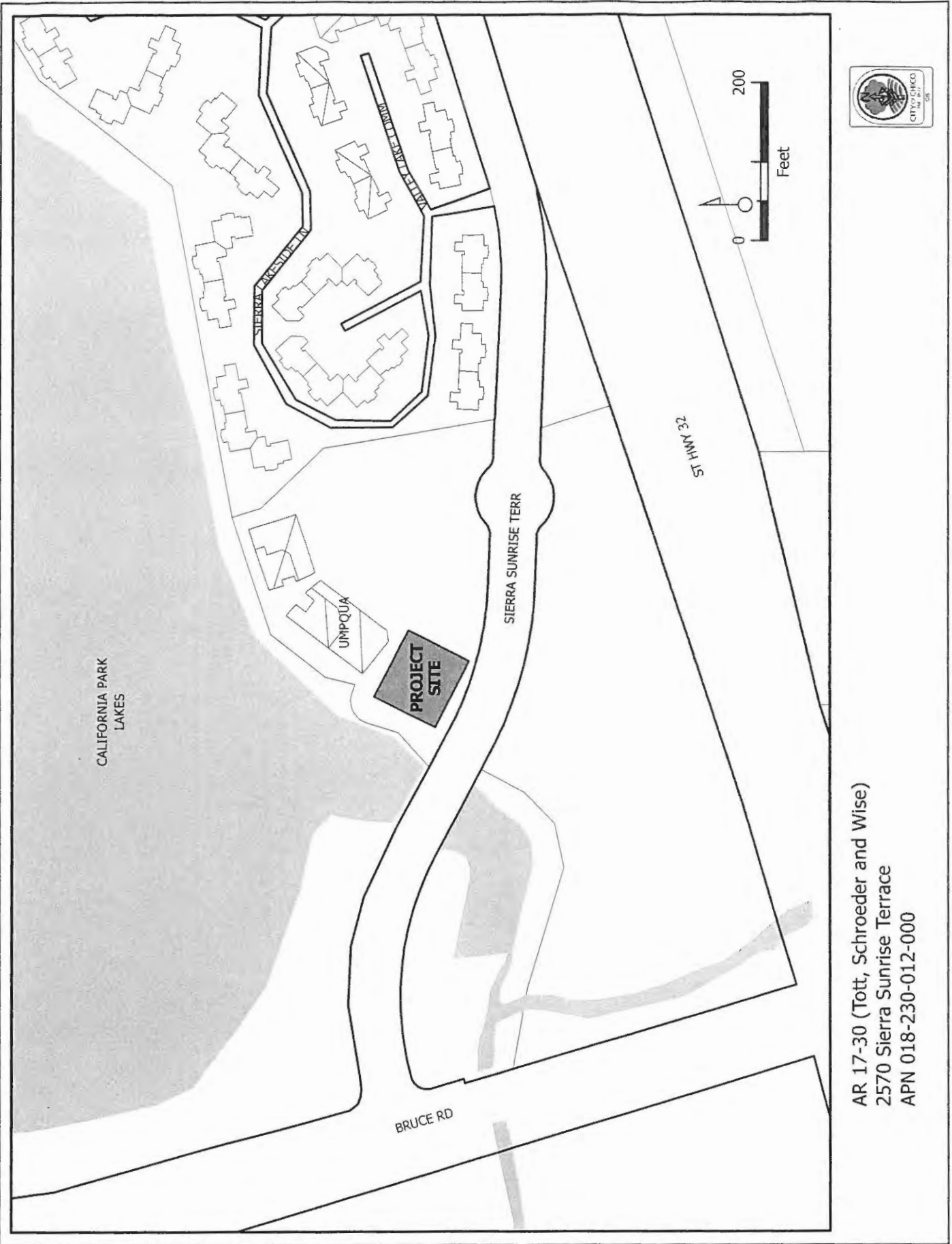
File: AR 17-30

External

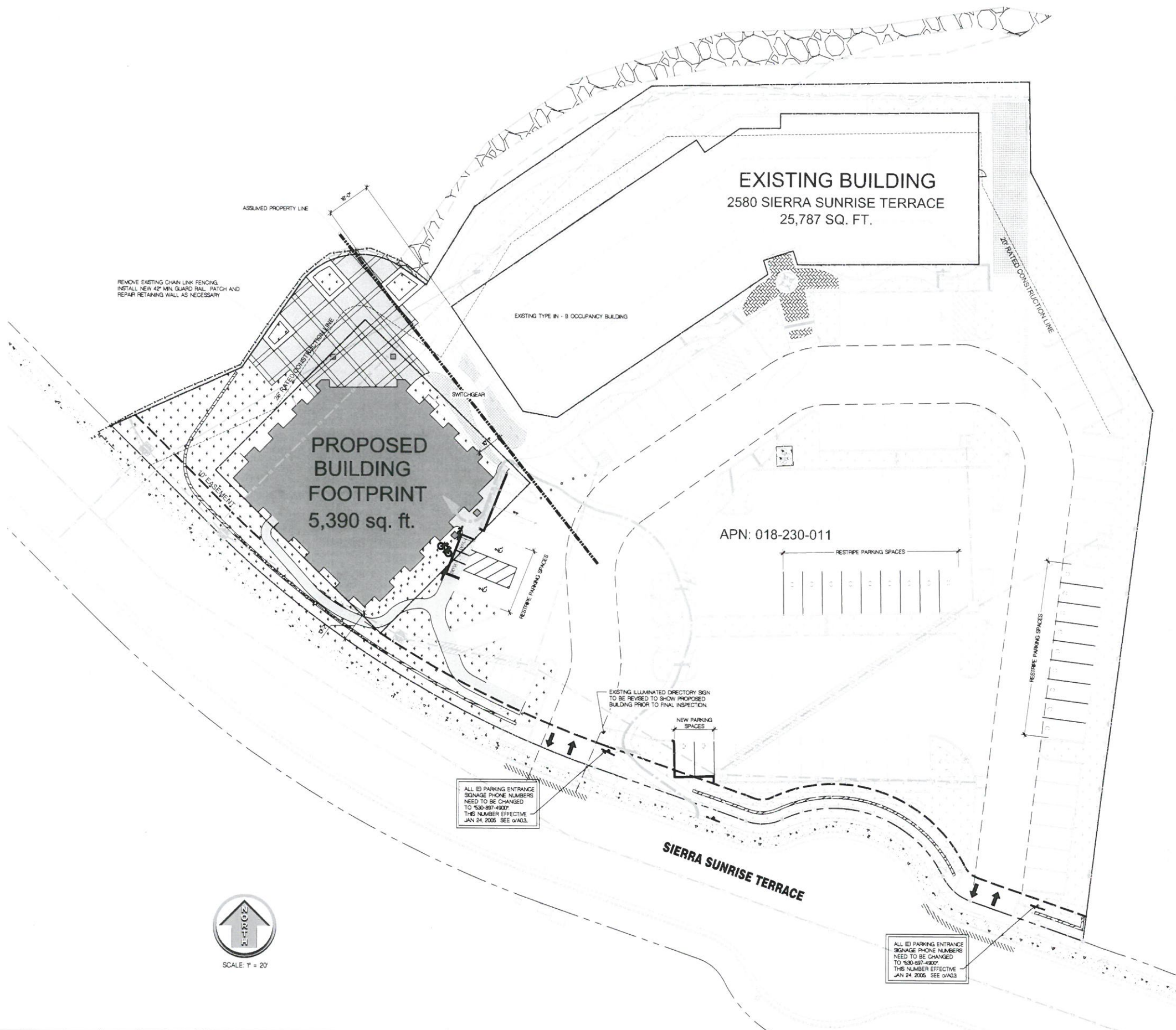
Trott, Schroeder, and Wise, 2105 Forest Avenue, Suite 100, Chico CA 95928

ATTACHMENTS

- A. Location Map
- B. ARB Site Plan
- C. Project Description
- D. Overall Building Concept
- E. Materials and Color Board
- F. Exterior Elevations (2)
- G. Preliminary Landscaping Plan (3)



AR 17-30 (Tott, Schroeder and Wise)
2570 Sierra Sunrise Terrace
APN 018-230-012-000



REMOVE EXISTING CHAIN LINK FENCING
INSTALL NEW 42" MIN. GUARD RAIL, PATCH AND
REPAIR RETAINING WALL AS NECESSARY

ASSUMED PROPERTY LINE

EXISTING BUILDING
2580 SIERRA SUNRISE TERRACE
25,787 SQ. FT.

PROPOSED BUILDING FOOTPRINT
5,390 sq. ft.

EXISTING TYPE IIN - B OCCUPANCY BUILDING

APN: 018-230-011

ALL ID PARKING ENTRANCE
SIGNAGE PHONE NUMBERS
NEED TO BE CHANGED
TO 530-887-4907
THIS NUMBER EFFECTIVE
JAN 24, 2005. SEE 0403.

EXISTING ILLUMINATED DIRECTORY SIGN
TO BE REVISED TO SHOW PROPOSED
BUILDING PRIOR TO FINAL INSPECTION.

NEW PARKING
SPACES

ALL ID PARKING ENTRANCE
SIGNAGE PHONE NUMBERS
NEED TO BE CHANGED
TO 530-887-4907
THIS NUMBER EFFECTIVE
JAN 24, 2005. SEE 0403.

LOT COVERAGE CALCS.

LOT AREA: 71,003 SQ. FT.
NEW BUILDING AREA: 5,390 SQ. FT.
EXIST. BUILDING AREA: 25,787 SQ. FT.
LOT COVERAGE = 44%

BUILDING AREAS

EXISTING 2580 SIERRA SUNRISE TERRACE (PHASE II)

FIRST FLOOR SQUARE FOOTAGE	13,368#
SECOND FLOOR SQUARE FOOTAGE	12,419#
TOTAL BUILDING GROSS SQUARE FOOTAGE	25,787#

PROPOSED 2570 SIERRA SUNRISE TERRACE (PHASE II)

FIRST FLOOR SQUARE FOOTAGE	5,390#
SECOND FLOOR SQUARE FOOTAGE	5,390#
TOTAL BUILDING GROSS SQUARE FOOTAGE	10,780#

PARKING

2580 SIERRA SUNRISE TERRACE (PHASE II)

OFFICE	23,170# OF TOTAL OCCUPABLE SPACE
OFFICE (1 : .375 SQ. FT.)	23,170# ÷ .375 = 62
62 TOTAL SPACES REQUIRED	

2570 SIERRA SUNRISE TERRACE (PHASE II)

ASSUMED OFFICE	10,780# OF TOTAL OCCUPABLE SPACE
OFFICE (1 : .375 SQ. FT.)	10,780# ÷ .375 = 29
29 TOTAL SPACES REQUIRED	

91 TOTAL SPACES REQUIRED

PARKING PROVIDED	
STANDARD STALLS	66
COMPACT STALLS	29 (33 ALLOWED)
ACCESSIBLE STALLS	5
TOTAL SPACES	100

BICYCLE PARKING

2580 SIERRA SUNRISE TERRACE (PHASE II)

OFFICE	23,170# OF TOTAL OCCUPABLE SPACE
OFFICE (10% OF PARKING SPACES)	77 x 10% = 8
8 TOTAL SPACES REQUIRED	

2570 SIERRA SUNRISE TERRACE (PHASE II)

OFFICE	10,780# OF TOTAL OCCUPABLE SPACE
OFFICE (10% OF PARKING SPACES)	29 x 10% = 3
3 TOTAL SPACES REQUIRED	
11 TOTAL BICYCLE SPACES REQUIRED	

- EXISTING RETAINING WALL
- OUTLINE OF PROPOSED BUILDING
- (E) LANDSCAPE TO REMAIN
- NEW LANDSCAPE AREA. SEE LANDSCAPE DRAWINGS.
- NEW CONCRETE SIDEWALK OR PATIO
- EASEMENT OR SETBACK
- PROPERTY LINE
- (E) TRASH ENCLOSURE
- (E) BICYCLE PARKING
- INDICATES ACCESSIBLE ROUTE TO PUBLIC RIGHT OF WAY
- (E) FIRE HYDRANT
- (E) LIGHT STANDARD





RECEIVED

JUN 06 2017

CITY OF CHICO
PLANNING SERVICES

May 22, 2017

Planning Reviewer
City of Chico Planning Department
P.O. Box 3420
Chico, Ca. 95924

RE: **Trott, Schroeder, and Wise Building Shell**
2570 Sierra Sunrise Terrace
Chico CA 95928
APN: 018-230-012

Dear Reviewer,

It is with pleasure that I take this opportunity to provide you the following overview of the new 10,750 square foot, 2-story shell building for speculative office and retail uses to be constructed on parcel 018-230-012, fronting the South shore of California Park Lake. Where appropriate, the following narrative references the City of Chico Design Guidelines.

Brief History

The design of a 7,050 square foot 2-story shell building on this parcel (in the CC Community Commercial zoning district) was previously proposed and approved by the Architectural Review Board back in May of 2006. That structure was never built. After the recession, the parcel was listed for sale. The property was purchased and we proposal a new design for your approval.

Building Program

The proposed shell building will provide space for speculative offices and/or retail use. The proposed building is designed to complement the existing 2-story office building on the adjacent North parcel, with direct pedestrian and visual connection from the common walkway between the two buildings. The existing vehicle access is from Sierra Sunrise Terrace. The main building access faces East and is oriented toward the existing parking lot. The parking lot for this parcel was designed and approved under a previous permit.

(530) 342-0302

115 Meyers Street Suite 110
Chico California 95928
www.rgachico.com

(530) 342-1881

ATTACHMENT C

Proposed Architectural Elements

The design and use of building materials (plaster, stone, wood and steel) were selected to harmonize with the surrounding buildings as well to reflect the architecture style. The architectural style includes elements such as flat roofs, tall vertical windows (often floor-to-ceiling), tall plaster and stone column elements, exterior plaster wall finishes and typically include elements such as wood trellis features.

Applicable City of Chico Design Guidelines Objectives

DG 1.1.13-Reinforce a pedestrian-friendly environment regarding building placement and orientation.

The placement of the main entrance, rear patio and sidewalks create easy connection for existing and future buildings in the complex.

DG 1.2.22-Utilize rooflines to add character and style to a building, reinforcing its sense of place.

The proposed building demonstrates roof elements at varying heights with a tower feature topped with a decorative wood trellis. Cornice trims are also included to add interest with trellis features to define entries.

DG 1.3.78, 3.2.27-Conceal roof mounted mechanical equipment from street view.

The mechanical units are hidden within roof wells.

DG 1.3.80- Paint rain water drains to match the adjoining surface color unless their different coloring is integral to the façade design.

Gutters and downspouts are hidden within the exterior wall columns. Any point where they are visible, they are painted to match wall the color.

DG 1.5.11- Clearly light entrances and eaves of portions for ease of access, safety, and security.

Each entrance a two wall sconce light fixtures. Additional sconce lighting is provided to accent landscaping and light pathways.

DG 1.6.11 and 14- Enhance a projects identity, while protecting the character of business areas, streetscapes, and vistas.

The proposed building signage will be a part of the existing directory signage located at the street entrance.

DG 1.7.1- Consider solar orientation early in the design process of new roads, driveways and buildings.

The drive aisle and parking lot for this project was already installed leaving little options for rotating the building design. Designed within the project are energy efficient window glazing, light colored plaster, and a light colored roofing material.

DG3.1.34- Bicycle parking is located close to main entrances.

The bicycle parking for this building is located near the main entrance.

DG 3.1.35- Screen and buffer trash enclosures, and utility services from public views.

Trash enclosure was installed previously under a separate permit. The enclosure is enclosed by split-face CMU block walls. The existing transformer is located next to the trash enclosure and is screened in the same manner. Electrical switchgear is located on the North side of the building, away from the main entrance and is screened with landscaping.

DG 3.2.21- Design Concept

The owner wanted a modern architectural style without looking industrial or sterile. A Modern style was therefore incorporated as it provides a modern shape and form while using more organic colors and materials of plaster, stone, and wood. This parcel presented a unique set of challenges as the parking and drive aisle had already been developed and the building pad defined.

DG 3.2.22- Avoid unarticulated elevations and incorporate varied building depth and shadow.

With the use of the building tower, columns, trellis, and awning elements, we have been able to give the building both depth and shadowing. Cornice elements were added above the columns and splayed soffits over the tall windows which add additional depth and character.

DG 3.2.23- Design and locate building entries to create a sense of focus so people may easily find the entrance.

The main public entrance is on the East side of the building and faces the parking lot. This entrance is covered by a large trellis style awning which draws focus to the entrance. The rear entrance faces the Lake and is covered by a 476 square foot Balcony supported by stone columns.

DG 3.2.25- Avoid continuous flat roofs with monotonous cornices or parapets.

This building contains 3 roof heights. The parapet walls are broken up by the tower element and side columns. The cornices cap off the top of the side columns only and are not continuous or monotonous.

DG 3.2.31 and 33- Include variations in the depth of surfaces or changes in surface materials to provide visual interest to walls. Express continuity throughout all elevations.

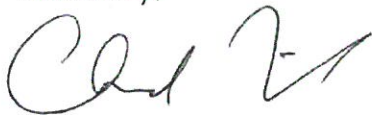
Through the use of plaster, stone veneer, wood, vertical glazing surfaces, high windows, and incorporating multiple architectural techniques such as columns, plaster joints, and tower features, every elevation of this building has visual interest.

DG3.2.32 and 44- Select building colors and accent materials from a rich palette.

The palette is primarily owner driven with the desire to use organic materials such as stone, plaster and wood. This coupled with a need to complement the neighboring buildings drove decisions that formulated the presented palette.

Thank-you for your thoughtful consideration.

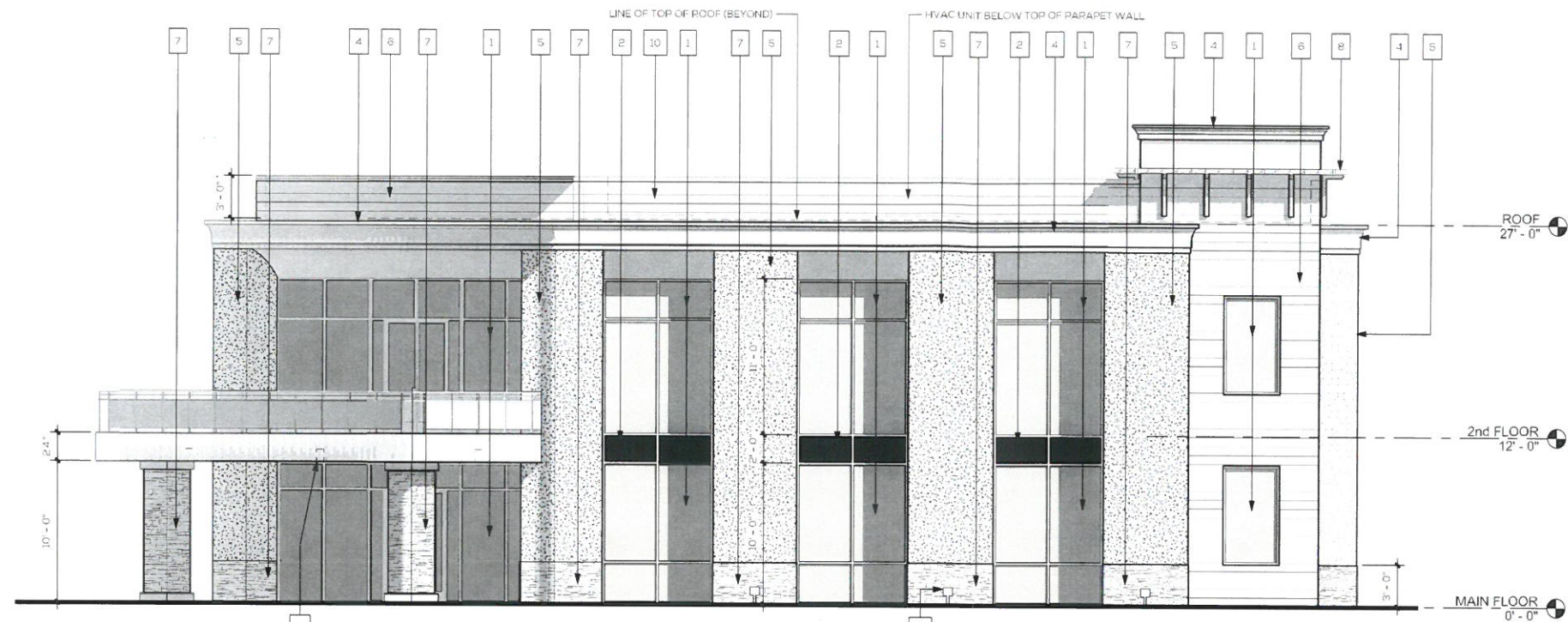
Sincerely,

A handwritten signature in black ink, appearing to read 'Chad Finch', written in a cursive style.

Chad Finch
Russell Gallaway Associates, Inc.



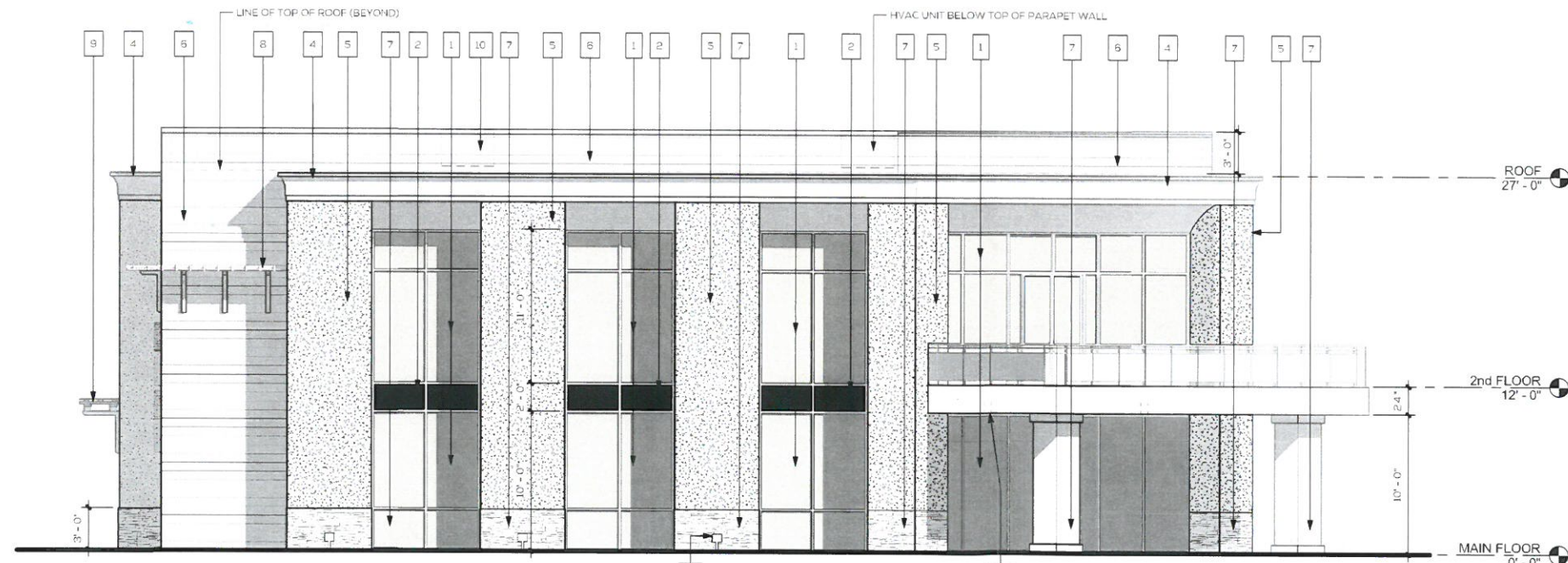
Attachment E
(Color/Materials Board)
will be available at the
Architectural Review
and Historic
Preservation Board
meeting.



WEST ELEVATION

KEYNOTES

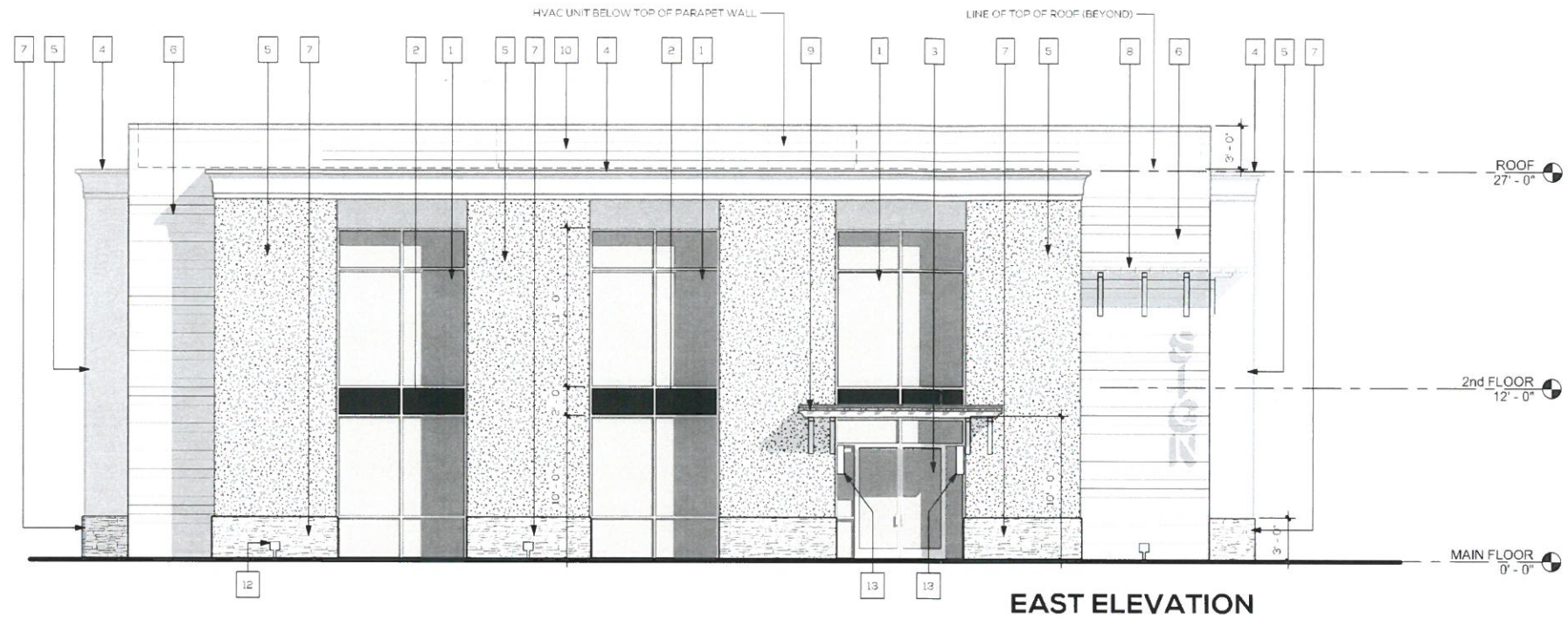
- 1 KAWNEER TRIFAB 451 ALUMINUM STOREFRONT WINDOWS
- 2 SPANDREL GLASS HIGH PERFORMANCE COATINGS BY OPAQI-COAT
- 3 KAWNEER ALUMINUM STOREFRONT DOOR
- 4 CAPSON COATINGS PLASTER CORNICE
- 5 PLASTER COLOR 1 - SEE PLASTER SYSTEM BELOW
- 6 PLASTER COLOR 2 - SEE PLASTER SYSTEM BELOW
- 7 PRE-CAST STONE VENEER BY CULTURE STONE
- 8 DECORATIVE WOOD TRELLIS
- 9 DECORATIVE WOOD AWNING
- 10 HVAC UNIT IN PARAPET ROOF WELL (BEYOND)
- 11 RECESSED CAN LIGHTING FIXTURES IN SOFFIT
- 12 BUILDING PERIMETER UP-LIGHTING FIXTURES
- 13 SCONCE LIGHTING FIXTURES AT BUILDING ENTRANCE



NORTH ELEVATION

ATTACHMENT F

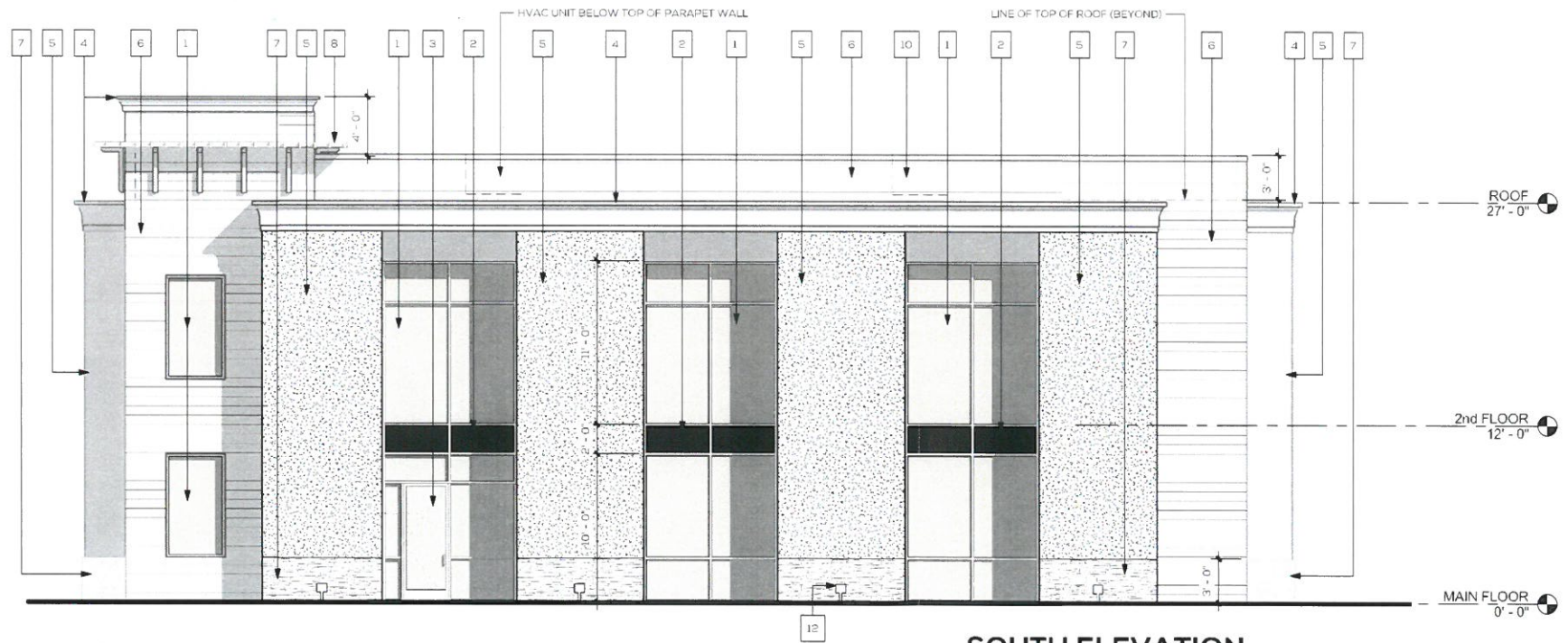
SCALE 3/16" = 1'-0"



EAST ELEVATION

KEYNOTES

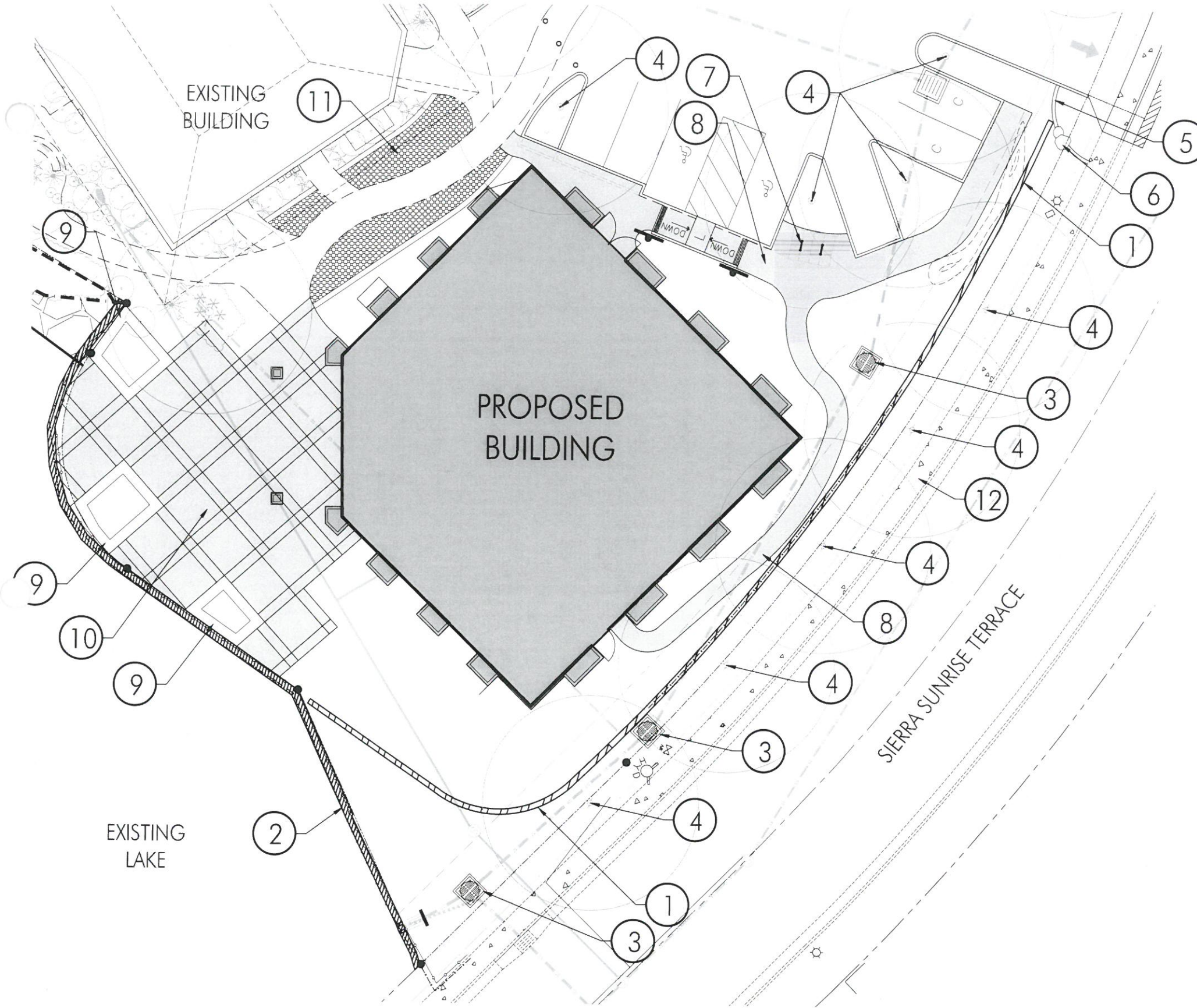
- 1 KAWNEER TRIFAB 451 ALUMINUM STOREFRONT WINDOWS
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- 13 SCONCE LIGHTING FIXTURES AT BUILDING ENTRANCE



SOUTH ELEVATION

ATTACHMENT F

SCALE: 3/16" = 1'-0"



PLAN LEGEND

SYMBOL	DESCRIPTION
①	EXISTING RETAINING WALL
②	EXISTING "SEAWALL"
③	DRAIN INLET
④	EXISTING TREE, TO REMAIN
⑤	CONCRETE MOW BAND
⑥	30"-36" DIAMETER, MOSS AND LICHEN COVERED FIELDSTONE BOULDER
⑦	BICYCLE RACK (2 BIKE CAPACITY). 2, INVERTED "U" STYLE RACKS
⑧	SIDEWALK (BY OTHERS)
⑨	RAISED PLANTERS. MATCH BUILDING FACADE MATERIALS.
⑩	CONCRETE PATIO WITH DECORATIVE SCORING
⑪	EXISTING GRASS CELL PAVERS. TO REMAIN.
⑫	EXISTING CITY SIDEWALK. TO REMAIN.

SEE PAGES 2 AND 3 FOR ADDITIONAL INFORMATION

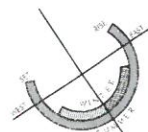
SIERRA SUNRISE BUILDING 2 (PAGE 1 OF 3)

PRELIMINARY LANDSCAPE PLAN

Prepared for:

RUSSELL, GALLAWAY ASSOCIATES, INC.

11 MEYERS STREET, SUITE 110
CHICO, CALIFORNIA 95928



SOLAR INFLUENCE



BAR SCALE



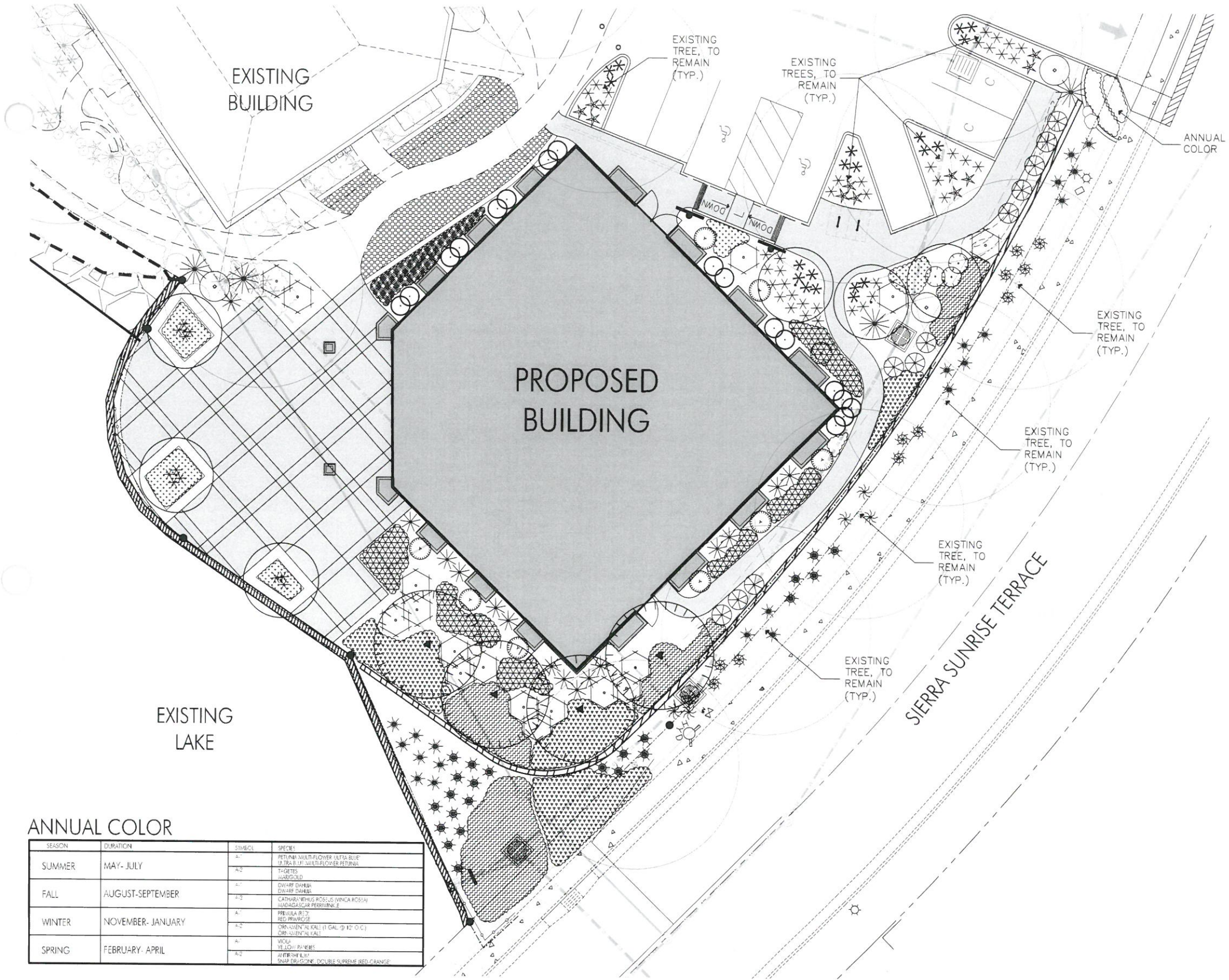
SCALE: 1" = 10'-0"

ATTACHMENT "G"

DATE: 3-23-17
PROJECT NUMBER: 1981
DRAWN: JBB

Prepared by:

BRIAN FIRTH LANDSCAPE ARCHITECT, INC.
627 BROADWAY, SUITE 220, CHICO, CALIFORNIA 95928
PHONE: (530) 899-1130 / FAX: (530) 899-1920
www.BFLAdesign.com www.facebook.com/BFLAdesign



PLANT LIST

SYMBOL	LATIN NAME/ COMMON NAME	QUANTITY	CONTAINER SIZE	REMARKS
TREES				
	PIRUS CANADENSIS CANARY ISLAND PINE	4	15 GAL	
	LAGERSTROEMIA INDICA TUSCARORA CRAB MYRTLE	6	15 GAL	
SHRUBS				
	CISTUS X PURPUREUS PURPLE ROCK ROSE	17	5 GAL	
	PODOCARPUS MACROPHYLLUS MAUI SHRUBBY YEW PINE	9	5 GAL	
	RHAPHIOLEPIDUM BALLERINA INDIAN HAWTHORN	17	5 GAL	
	DIETES BICOLOR FORTNIGHT LILY	15	5 GAL	
	AGAPANTHUS AFRICANUS LILY OF THE Nile	50	1 GAL	
	PHORNIUM TENAX JACK SPRATT NEW ZEALAND FLAX	11	1 GAL	
	HEMEROCALLIS EVERGREEN DAYLILY	20	1 GAL	
	ARCTOSTAPHYLOS HOWARD NUMBER HAWAII IAWANAHITA	3	5 GAL	
	LAVENDULA INTERMEDIATA GROSSO LAVENDER	3	1 GAL	
	JAUNLEBERGIA DEER GRASS	4	1 GAL	
	PENNISETUM SETACEUM RED FOUNTAIN GRASS	23	1 GAL	
	DESCHAMPSIA HAIR GRASS	6	1 GAL	
	CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER FEATHER REED GRASS	21	1 GAL	
	MISCANTHUS ZEBRA GRASS	23	1 GAL	
	CAREX BLUE SEDGE	11	1 GAL	
GROUND COVER				
	VINCA MINOR BOYLE'S DWARF PERIWINKLE	PER AREA	1 GAL	PLANT @ 36" O.C.
	GAZANIA YELLOW FLOWERING, CLUMBRIG GAZANIA	PER AREA	1 GAL	PLANT @ 24" O.C.
	ARCTOSTAPHYLOS "LUA UPI" KIWIKIWINE	PER AREA	1 GAL	PLANT @ 8" O.C.
	ROSMARINUS OFFICINALIS PROSTRATE ROSEMARY	PER AREA	1 GAL	PLANT @ 5" O.C.
	ERIGERON SANTA BARBARA DASY	PER AREA	1 GAL	PLANT @ 36" O.C.
ANNUAL COLOR				
	ANNUAL COLOR FOREGROUND	PER AREA	FLATS	PLANT @ 8" O.C. UNLESS OTHERWISE NOTED. SEE ANNUAL COLOR CHART THIS SHEET.
	ANNUAL COLOR BACKGROUND	PER AREA	FLATS	

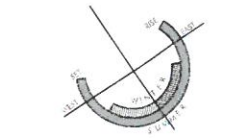
ANNUAL COLOR

SEASON	DURATION	SYMBOL	SPECIES
SUMMER	MAY - JULY	A-1	PETUNIA MULTIFLORA ULTRA BLUE
		A-2	VIOLA SP. MULTIFLOWER PETUNIA
FALL	AUGUST-SEPTEMBER	A-1	DIANTHUS HARDY
		A-2	CATHARTHUS ROSA DWARF DAHIA
WINTER	NOVEMBER - JANUARY	A-1	PERILLA CATHARTHUS ROSA
		A-2	ORNAMENTAL MADAGASCAR PERIWINKLE
SPRING	FEBRUARY - APRIL	A-1	VIOLA RED WINKLE
		A-2	ORNAMENTAL DWARF DAHIA

SIERRA SUNRISE BUILDING 2 (PAGE 2 OF 3)

PRELIMINARY LANDSCAPE PLAN

Prepared for:
RUSSELL, GALLAWAY ASSOCIATES, INC.
 11 MEYERS STREET, SUITE 110
 CHICO, CALIFORNIA 95928



SOLAR INFLUENCE



BAR SCALE



SCALE: 1" = 10'-0"

ATTACHMENT "G"

DATE: 3-23-17
 PROJECT NUMBER: 1981
 DRAWN: JBB
 Prepared by:
BRIAN FIRTH LANDSCAPE ARCHITECT, INC.
 627 BROADWAY, SUITE 220, CHICO, CALIFORNIA 95928
 PHONE: (530) 899-1130 / FAX: (530) 899-1920
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LANDSCAPE IRRIGATION

TOTAL LANDSCAPED AREA IS 7,342 SF AND IS HYDROZONED AS MEDIUM WATER USE AND SHALL BE IRRIGATED BY MEANS OF AN AUTOMATICALLY CONTROLLED, LOW VOLUME DRIP IRRIGATION SYSTEM.

USING THE WATER BUDGET CALCULATIONS PER AB 1881 REQUIREMENTS, IT HAS BEEN DETERMINED THAT THE ESTIMATED WATER USE (EWU) OF THE PROPOSED LANDSCAPE IS 144,907 GALLONS PER YEAR AND DOES NOT EXCEED THE MAXIMUM APPLIED WATER ALLOWANCE (MAWA), WHICH IS 182,582 GALLONS PER YEAR.

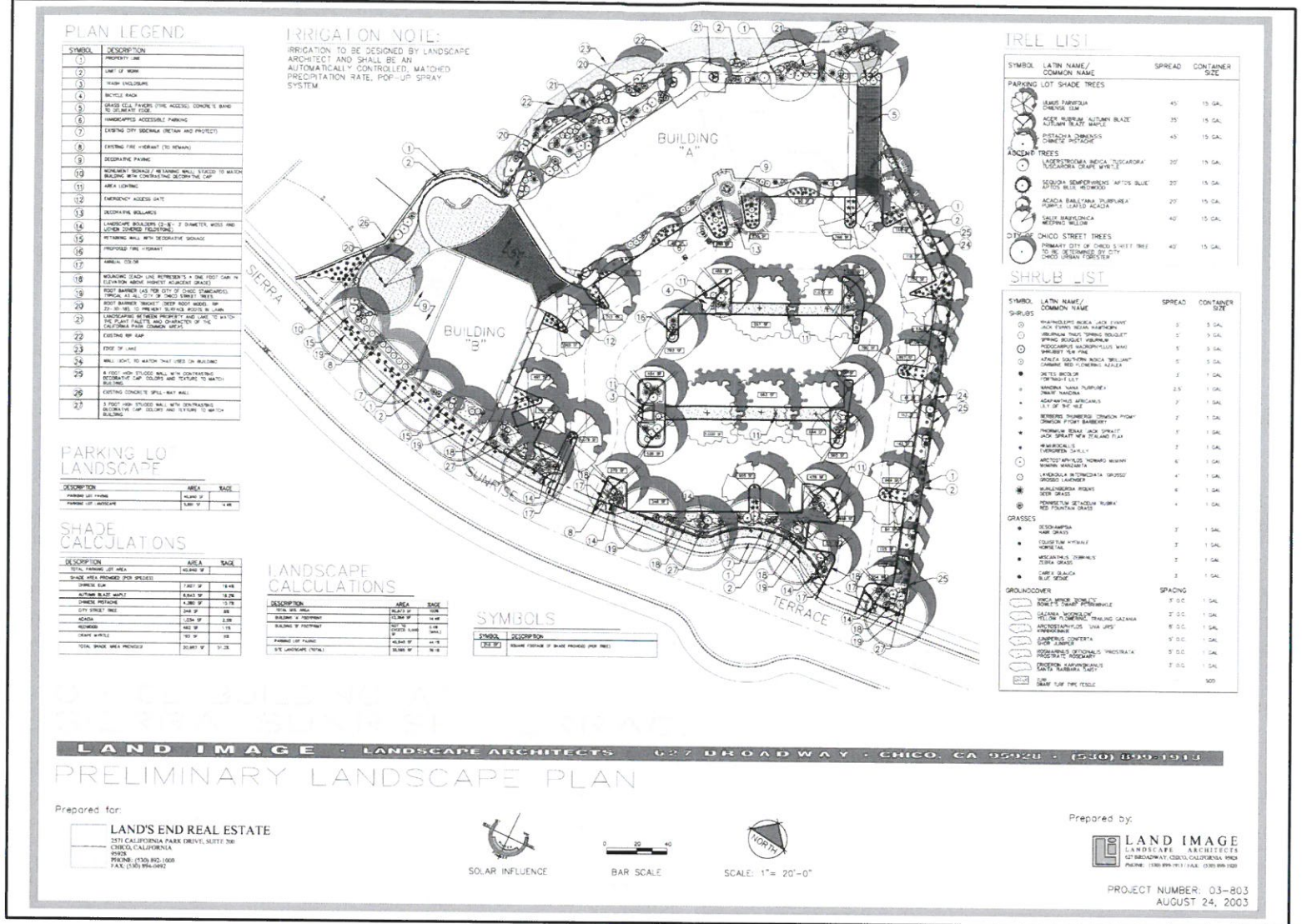
SOILS STATEMENT

STANDARD SOIL AMENDMENTS WILL BE APPLIED IN ACCORDANCE WITH RECOMMENDATIONS BY AN ANALYTICAL SOILS TESTING LABORATORY.

MULCH

A UNIFORM 2" MINIMUM LAYER OF 3/8" DIAMETER CRUSHED ROCK MULCH SHALL BE APPLIED TO ALL LANDSCAPE AREAS EXCEPT WHERE OTHERWISE NOTED.

PARKING LOT LANDSCAPE AND SHADE CALCULATIONS



BICYCLE PARKING



VICINITY MAP



NOTE:
PARKING LOT LANDSCAPE AND SHADE CALCULATIONS WERE PERFORMED IN THE AGGREGATE FOR THE PROJECT SITE IN ITS TOTALITY IN 2003.

SIERRA SUNRISE BUILDING 2 (PAGE 3 OF 3)

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