



Architectural Review and  
Historic Preservation Board  
Agenda Report

Meeting Date 9/20/2017

DATE: August 24, 2017

File: AR 17-15

TO: Architectural Review and Historic Preservation Board

FROM: Shannon Costa, Assistant Planner, (879-6807, shannon.costa@chicoca.gov)  
Community Development Department

RE: Architectural Review 17-15 (Chico Nissan Remodel) – 575 Manzanita Avenue,  
(APN 007-270-036, portion)

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**RECOMMENDATION**

Staff recommends that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve of the project, subject to conditions.

Proposed Motion:

I move that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve Architectural Review 17-15 (Chico Nissan Remodel), subject to the recommended conditions therein.

**BACKGROUND**

The proposal involves the construction of a new sales building and two service canopies at the Chico Nissan Hyundai dealership located at 575 Manzanita Avenue. The site is designated Regional Commercial on the City of Chico General Plan Land Use Diagram, and zoned CR-AOD (Regional Commercial with Aircraft Operations Zone D overlay) (see **Attachment A**, Location Map). The site is also located within the North Valley Plaza Opportunity Site, which has been identified in the General Plan as a Regional Center Opportunity Site.

The proposed project involves three main components, including the demolition and reconstruction of the existing sales building, new service area canopy and new car wash area canopy. Other site improvements, including minor landscaping, bicycle parking and updated paint color are also proposed (see **Attachment B**, Overall Site Plan, **Attachment C**, Aerial View and **Attachment D**, Project Description).

The new sales building would be 5,800-square-feet in size and 24 feet in height. The building's exterior would feature charcoal and silver aluminum composite panels and gray storefront glazing. The existing service and parts building would be painted gray to compliment the proposed structure. A centralized pop-out on the north elevation would be red and feature the Nissan brand logo (see **Attachment E**, Exterior Elevations Sales Building and **Attachment F**, Manzanita View South).

A new 18-foot-tall, 1,700 square-foot service canopy is proposed on the Manzanita Avenue side of the building as an addition to the existing service and parts center. The canopy would feature silver aluminum composite material with gray posts (see **Attachment G**, Exterior Elevations Service Canopy and **Attachment H** Manzanita View North). A new 546-square-foot canopy over the carwash station on the south side of the building would be 10 feet in height and feature grey steel tube columns (see **Attachment I**, Detailing Car Wash Elevations and

**Attachment J**, Color Board).

New landscaping is proposed in the existing customer parking areas, including six new shade trees and various plants and groundcover in existing planters. Customer parking lot shade is estimated to reach 50 percent at full maturity with four Japanese zelkova providing most of the shade (see **Attachment K**, Landscape Improvement Plans). Artificial turf is proposed around the perimeter of the existing vehicle sales lot. The site plan and renderings indicate a 25-foot-tall monument sign on the west side of the site, along Cohasset Road, and various directional signs throughout the site. One ground-mounted business identification sign not exceeding 20 feet in height is permitted per automobile dealership, pursuant to Chico Municipal Code (CMC) section 19.74. A recommended condition approval would require that the details of all signage to be reviewed under a separate permit to verify compliance with CMC 19.74.

A new coil-style bicycle parking rack is proposed near the front entry of the sales building that can support four bicycles (see **Attachment L**, Bike Rack Specifications). Two new concrete, elevated vehicle display pads are proposed on the north and south ends of the Cohasset Road frontage, replacing the existing metal framed display ramps. New 14-foot-high light poles are proposed throughout the site. Wall-mounted lights are proposed around the building's exterior at a height of 14 feet (see **Attachment M**, Lighting Specifications and **Attachment N**, Photo Metric Plan). A new split-faced concrete block trash enclosure is proposed on the southern portion of the site. Conditions of approval would require that the enclosure is painted to match the main building and that vines are planted around the base of the enclosure to further buffer its appearance. Roof-mounted HVAC systems would be screened from view by a parapet wall.

## **DISCUSSION**

The proposal is consistent with several General Plan policies, including those that encourage compatible infill redevelopment and revitalization of existing corridors (LU-4.2, LU-4.4, CD-2 and ED-3), as the materials and colors are compatible with other existing commercial uses located along the same corridor. The proposed design promotes pedestrian and bicycle access by directly engaging the public sidewalk and providing safe bike parking consistent with policies CD-3.2 and CD-3.3. The use of artificial turf and updated landscaping within the vehicle display and customer parking lot would reduce water needs, consistent with General Plan goals that promote drought tolerant landscaping (SUS- 4.2). The project is also consistent with goals and policies to enhance Chico's long-term prosperity (ED-1), and ensure that regulations and permitting processes for the conduct of commerce do not unreasonably inhibit local business activity (ED-1.3).

The project is consistent with Design Guidelines (DGs) that call for commercial buildings to choose building colors from a rich color palette that enhance the streetscape (DG 3.2.32). The red pop-out featuring the Nissan brand logo creates a dominant design element and sense of focus to more easily find the building entrance (DG 2.2.23). Updates to the existing building carries the architectural theme throughout all four elevations to achieve continuity (DG 2.2.33). Roof-mounted HVAC systems and the trash enclosure are hidden from view by appropriate screening methods (DG 2.2.27, 3.2.27 and 2.1.36). Further analysis with the City's Design Guidelines Manual is provided in the project description (**Attachment D**).

Overall, the project provides revitalization along a main corridor, compatible with those of other new or recently updated businesses along the same corridor (Buffalo Wild Wings, Wendy's, Dutch Bros., and Mad Dash Pizza).

## **REQUIRED FINDINGS FOR APPROVAL**

### Environmental Review

The project has been determined to be categorically exempt under CMC Section 1.40.220 and pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15302 (Replacement or Reconstruction). Consistent with this exemption, the project is: the replacement of a commercial structure with a new structure of substantially the same size, purpose and capacity.

### Architectural Review

According to the Chico Municipal Code Section 19.18.060, the Architectural Review and Historic Preservation Board shall determine whether or not a project adequately meets adopted City standards and design guidelines, based upon the following findings:

1. *The proposed development is consistent with the General Plan, any applicable specific plan, and any applicable neighborhood or area plans.*

The proposal is consistent with several General Plan goals and policies to enhance corridors that represent transitions and connections throughout the community and revitalize opportunity sites (CD-2, CD-2.3 and LU-5.1). The use of artificial turf and updated landscaping within the vehicle display and customer parking lot would reduce water needs, consistent with General Plan goals that promote drought tolerant landscaping (SUS- 4.2). The project is not within a neighborhood plan.

2. *The proposed development, including the character, scale, and quality of design are consistent with the purpose/intent of this chapter and any adopted design guidelines.*

The building is of a mass and scale that would not overwhelm the surrounding neighborhood (DG 1.2.13). The proposed materials are rich and interesting, consistent with DGs 3.2.32, 3.2.31, and 3.2. The red pop-out featuring the Nissan brand logo creates a dominant design element and sense of focus to more easily find the building entrance (DG 2.2.23).

3. *The architectural design of structures, including all elevations, materials and colors are visually compatible with surrounding development. Design elements, including screening of equipment, exterior lighting, signs, and awnings, have been incorporated into the project to further ensure its compatibility with the character and uses of adjacent development.*

The proposal involves the reconstruction and revitalization of an existing commercial building that has compatibly existed in the neighborhood for many years. The materials and colors are compatible with those of other new or recently updated businesses along the same corridor (Buffalo Wild Wings, Wendy's, Mad Dash Pizza and Dutch Bros.). Exterior equipment will be properly screened from view by roof parapets.

4. *The location and configuration of structures are compatible with their sites and with surrounding sites and structures, and do not unnecessarily block views from other structures or dominate their surroundings.*

The project involves the reconstruction of an existing building that is compatible with the site and surrounding structures. The proposed building is of a size and scale that would not overwhelm the surrounding neighborhood, unnecessarily block views or dominate its surroundings.

5. *The general landscape design, including the color, location, size, texture, type, and coverage of plant materials, and provisions for irrigation and maintenance, and protection of landscape elements, have been considered to ensure visual relief, to complement structures, and to provide an attractive environment.*

The project provides updated landscaping and parking lot shade trees to a site where minimal landscaping currently exists. Plant species were selected for their drought-tolerant qualities and color variations and are placed on the site so they will ensure visual relief and provide an attractive environment along the street frontage.

#### **RECOMMENDED CONDITIONS OF APPROVAL**

1. The front page of all approved building plans shall note in bold type face that the project shall comply with Architectural Review 17-15 (Chico Nissan Remodel). No building permits related to this approval shall receive final approval without prior authorization of Community Development Department Planning staff.
2. All development shall comply with all other State and local Code provisions, including those of the City of Chico Community Development and Public Works Departments. The permittee is responsible for contacting these offices to verify the need for compliance.
3. All proposed signage shall be reviewed under a separate permit and in compliance with Chico Municipal Code 19.74.
4. The trash enclosure shall be painted to match the main building and landscaping, including vines, shall be planted at the base of the structure.

#### **PUBLIC CONTACT**

Public notice requirements were fulfilled by placing a notice on the project site and by posting of the agenda at least 10 days prior to this ARHPB meeting.

#### **DISTRIBUTION**

##### Internal (3)

Mike Sawley, Senior Planner  
Shanon Costa, Assistant Planner  
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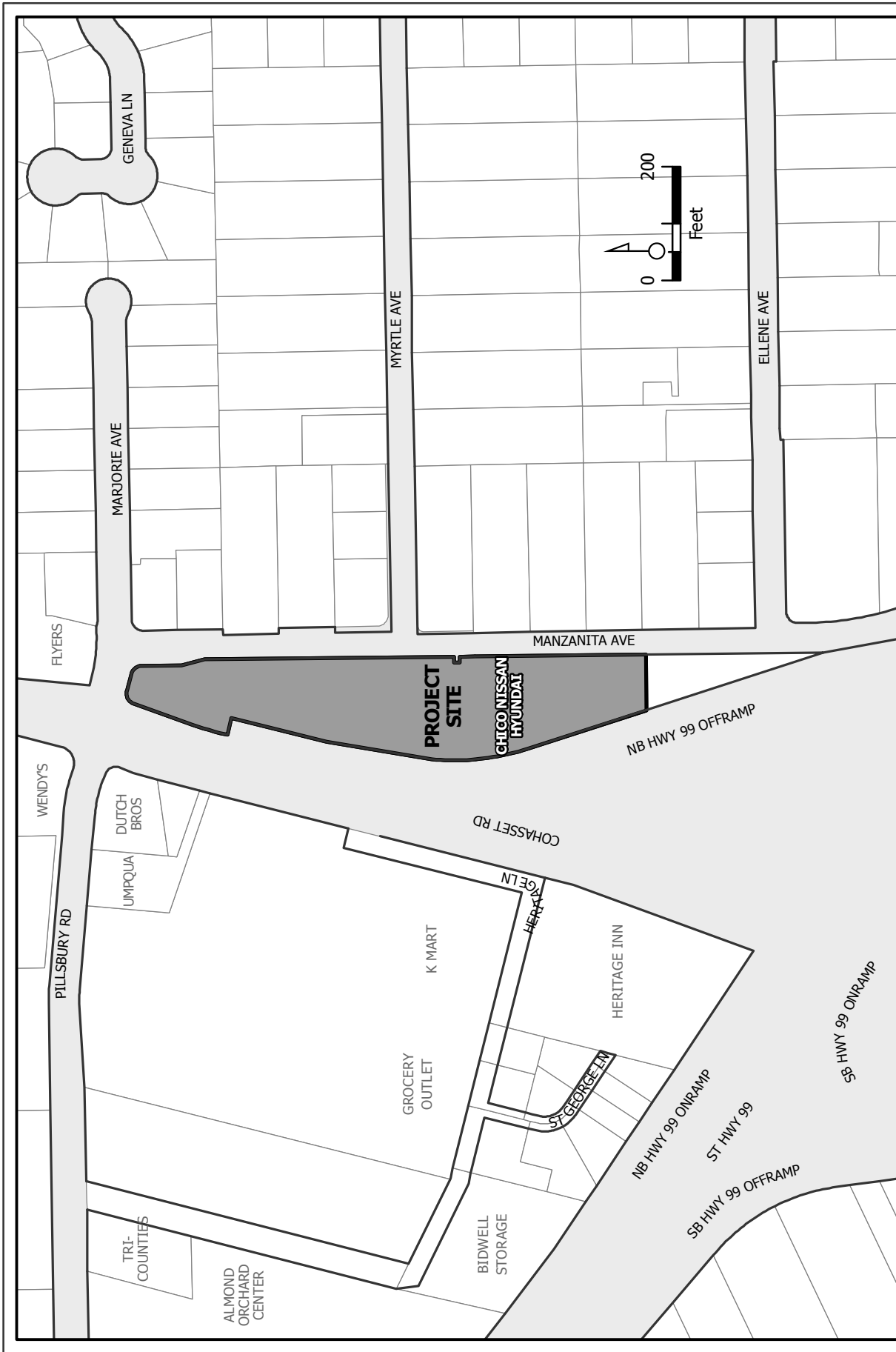
##### External (2)

NorthStar Engineering, Attn: Larry Coffman, 111 Mission Ranch Blvd, suite 100, Chico, CA 95927 (lcoffman@northstareng.com)  
Raymond Bowen, 575 Manzanita Avenue, Chico Ca 95926

(bbowen@chiconissanhyundai.com)

## **ATTACHMENTS**

- A. Location Map
- B. Overall Site Plan
- C. Aerial View
- D. Project Description
- E. Exterior Elevations Sales Building
- F. Manzanita View South
- G. Exterior Elevations Service Canopy
- H. Manzanita View North
- I. Detailing Carwash Elevations
- J. Color Board
- K. Landscape Improvement Plans (2)
- L. Bike Rack Specifications
- M. Lighting Specifications (5)
- N. Photo Metric Plan



AR 17-15 (Chico Nissan)  
 575 Manzanita Avenue  
 APN 007-270-036-000, portion



HIWAY 99 OFF-RAMP

K-MART STORE ON OPPOSITE SIDE OF COHASSET ROAD

SEE SERVICE SITE PLAN

SEE SALES SITE PLAN

A102-AR

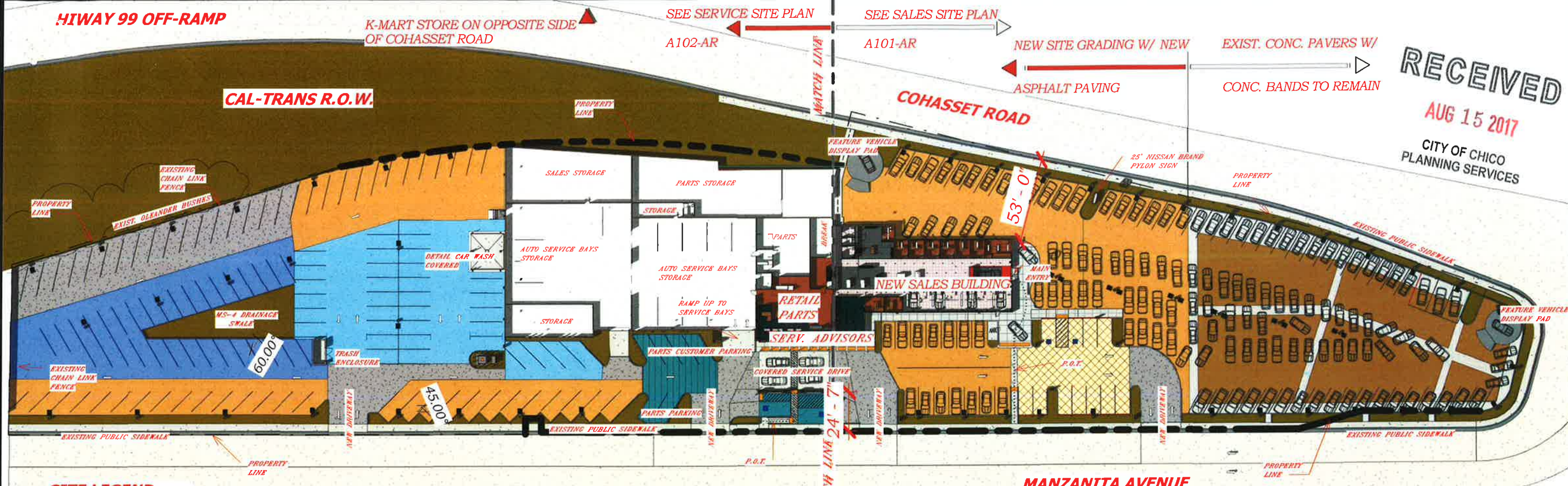
A101-AR

NEW SITE GRADING W/ NEW ASPHALT PAVING

EXIST. CONC. PAVERS W/ CONC. BANDS TO REMAIN

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SITE LEGEND

- EXISTING ASPHALT PAVING - STREETS
EXISTING CONCRETE PAVERS TO REMAIN
NEW ASPHALT PAVING - ON-SITE
NEW ASPHALT PAVING SALES' PARKING
NEW ASPHALT PAVING SALES' DISPLAY PARKING
NEW ASPHALT PAVING PARTS' PARKING
NEW ASPHALT PAVING SERVICE VEHICLES
NEW ASPHALT PAVING PRE-SALES VEHICLES
LANDSCAPING SEE LANDSCAPE DRAWINGS
NEW CONCRETE SIDEWALK

1

ARHPB OVERALL SITE PLAN SM

SCALE: 1" = 60'-0"

- PROPERTY LINE
ACCESSIBLE PATH OF TRAVEL
ELECTRICAL TRANSFORMER
12' - 0" LED POLE MOUNTED LIGHT SET ON 2' HIGH CONC. PEDESTAL SEE CUT SHEET

SITE ANALYSIS

BUILDING AREAS:

NEW SALES BUILDING..... 5,821 S.F.
NEW SERVICES DRIVE ADDITION AND CANOPY..... 1,746 S.F.
EXISTING SERVICE / PARTS BUILDING..... 21,577 S.F.
CAR WASH ROOF.....546 S.F.

SITE COVERAGE SUMMARY:

BUILDING AREA: 29,144 S.F. / 140,685 S.F. = 20.73%
SALES DISPLAY PARKING AREA: 51,325 S.F. / 140,585 S.F. = 36.51%
CUSTOMER SALES PARKING AREA: 3,639 S.F. / 140,585 S.F. = 2.58%
CUSTOMER PARTS PARKING AREA: 1,565 S.F. / 140,585 S.F. = 1.11%
SERVICE CAR HOLDING PARKING: 11,555 S.F. / 140,585 S.F. = 8.22%
LANDSCAPE AREA: 10,074 S.F.

REQUIRED VEHICLE PARKING:

GROSS SALES BUILDING PARKING: 5821 S.F. / 625 S.F./SPACE:.....9.3 SPACES - 11 SPACES PROVIDED
PARTS PARKING: 3,033 S.F. / 375 S.F. / SPACE:.....8.1 SPACES - 8 SPACES PROVIDED
OUTDOOR "DISPLAY - SALES" PARKING:
VEHICLE DISPLAY FOR SALES: 51,325 S.F. / 2500 S.F./SPACE...20.53 SPACES - 35 PROVIDED
TOTAL REQ'D. BUILDING PARKING..... 37.93 SPACES
DISABLED PARKING PROVIDED: SALES - 1 STD DISABLED SPACE AND 1 VAN ACCESSIBLE DISABLED SPACE
SERVICE/PARTS - 1 STD. DISABLED SPACE AND 1 VAN ACCESSIBLE SPACE
BICYCLE PARKING REQUIRED: 5% OF 83.67 = 4.18 > 4 BICYCLE RACK PARKING PROVIDED



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CHICO NISSAN
for 575 MANZANITA
CHICO, CA

Table with project details: Date Issued: 8.15.17 - REV., NS Project No. 13-366, Sheet: OVERALL SITE PLAN, of A100-AR

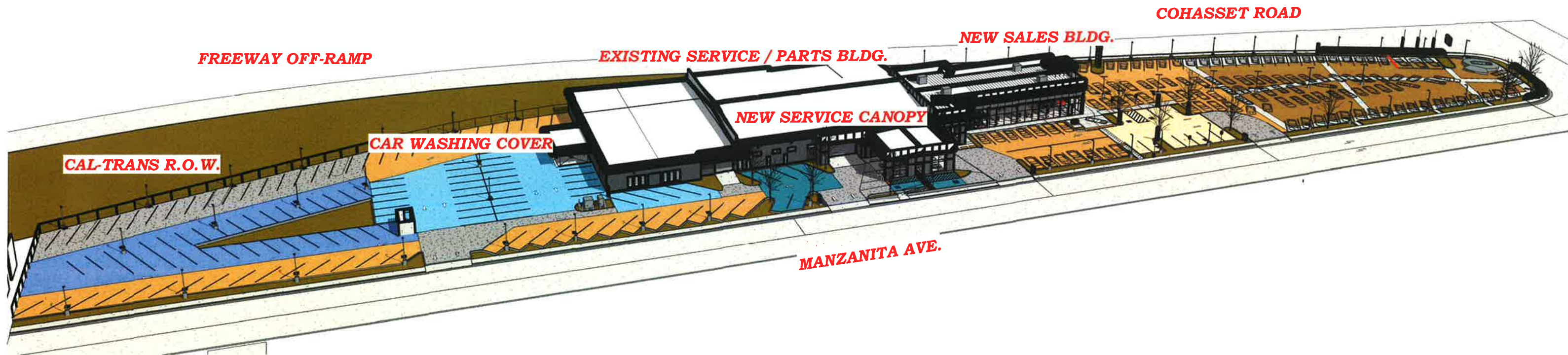
Attachment B



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**1** *AERIAL VIEW - LOOKING WEST SM*  
SCALE:

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**Attachment C**



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### PROJECT NARRATIVE

### CHICO NISSAN ADDITION + REMODEL

The existing Chico Nissan/Hyundai automobile dealership occupies the very linear shaped property bounded by Cohasset Road and Manzanita Avenue. Below is a copy of a Chico ER article, dated June 25, 1965, announcing the completion of "Park Motors' " new Sport Car Center, offering ten different car lines. The facility had both indoor and covered outdoor showrooms. Elements of the current sales and service buildings can be seen in the photo.



Owner Brian Bowen's father, Ray Bowen had the dealership built along Cohasset Road, which was surrounded by orchards for decades. Today, Cohasset Road is a very busy artery in the Chico transportation street network. Development all around this property in the last 52 years has changed

Attachment D

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substantially with K-Mart, fast food franchises, convenience stores, office buildings and multi-family residential uses, displacing the orchards. The property is zoned "CR" Regional Commercial. The site is surrounded by streets on three sides and on the south side by the Cal-Trans right-of-way, including the north-bound off-ramp for Highway 99. There is a small triangular contiguous parcel on the south that is owned by Stott Advertising and leased by Chico Nissan for vehicle storage. Given the separation from other uses, no building set-backs are required.

The current property (140,585 square feet) has 1,480 lineal feet of street frontage, indicative of the long, narrow property.

### SITE DESIGN

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The linear site shape provides opportunities to display both new and used cars to the traffic passing on Cohasset Road and Manzanita Ave. The volume of traffic combined with the merging of traffic from the Highway 99 off-ramp make vehicular site access on the Cohasset Road side unworkable and dangerous. This precipitates having Sales, Service and Parts vehicular traffic access the site along Manzanita Ave.. Four new driveway approaches will be installed on the Manzanita side to fit the revised traffic pattern and will be locked off by post and chains on either side of the driveways.

The new Sales Building and the new Service Drive canopy have been located on the site to facilitate their visual and functional inter-connectedness on the site. Car buyers naturally become service customers via the warranty and maintenance process. Service customers often become car buyers, seeing a new or different car, while they are on site getting their current car serviced. Maybe more importantly this design strengthens the symbiotic internal flow of customers and staff, between sales, service and parts departments.

We are currently pursuing a Use-Permit to reduce the number of sales customer parking spaces required, based on the dealership's volume of sales traffic.

Two new concrete, raised, tilted Feature Vehicle display pads are to be located on either end of the Cohasset frontage.

New Path of Travel routes are provided at two locations for the New Sales Building, leading to Cohasset Road and Manzanita Avenue. A new path of travel is provided to service the Service/Parts building, leading to Manzanita, which requires a ramp up to a pathway that passes through the New Service Drive Canopy. A bike rack is located along the path of travel adjacent to the main sales entry per DG 2.1.23.

The north end of the site (+/-200 linear ft.) is currently a portion of sales vehicle display lot, paved with concrete banded concrete pavers. This paving will remain in place. The current freestanding canopy roof in this area will be removed.

South of the above described display lot, the site will be re-graded, paved, with new drainage around the new Sales Building, new Service Drive Canopy, the existing Service/Parts building to the south end of the property. The new drainage will be collected and piped to a new MS-4 detention facility in the center of the south vehicle holding area, then introduced into the City Storm Drain system.

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A new freestanding roof with steel tube columns is being added adjacent to the south end of the existing Service/Parts building for car washing.

Employee parking is located in the southwest corner of the “Service Site”, where an existing Oleander screen is in place within the Cal-Trans right-of-way.

The full site will have new LED lighting. Light poles will be 12 feet tall, set on 2 foot high round concrete pedestals. All lighting will be directed onto the site and are cut-off type fixtures. Included in our package in a photometric plan showing lighting levels all around the site. The frontage car display light levels vary from 50 fc to 70 fc and the interior levels range from 1 fc to 20 fc dependent on proximity to the fixtures. Around the building, wall mounted lights are used, mounted at +/- 14 feet above grade.

We have provided an Overall Site Plan (A100-AR) to illustrate the full scope of the project. To show detail, we have also provided a “Sales Site Plan” (A101-AR) and a Service Site Plan (A102-AR). We have differentiated the various parking functions with different colors on these plans. We are providing 50% tree shading for the Sales Customer Parking, adjacent to the New Sales Building and the Parts Parking, south of the New Service Drive Canopy per DG 2.1.28.

The perimeter landscape buffer behind the sidewalk will be covered in artificial grass turf. This eliminates the problems with irrigation water damaging the display cars on a recurring basis. This also eliminates the maintenance cost. The grass look provides an attractive foreground for the car displays.

New electrical and gas service will be brought onto the site, located in an island near the southeast corner of the existing Service/Parts building. We are providing bollards for protection from vehicles. Given the location, behind sales vehicles on display along Manzanita Ave., we don't feel that a screen of any sort is necessary.

A new split-faced concrete block walled enclosure will be directly in front of the southerly most driveway.

### **BUILDING DESIGN**

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It is important to understand that automobile dealerships show their wares on the outside of their buildings. Customers need to see the new cars to make the commitment to come onto the property and investigate. Used cars, which are typically “one of a kind”, visibility is even more important to attract buyers. We don't want to hide the product behind trees or shrubs. DG 2.1.25; DG 2.2.26 and DG 2.1.27 all focus on screening of cars. This does not work for this type of business! The vast majority of customers are driving by the site, at various speeds and the dealer needs to attract their attention!

New cars are ever changing their styling and automobile factories also want to change their dealership's appearance to send a message to their potential customers that their particular products and facilities are up with or ahead of their competitors. This new building concept that we are proposing certainly does that in our judgement! The commercial uses around the Nissan site have



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been updating in the recent past, i.e., Wendy's; Dutch Brothers Coffee; Mad Dash Pizza and Flyers Convenience Store have moved to contemporary architectural styling. Our project certainly strengthens the neighborhood DG 2.1.11.

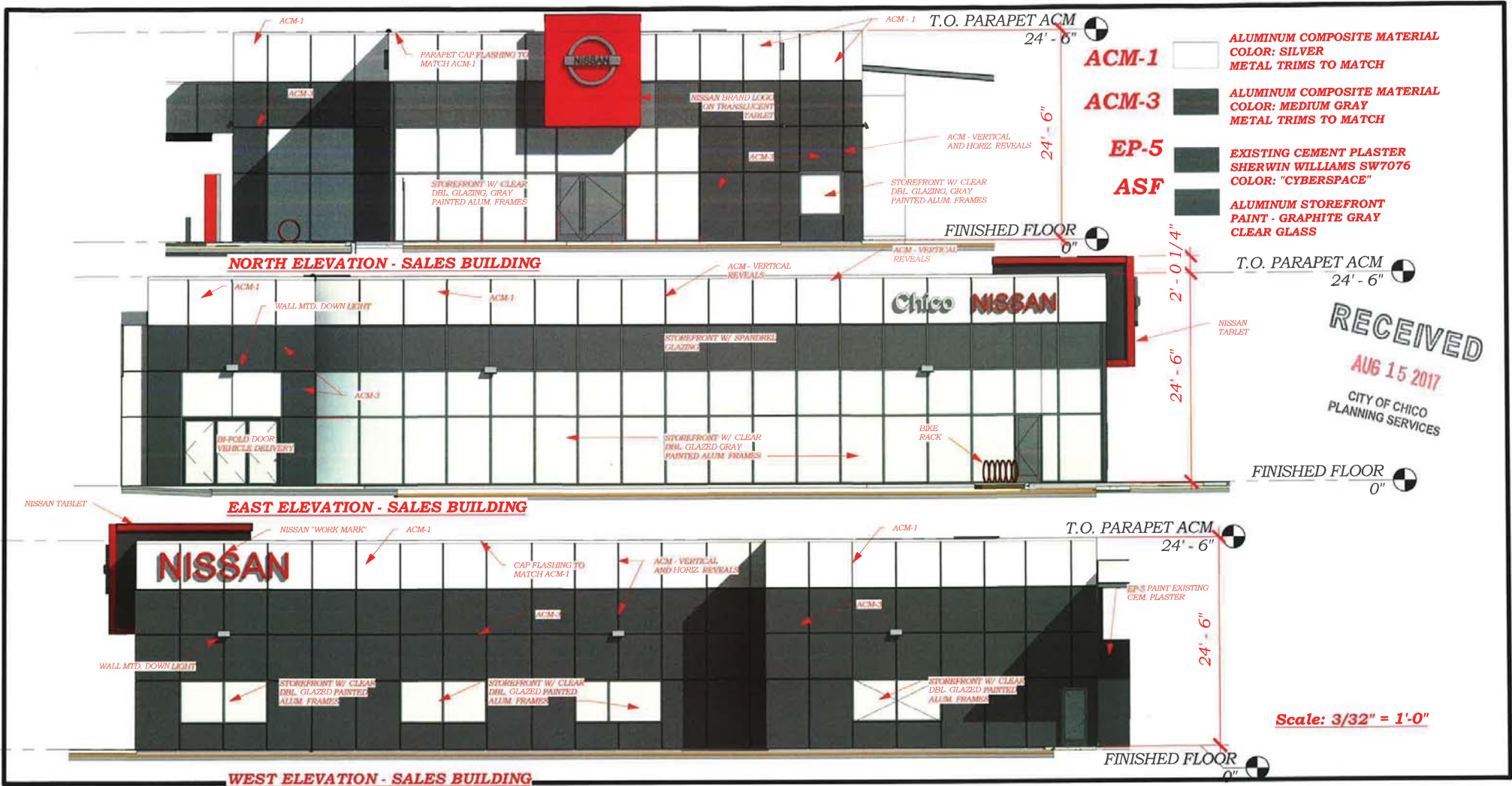
The new building forms are simple, offset intersecting rectangular shapes (DG 2.2.22), articulated with a grid pattern of charcoal and silver aluminum panels and gray painted storefront glazing (DG 2.2.11, DG 2.2.32). The Sales building is over 24 feet tall, which gives the building a bigger presence, again to attract the passers-by. This height also allows for tall storefront windows, inviting customers into the high ceiling showroom. The entry is highlighted with a red translucent, back-lit "Tablet" above the doors, providing a striking symbol of the product against the silver/gray wall color palette (2.2.23). The colors provide a charcoal gray wall color as a "neutral" background for the various colors of the vehicles displayed all around the building (DG 2.2.32). The existing Service/Parts building will be painted to match the charcoal gray wall panels of the new buildings, unifying the development (DG 2.2.33).

Rooftop HVAC units are hidden by the perimeter walls as a function of the rectangular building forms. The units are screened by the architecture, not as a secondary consideration (DG 2.2.27).

The new Service Drive canopy, located closer to the street, is a lower rectangular shape, with a different function precipitating a different height and massing, while using the same architectural language of the articulated panels and grid (DG 2.2.12).

This project will change the aesthetics of this car dealership substantially. The new buildings reflect the contemporary state of the car business. The existing building will be painted to complement the new construction. The site will be largely repaved, drainage brought into compliance with today's water quality measures, landscaping will be updated and site lighting will be updated with LED light sources and limited to 14 foot tall pole/pedestal combinations.

We are very pleased to submit this project for your consideration. We feel that this project will be a wonderful improvement to this highly visible location in the City of Chico!



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# MANZANITA AVE VIEW - LOOKING SOUTH SM.

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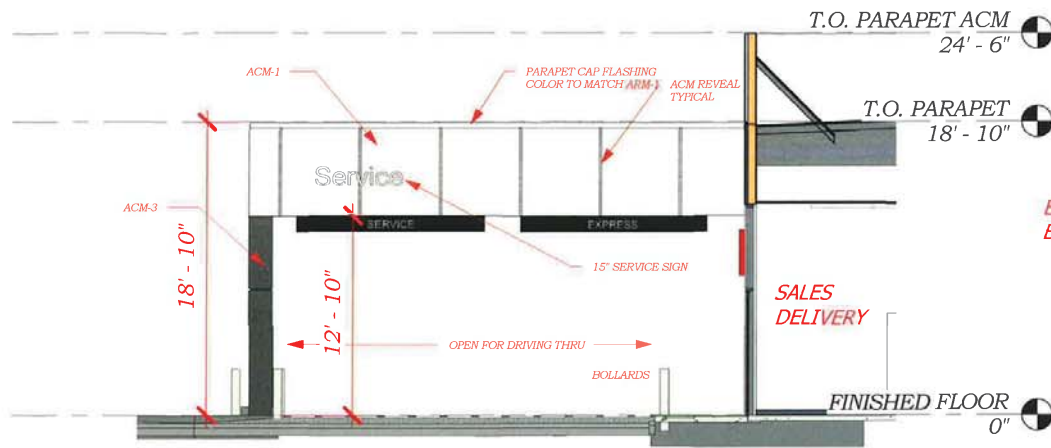
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SOUTH

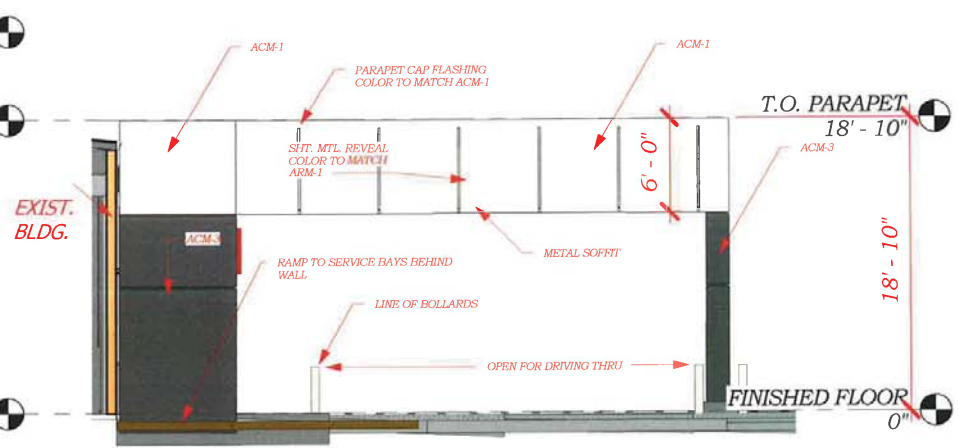
A501-AR S

**Attachment F**





**NORTH ELEVATION - SERVICE CANOPY**



**SOUTH ELEVATION - SERVICE CANOPY**



**EAST ELEVATION - SERVICE CANOPY**

- ACM-1** ALUMINUM COMPOSITE MATERIAL  
COLOR: SILVER  
METAL TRIMS TO MATCH
- ACM-3** ALUMINUM COMPOSITE MATERIAL  
COLOR: MEDIUM GRAY  
METAL TRIMS TO MATCH
- EP-5** EXISTING CEMENT PLASTER  
SHERWIN WILLIAMS SW7076  
COLOR: "CYBERSPACE"
- ASF** ALUMINUM STOREFRONT  
PAINT - GRAPHITE GRAY  
CLEAR GLASS

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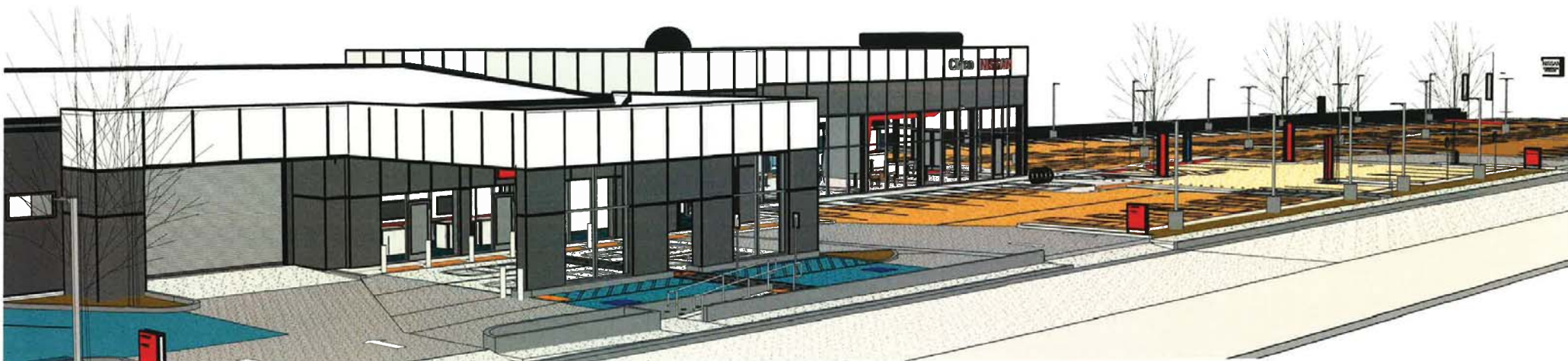
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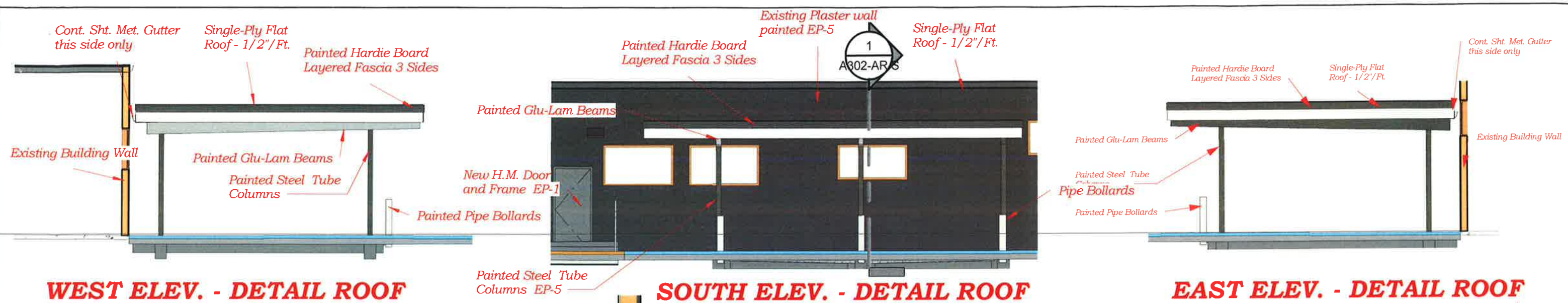
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**Attachment H**





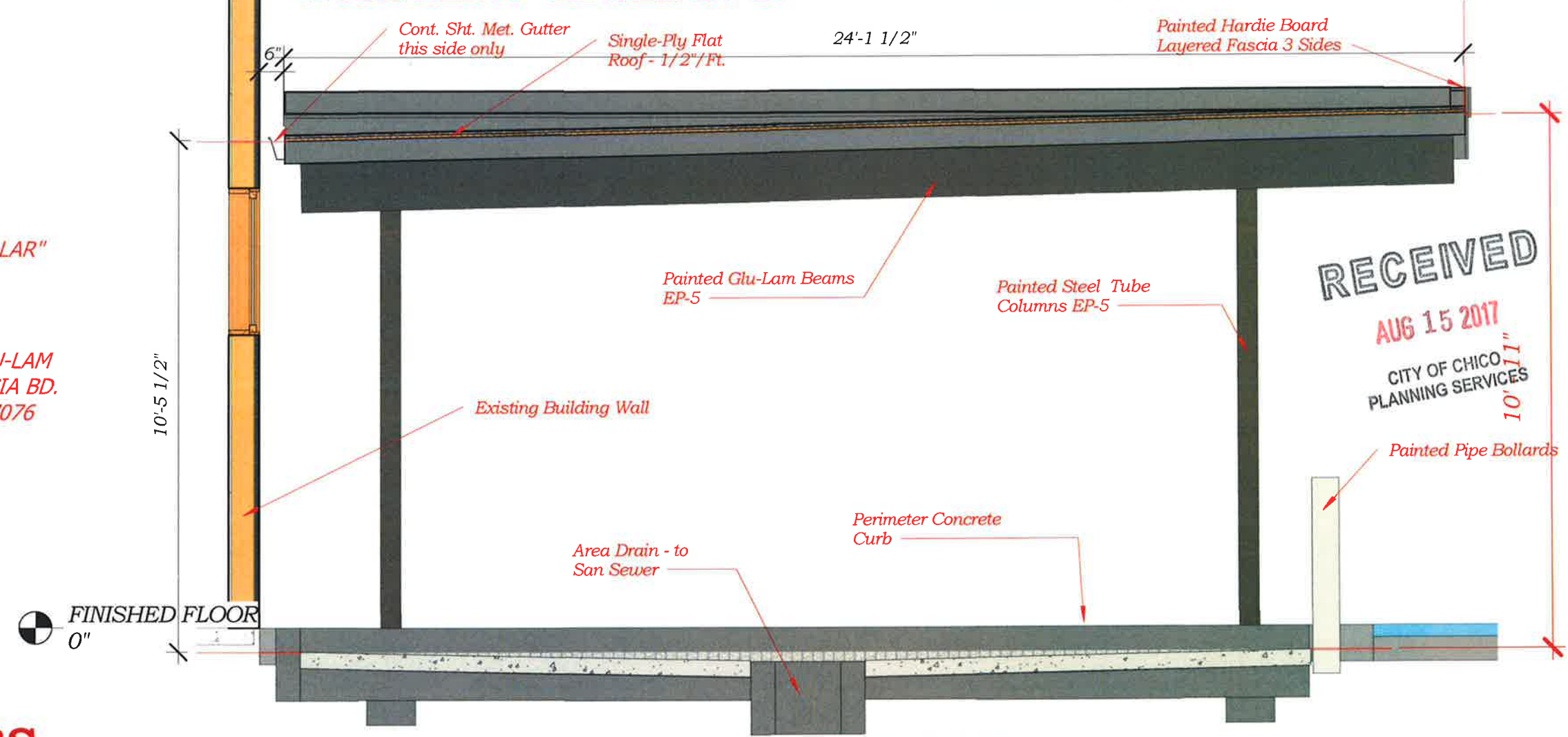
**WEST ELEV. - DETAIL ROOF**

**SOUTH ELEV. - DETAIL ROOF**

**EAST ELEV. - DETAIL ROOF**

**EXTERIOR FINISH LEGEND**

- EP-1** CEMENT FIBER FASCIA  
BENJAMIN MOORE PAINT  
COLOR: "SILVER HALF DOLLAR"
- EP-5** STEEL TUBE COLUMNS/GLU-LAM  
BEAM/CEMENT FIBER FASCIA BD.  
SHERWIN WILLIAMS - SW7076  
COLOR: "CYBERSPACE"



**SECTION - DETAIL ROOF**

**ROOF STRUCTURE at  
DETAILING CAR WASH  
SEE SITE PLAN A302-ARS**

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www.northstareng.com

CHICO NISSAN  
575 MANZANITA  
CHICO, CA

Date: 8.15.17 - REV.  
Job No: 13-366  
Sheet: DETAIL ROOF

**Attachment I**

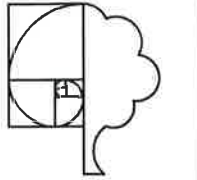




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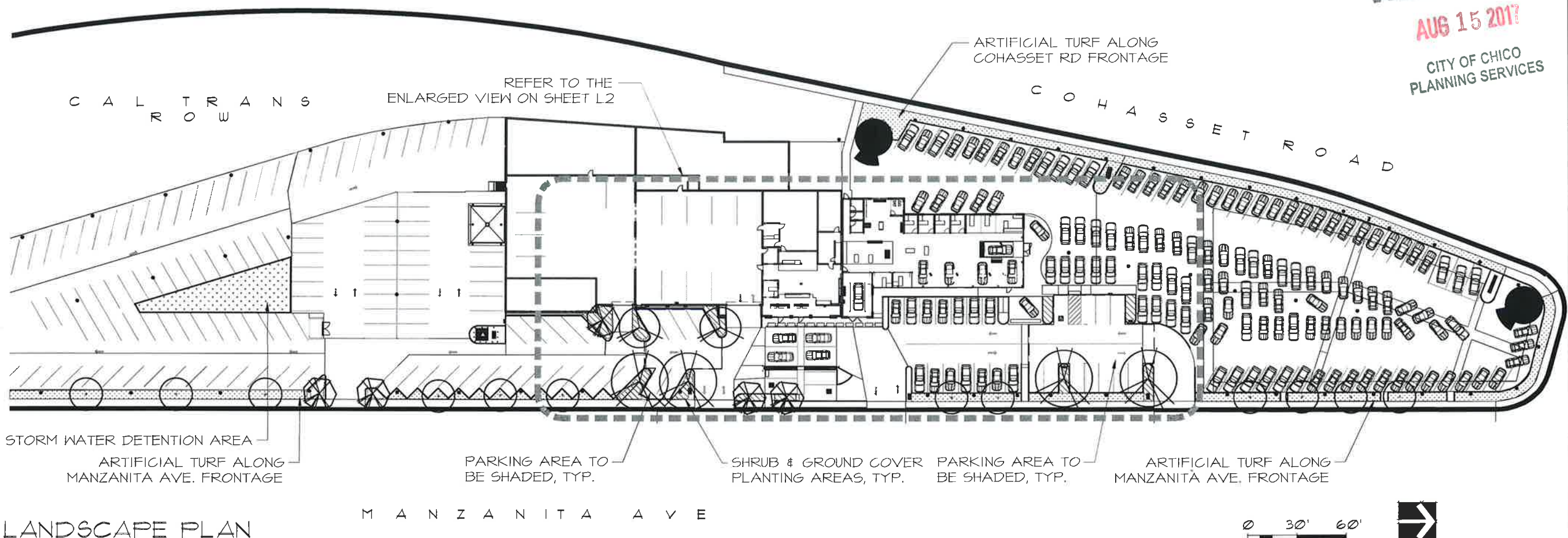
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THOMAS H. PHELPS  
LANDSCAPE ARCHITECTURE  
THPLA, Inc.  
California Landscape Architect #4122  
P.O. BOX 8328  
Chico, CA 95927-8328  
(530)892-8897 fax (530)892-9588  
thphelps@thplglobal.net

CHICO NISSAN REMODEL  
LANDSCAPE IMPROVEMENT PLANS  
575 MANZANITA AVENUE  
CHICO, CALIFORNIA



LANDSCAPE PLAN

Shade Calculations for the Chico Nissan Remodel Project

Botanical Name	Common Name	Quantity	Shade	at 25%	at 50%	at 75%	at 100%	Total
			allowed					
Acer rubrum 'Red Sunset'	Red Sunset Maple	2	707	0	2	0	0	707.00
Zelkova serrata 'Village Green'	Japanese Zelkova	4	1,256	3	0	0	1	2,198.00
<b>Total Shade Allowed</b>		<b>6</b>		<b>3</b>	<b>2</b>	<b>0</b>	<b>1</b>	<b>2,905.00</b>
<b>parking lot area</b>								<b>5,777.00</b>
<b>50% shade required</b>								<b>2,888.50</b>
<b>% Shade Provided</b>								<b>50.29%</b>

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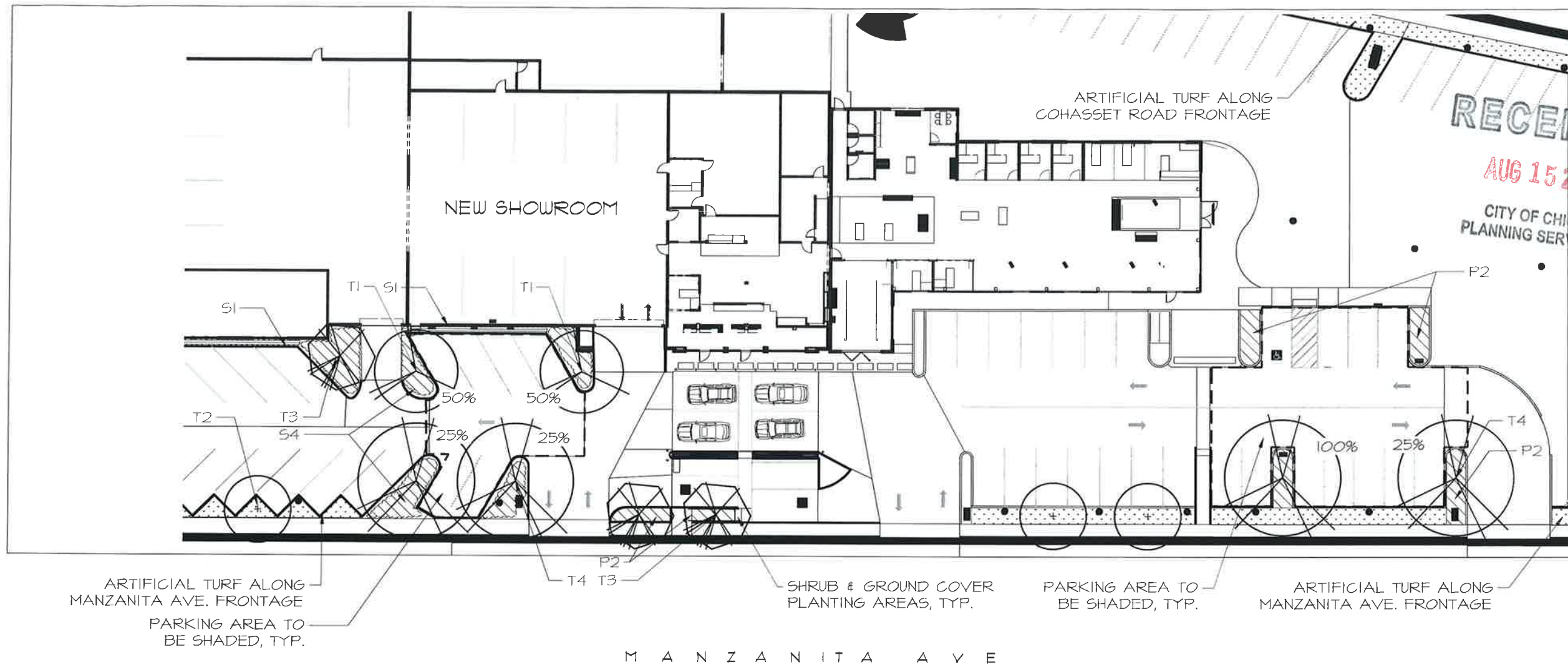
Sheet Title  
LANDSCAPE MASTER PLAN



No. Date Revision  
 ▲  
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Project No.: THP Sheet No.:  
 Drawn By: THP L1  
 Scale: 1" = 30'  
 Date: 14 MAR 2017  
 File Name: CN\_LDD of 2 sheets





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 LANDSCAPE ARCHITECTURE  
 THPLA, inc  
 California Landscape Architect #4122  
 P.O. BOX 8328  
 Chico, CA 95927-8328  
 (530)892-8897 fax (530)892-9588  
 thphelps@thplainc.com

CHICO NISSAN REMODEL  
 LANDSCAPE IMPROVEMENT PLANS  
 575 MANZANITA AVENUE  
 CHICO, CALIFORNIA

LANDSCAPE PLAN

PLANT LEGEND (POTENTIAL PLANTINGS TO BE USED)

Key	Botanical Name - Common Name
<b>TREES</b>	
T1	<i>Acer rubrum</i> 'Red Sunset' - Red Sunset Maple
T2	<i>Carpinus betulus</i> 'Fastigiata' - Columnar Hornbeam
T3	<i>Lagerstroemia x 'Natchez'</i> Std. - Std. White Grape Myrtle
T4	<i>Zelkova serrata</i> 'Green Vase' - Japanese Zelkova
<b>SHRUBS</b>	
S1	<i>Nandina domestica</i> 'Compacta' - Compact Heavenly Bamboo
S2	<i>Pittosporum tobira</i> 'Variegata' - Variegated Pittosporum
S3	<i>Raphiolepis indica</i> 'Ballerina' - Dwarf Pink India Hawthorne
S4	<i>Rosa noare</i> 'Flower Carpet Red' - Red Flower carpet Rose

Qty.*	Size	**PF	Symbol
4	#15	L	
12	#15	L	
3	#15	L	
4	#15	M	
#5	L		
#5	L		
#5	L		
#2	L		

PERENNIALS

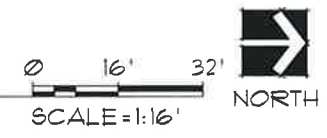
P1	<i>Diets vegeta</i> - Fortnight Lily	#1	L	
P2	<i>Agapanthus africanus</i> 'Peter Pan White' - Dwarf White Lily of the Nile	#1	L	

GROUND COVERS

GCI		- Artificial Turf
-----	--	-------------------

NATIVE MOW FREE SOD

Size	PF**
#1	L Western Mokolunne fescue- <i>Festuca occidentalis</i>
#1	L Idaho fescue- <i>Festuca idahoensis</i>
#1	L Molate fescue- <i>Festuca rubra</i>



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Sheet Title  
 LANDSCAPE PLAN



No.	Date	Revisions

Project No.: THP  
 Drawn By: THP  
 Scale: 1"=16'  
 Date: 15 APR 2016  
 File Name: GN\_DD of \_\_\_\_\_ sheets



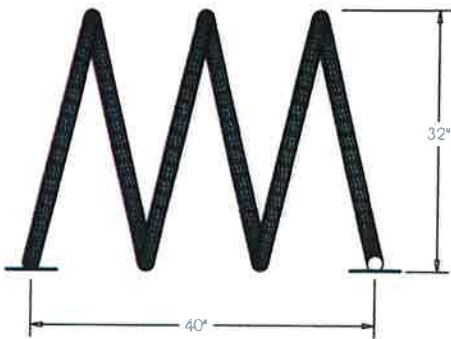
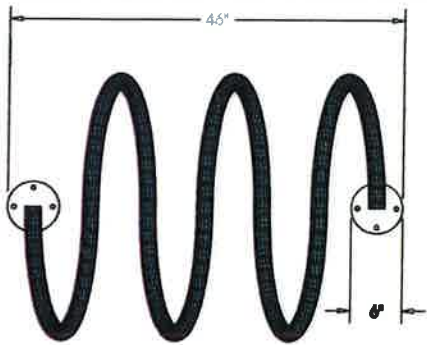
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MAR 15 2017

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PLANNING SERVICES



Bike-Coil 6 Bike Rack  
Surface Mount



Capacity:

6 Bicycles Max. (3 per side)

Materials:

1.9" x 0.095" Wall In-Line Galvanized Steel  
Tube

7 Ga. (3/16") Steel Plate

Finish:

Polyester Powder Coating Top Coat  
over E-Coat Primer.

Note: Anchoring Hardware Not Included

CHICO NISSAN

Attachment L



TYPE - AF

# Cree Edge™ Series

LED High Output Area/Flood Luminaire featuring Cree TrueWhite® Technology

## Product Description

The Cree Edge™ High Output Area/Flood luminaire is designed to deliver high lumen packages with precise optical control. The unit features a slim, low profile design that minimizes wind load and a rugged die cast aluminum adjustable arm that mounts to a horizontal or vertical 2" (51 mm) IP, 2.375-2.50" (60-64mm) O.D. steel tenon. Tenon length must be a minimum of 3.75" (95mm). The direct mount bracket accessory allows for further mounting flexibility. Available with Cree TrueWhite® Technology, the Cree Edge™ High Output helps to beautifully render true colors and deliver value beyond energy savings.

**Applications:** Auto dealerships, parking lots, campuses, facade lighting, high-mast and general site lighting applications

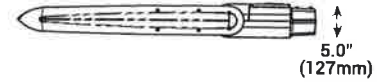
## Performance Summary

- Utilizes Cree TrueWhite® Technology on 5000K Luminaires
- Patented NanoOptic® Product Technology
- Made in the U.S.A. of U.S. and imported parts
- CRI: Minimum 70 CRI (4000K & 5700K); 90 CRI (5000K)
- CCT: 4000K (+/- 300K), 5000K (+/- 300K), 5700K (+/- 500K) standard
- Limited Warranty\*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

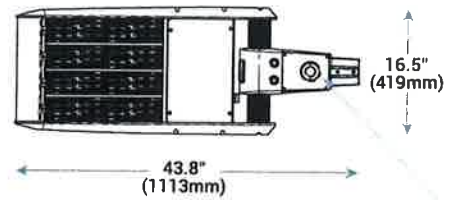
\*See <http://lighting.cree.com/warranty> for warranty terms



HV Mount (shown in horizontal position)

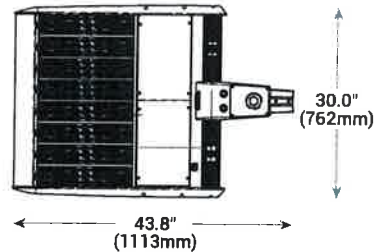


120 LED



NEMA® Photocell Receptacle location (ordered as an option)

240 LED



## Accessories

Field-Installed	
<b>Bird Spikes</b> XA-BRDSPKXAK12 - 120 LED XA-BRDSPKXAK24 - 240 LED	<b>Backlight Control Shields</b> XA-30BLS-4 - Four-pack for 120 LED - Unpainted stainless steel XA-30BLS-8 - Eight-pack for 240 LED - Unpainted stainless steel

LED Count (x10)	Weight
12	45.3 lbs. (20.5kg)
24	80.5 lbs. (36.5kg)

HV Mount (shown in Vertical position)  
Direct Mount Bracket- see page 13 for weight & dimensions

## Ordering Information

Example: ARE-EHO-2M-HV-12-E-UL-SV-700

Product	Optic	Mounting	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options		
ARE-EHO	2M Type II Medium w/BLS 2MB Type II Medium w/BLS 3M Type III Medium	3MB Type III Medium w/BLS 4M Type IV Medium 4MB Type IV Medium w/BLS	5M Type V Medium 5S Type V Short AF Automotive FrontlineOptic™	HV Horizontal/ Vertical Tenon - For EHO-UNV direct mount bracket, refer to Tenons & Brackets on page 12	12 24	E	UL Universal 120-277V UH Universal 347-480V	BK Black BZ Bronze SV Silver WH White	700 700mA 1000 1000mA	<p><b>VERIFY</b></p> <p><b>DIM</b> 0-10V Dimming - Control by others - Refer to <a href="#">Dimming spec sheet</a> for details - Can't exceed specified drive current</p> <p><b>F</b> Fuse - When code dictates fusing, use time delay fuse - Refer to <a href="#">ML spec sheet</a> for availability with ML options - Not available with UH voltage</p> <p><b>ML</b> Multi-Level - Refer to <a href="#">ML spec sheet</a> for details - Intended for downlight applications at 0° tilt - Not available with UH voltage or 240 LEDs with 1000mA drive current</p>
FLD-EHO	15 15' Flood 25 25' Flood	40 40' Flood 70 70' Flood	SN Sign N6 NEMA® 6					<p>40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire</p> <p>50K 5000K Color Temperature - Minimum 90 CRI - Utilizes Cree TrueWhite® Technology - Color temperature per luminaire</p>		

NOTE: Price adder may apply depending on configuration



Rev. Date: V6 01/20/2016



US: [www.cree.com/lighting](http://www.cree.com/lighting)

T (800) 236-6800 F (262) 504-5415

Canada: [www.cree.com/canada](http://www.cree.com/canada)

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CHICO NISSAN

Attachment M

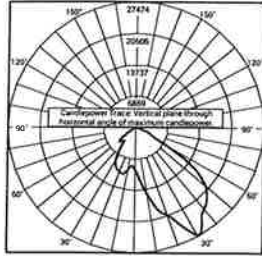


Cree Edge™ LED High Output Area/Flood Luminaire

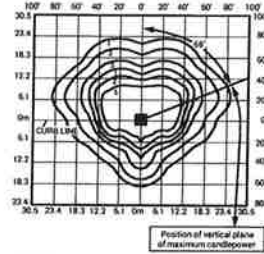
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: [www.cree.com/Lighting/Tools-and-Support/Exterior-IES-Configuration-Tool](http://www.cree.com/Lighting/Tools-and-Support/Exterior-IES-Configuration-Tool)

AF



ITL Test Report #: 78579  
ARE-EHO-AF-\*\*-24-E-UL-1000-40K  
Initial Delivered Lumens: 36,341

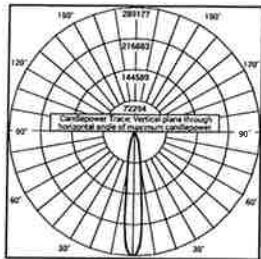


ARE-EHO-AF-\*\*-24-E-UL-1000-40K  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 69,319  
Initial FC at grade

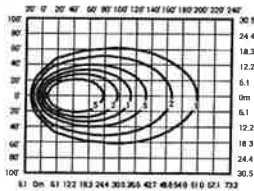
Automotive FrontlineOptic™ Distribution						
LED Count (x10)	4000K		5000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
<b>700mA</b>						
12	25,794	B3 U0 G2	20,437	B3 U0 G1	26,786	B3 U0 G2
24	51,621	B4 U0 G2	40,900	B4 U0 G2	53,606	B4 U0 G2
<b>1000mA</b>						
12	34,638	B4 U0 G2	27,444	B3 U0 G2	35,970	B4 U0 G2
24	69,319	B5 U0 G3	54,922	B4 U0 G2	71,986	B5 U0 G3

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.ies.org/PDF/Gratas/TM-15-11BugRatingsAddendum.pdf](http://www.ies.org/PDF/Gratas/TM-15-11BugRatingsAddendum.pdf). Valid with no tilt

15'



ITL Test Report #: 78519  
FLD-EHO-15-\*\*-24-E-UL-1000-40K  
Initial Delivered Lumens: 38,859



FLD-EHO-15-\*\*-24-E-UL-1000-40K  
Mounting Height: 25' (7.6m) A.F.G. - 60° tilt  
Initial Delivered Lumens: 73,303  
Initial FC at grade

15' Flood Optic Distribution			
LED Count (x10)	4000K	5000K	5700K
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
<b>700mA</b>			
12	27,276	21,611	28,326
24	54,588	43,250	56,687
<b>1000mA</b>			
12	36,628	29,021	38,037
24	73,303	58,079	76,123

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens



# PS Series

Crown-Weld® Square Straight Steel Poles

## Product Description

Non-tapered square steel poles are supplied with a welded base with cover, four galvanized anchor bolts, masonite mounting template and pole cap (except tenon mount). Each anchor bolt is provided with two washers and two nuts. Steel pole base has slotted holes. Per National Electrical Code requirements, pole is standard with a 2" x 6" hand hole, located 18" above the bottom of pole base. A #10-32 stainless-steel weld stud with grounding lug is located inside the pole, opposite the hand hole. A hand hole cover is supplied but shipped separately. In addition, 4" x 27" and 4" x 30" poles include an internal 5/16" steel reinforced sleeve welded inside the bottom 24" of the pole, as well as a reinforcement welded around the hand hole for added strength. The hand hole location on reinforced poles is 12" above the bottom of the pole base.



## CONSTRUCTION & MATERIALS

- Square, non tapered pole of structural steel tubing (ASTM A 500) with a minimum yield of 46,00 p.s.i.
- Welded to a formed carbon steel base plate with a minimum yield strength of 36,000 p.s.i.
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion

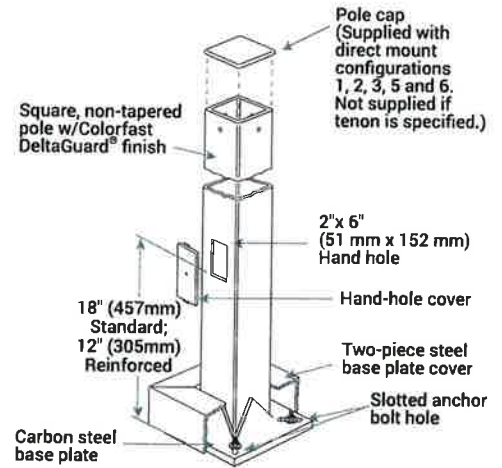
## REGULATORY & VOLUNTARY QUALIFICATIONS

- National Electrical Code Requirements
- UL Listed in US for electrical ground bonding
- CSA Certified in Canada for ground bonding and structural strength

## LIMITED WARRANTY\*

- 7 years on pole/7 years on Colorfast DeltaGuard® finish

\*See <http://lighting.cree.com/warranty> for warranty terms



## Accessories

Field-Installed	
GFI Outlet Accessory - 120V	REC-GFIWH
REC-GFIBZ	- White Finish
- Bronze Finish	REC-GFISV
REC-GFIBK	- Silver Finish
- Black Finish	

## Ordering Information

Example: PS3S10C1BK

Product	Mounting Configuration	Color Options
<b>PS3S10C</b> 10' x 3" x 0.125" <b>PS3S15C</b> 15' x 3" x 0.125" <b>PS3S20C</b> 20' x 3" x 0.125" <b>PS4S10C</b> 10' x 4" x 0.125" <b>PS4S12C</b> 12' x 4" x 0.125"	<b>1</b> Single <sup>1</sup> <b>2</b> Twin @ 180' <b>3</b> Twin @ 90' <b>5</b> Triple <sup>1</sup> <b>6</b> Quad <sup>1</sup> <b>T</b> Tenon <sup>2</sup>	BK Black BZ Bronze SV Silver WH White <div style="border: 1px solid red; padding: 5px; display: inline-block;">VERIFY</div>
<b>PS4S15C</b> 15' x 4" x 0.125" <b>PS4S17C</b> 17' x 4" x 0.125" <b>PS4S20C</b> 20' x 4" x 0.125" <b>PS4S22C</b> 22' x 4" x 0.125" <b>PS4S25C</b> 25' x 4" x 0.125"		
<b>PS4S25C</b> 25' x 4" x 0.125" <b>PS4S25S</b> 25' x 4" x 0.188" <b>PS4S27R</b> 27' x 4" x 0.125" <b>PS4S30R</b> 30' x 4" x 0.125"		
<b>PS4S30H</b> 30' x 4" x 0.188" <b>PS5S25S</b> 25' x 5" x 0.188" <b>PS5S30S</b> 30' x 5" x 0.188" <b>PS6S30S</b> 30' x 6" x 0.188"		

<sup>1</sup> Direct mount pole configuration. N/A for Cree Edge™ High Output luminaires

<sup>2</sup> Order tenon separately. Refer to [Bracket and Tenons spec sheet](#) for additional information



US: [www.cree.com/lighting](http://www.cree.com/lighting)

T (800) 236-6800 F (262) 504-5415

Rev. Date: V1 12/14/2015

Canada: [www.cree.com/canada](http://www.cree.com/canada)



Attachment M

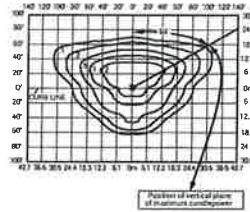
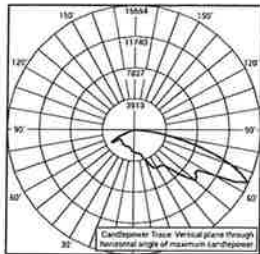
CHICO NISSAN

**B, C, D**

**Photometry**

OSQ™ Area Luminaire – Type III Medium; OSQ A \*\* 3ME

Fixture photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. IESNA LM-79-08 specifies the entire luminaire as the source resulting in a fixture efficiency of 100%.



RESTL Test Report #: PL03439-001  
OSQ A \*\* 3ME S 40K-UL  
Initial Delivered Lumens: 21,013

OSQ A \*\* 3ME S 40K-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 21,475  
Initial FC at grade

**Type III Medium Distribution**

Input Power	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
A	9,042	B2-U0-G2	10,793	B2-U0-G2	11,530	B2-U0-G2
J	13,564	B3-U0-G3	16,189	B3-U0-G3	17,296	B3-U0-G3
S	17,996	B3-U0-G3	21,475	B3-U0-G3	22,942	B3-U0-G3

**Type III Medium w/BLS Distribution**

Input Power	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
A	7,737	B1-U0-G2	9,235	B1-U0-G2	9,866	B1-U0-G2
J	11,606	B2-U0-G2	13,853	B2-U0-G3	14,799	B2-U0-G3
S	15,399	B2-U0-G3	18,375	B2-U0-G3	19,631	B2-U0-G3

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens

\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf](http://www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf)  
Valid with no tilt

**Electrical Data**

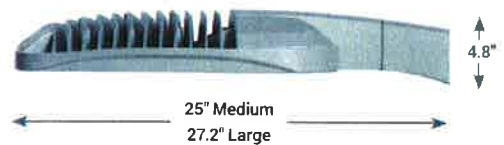
Input Power Designator	System Watts 120-480V	Total Current					
		120V	208V	240V	277V	347V	480V
A	112	0.97	0.56	0.49	0.43	0.34	0.25
J	168	1.47	0.85	0.74	0.64	0.50	0.36
S	223	1.94	1.13	0.99	0.85	0.65	0.47

**Specifications**

OSQ™ LED Area Luminaire



**Direct Mount**



**Adjustable Arm**



**Medium (Type III Medium)**

- 9,042 lumens, 112W
- 13,564 lumens, 168W
- 10-year limited warranty

**Large (Type III Medium)**

- 17,996 lumens, 223W
- 10-year limited warranty

**Dimensions:**

**Direct Mount**

L: 25" / W: 19" / H: 4.8" (Medium)  
L: 27.2" / W: 19" / H: 4.8" (Large)

**Adjustable Arm**

L: 27.6" / W: 19" / H: 3.8" (Medium)  
L: 29.8" / W: 19" / H: 3.8" (Large)

NOTE: Testing represents Type III Medium optics. For exact photometric data please reference our available IES and LM-79 test results at: [www.cree.com/lighting/OSQSeries](http://www.cree.com/lighting/OSQSeries).

**CHICO NISSAN**

**Attachment M**



# XSP Series

XSPW™ LED Wall Mount Luminaire

## Product Description

The XSPW™ LED wall mount luminaire has a slim, low profile design intended for outdoor wall mounted applications. The rugged lightweight aluminum housing and mounting box are designed for installation over standard single gang J-Boxes and mud ring single gang J-Boxes. The luminaire allows for through-wired or conduit entry from the top, bottom, sides and rear. The housing design is intended specifically for LED technology including a weathertight LED driver compartment and thermal management. Optic design features industry-leading NanoOptic® Precision Delivery Grid™ system in multiple distributions.

**Applications:** General area and security lighting

## Performance Summary

NanoOptic® Precision Delivery Grid™ optic

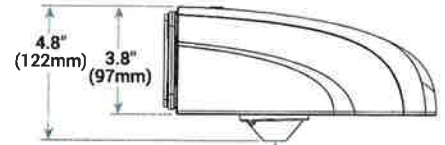
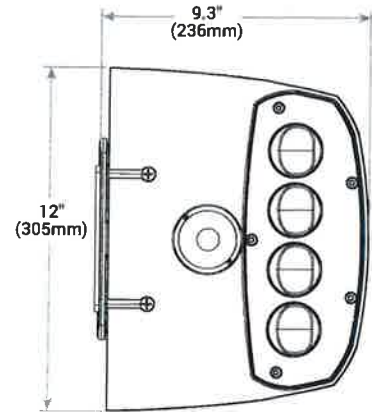
Made in the U.S.A. of U.S. and imported parts

**CRI:** Minimum 70 CRI

**CCT:** 4000K (+/- 300K), 5700K (+/- 500K)

**Limited Warranty\*:** 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

\* See [www.cree.com/lighting/products/warranty](http://www.cree.com/lighting/products/warranty) for warranty terms



Multi-Level Sensor location (ordered as an option)

## Accessories

### Field-Installed

#### Beauty Plate

- WM-PLT12\*\* - 12" (305mm) Square
- WM-PMT14\*\* - 14" (356mm) Square
- Covers holes left by incumbent wall packs

\*\* Must specify color

Weight
9.5 lbs. (4.3kg)

## Ordering Information

Example: XSPW-A-0-2-F-C-U-Z

Product	Version	Mounting	Optic	Modules	Input Power Designator	Voltage	Color Options	Options
XSPW	A	0 Wall	2 Type II Medium 3 Type III Medium	F 4000K M 5700K	C 42W G 25W	U Universal 120-277V 1 120V 2 208-277V 6* 347V	S Silver T Black W White Z Bronze	K Multi-Level - Refer to ML spec sheet for details - Available with Input Power Designator C only P Photocell - Not available with K option - Must specify 1, 2, or 6 voltage Y 0-10V Dimming - Control by others - Available with Input Power Designator C only - Refer to dimming spec sheet for details

\* Available in Canada only

NOTE: Price adder may apply depending on configuration



US: [www.cree.com/lighting](http://www.cree.com/lighting)

T (800) 236-6800 F (262) 504-5415

Rev. Date: V6 07/31/2015

Canada: [www.cree.com/canada](http://www.cree.com/canada)



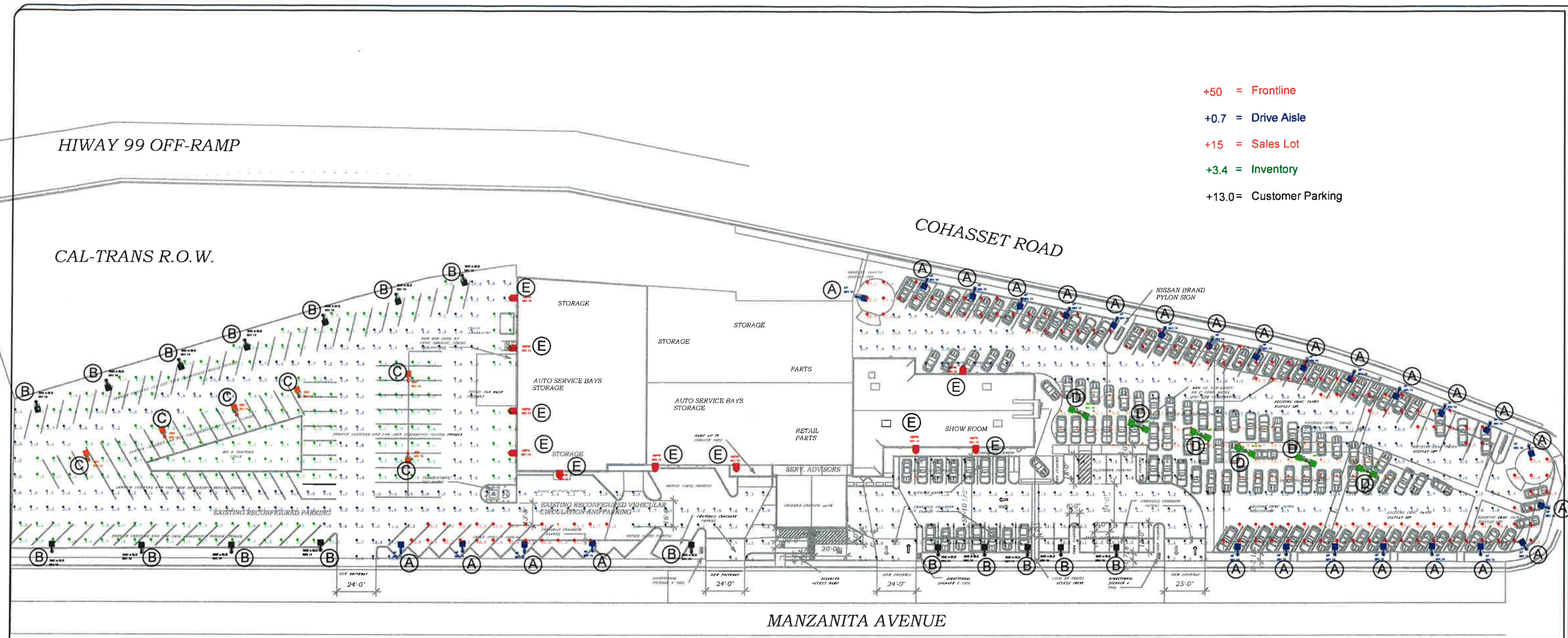
T (800) 473-1234 F (800) 890-7507

CHICO NISSAN

Attachment M



- +50 = Frontline
- +0.7 = Drive Aisle
- +15 = Sales Lot
- +3.4 = Inventory
- +13.0 = Customer Parking



Luminaire Schedule								
Mark	Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Total Watts	Description
(A)		27	AF	SINGLE	29572	1.000	7209	ARE-EHO-AF-HV-12-E-xx-xx-700 w/ EHO-UNVxx
(B)		17	3ME w BLS	SINGLE	9196	1.000	1462	OSQ-A-NM-3ME-B-57K-xx-xx w/ OSQ-DAxx - OSQ-BLSMF
(C)		6	5SH	SINGLE	11678	1.000	516	OSQ-A-NM-5SH-B-57K-xx-xx w/ OSQ-DAxx
(D)		6	5SH - 2	BACK-BACK	17191	1.000	1560	OSQ-A-NM-5SH-K-57K-xx-xx w/ OSQ-DAxx
(E)		10	XSPW	SINGLE	4109	1.000	420	XSPW-A-0-3-M-C-x-x

**Pole Schedule**  
 (50) PS4S12C1xx (12' X 4" X .125" STEEL SQUARE POLE)  
 (6) PS4S12C2xx (12' X 4" X .125" STEEL SQUARE POLE)  
 Proposed poles meet 140 MPH sustained winds.

**Additional Equipment:**  
 (27) EHO-UNVxx (Direct Arm Mount)  
 (35) OSQ-DAxx (Direct Arm Mount)  
 (17) OSQ-BLSMF (Backlight Shield)

\*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER \*\*\*

Footcandles calculated using predicted lumen values at initial					
Label	Avg	Max	Min	Avg/Min	Max/Min
Customer Parking	8.26	16.1	2.7	3.06	5.96
Drive Aisle	3.54	57.5	0.0	N.A.	N.A.
Frontline	36.94	72.9	11.1	3.33	6.57
Inventory	4.45	10.5	0.0	N.A.	N.A.
Sales Lot	14.16	20.0	9.9	1.43	2.02

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CITY OF CHICO  
 PLANNING SERVICES



Project Name: Chico Nissan Hyundai - 575 Manzanita Ave, Chico, CA 95928 SR-12283  
 Date: 1/20/2017 Scale: 1"=30' Footcandles calculated at grade  
 Filename: 160212TR1CISR1.AOI

Luminaire results shown on this lighting design are based on project parameters provided to CREE and procedures conducted under laboratory conditions. Actual project conditions differing from these parameters may affect lighting performance. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable codes.

Attachment N

