



Architectural Review
and Historic Preservation Board
Agenda Report

Meeting Date 08/17/16

DATE: August 9, 2016

File : AR 16-12

TO: Architectural Review and Historic Preservation Board

FROM: Mike Sawley, AICP, Associate Planner, (879-6812, mike.sawley@chicoca.gov)
Community Development Department

RE: Del Taco Restaurant with Drive Through; 1957 E. 20th Street, APN 002-370-013
Southwest Corner of East 20th Street at Forest Avenue

RECOMMENDATION

Staff recommends that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve the proposed project, subject to the recommended conditions.

Proposed Motion

I move that the Architectural Review and Historic Preservation Board adopt the required findings contained in the agenda report and approve Architectural Review 16-12 (Del Taco), subject to the recommended conditions.

BACKGROUND

The applicant proposes to construct a new drive-through restaurant at the southwest corner of East 20th Street and Forest Avenue (see **Attachment A**, Aerial Location Map). The site is zoned CR (Regional Commercial), and designated Regional Commercial by the General Plan. The site is also located within Regional Center Opportunity Site #10 (E. 20th Street) as established in the Chico 2030 General Plan.

Part of “*The Village*” (Target) shopping center, the site was used as an oil change service for many years. A large retail store and an existing drive through restaurant are located south and west, respectively. On 07/28/16, the Zoning Administrator approved Use Permit 16-03, which is required to authorize drive-through sales in the CR district.

The proposal includes a new 2,400 sq. ft. building with drive-through, outdoor seating and 19-space parking area (see **Attachment B**, Project Description, **Attachment C**, Site Plan, **Attachment D**, Floor/Roof Plans and **Attachment E**, Landscape Plans). A CMU-block trash enclosure would be constructed southeast of the building. A low, 18-inch railing with ivy plantings is proposed atop the existing landscape berm to screen public views.

The drive-through window is located on the north side of the building, and the drive-through lane provides stacking and maneuvering areas consistent with the City’s requirements. Landscape plans depict retention of existing trees along street frontages, and seven new shade trees in the parking area. Covered bicycle parking would be provided near the front entrance of the building.

The architecture is modern commercial stucco, with parapet walls and tower elements. Decorative elements include structural projections, fabric awnings, cultured stone and wall

art (see Elevations, **Attachment F**). The primary field color is light tan (Humble Gold, SW 6380), with dark crimson highlighting the towers and certain lower wall panels (Chinese Red, SW 0057). Accent colors include golden beige (Tatami Tan, SW 6116) for the decorative tiles along the roofline, brown (Java, SW 6090) on the horizontal bands of metal flashing, and lime green (Luau Green, SW 6712) for the structural overhangs and awnings. Chips of the proposed colors will be provided in Board packets.

Four new LED parking lot lights are proposed on 18-foot light standards (see Lighting Details, **Attachment G**). Exterior wall-mounted lighting would be a combination of half-round copper wall sconces, and small LED wall packs mounted on 26-inch arms and directed downward (toward wall art pieces or awnings, etc.). Locations and heights for the wall lights are shown on the color elevations, and parking lot light locations are shown on the site plan.

Proposed signage includes an 8-foot tall monument sign on the East 20th Street frontage; three internally illuminated, channel letter wall signs with the primary business logo; and two non-illuminated “tag line” signs featuring cut-out letters, in addition to typical menu boards and directional signage associated with drive-through uses (see Signs, **Attachment H**).

DISCUSSION

The proposal is consistent with several General Plan policies, including those that encourage compatible infill redevelopment and revitalization of existing commercial centers (LU-4.2, LU-4.4, CD-5 and ED-3), as the materials and colors are compatible with other existing commercial uses located at shopping center. The single-story architectural design would continue the existing context-sensitive transition at the shopping center, with larger buildings located toward the interior and smaller buildings located along the perimeter, consistent with CD-5.2. The project is also consistent with goals and policies to enhance Chico’s long-term prosperity (ED-1), and ensure that regulations and permitting processes for the conduct of commerce do not unreasonably inhibit local business activity (ED-1.3). Using the existing access driveways associated with shopping center is consistent with policy CIRC-1.1 and Table CIRC-1, which calls for safely and efficiently accommodating traffic from new development and minimizing new driveways on larger streets.

The project is consistent with Design Guidelines (DGs) that call for commercial buildings to use appropriate massing, fenestration, and materials to provide a pedestrian-level scale (DG 2.2.11). The design creates a sense of focus toward the main entrance through the use of a brightly-colored tower element, windows and signage, consistent with DG 2.2.23. Design Guideline consistency is further enhanced by screening HVAC units with roof parapets and parking lot and drive-through areas with low-fencing and landscaping, as called-for by DGs 2.1.25 and 2.1.36. For additional DG consistency analysis, see the applicant’s project description, **Attachment B**.

Pursuant to Chico Municipal Code (CMC) section 19.74.140.I, ground-mounted signs are only allowed for free-standing buildings in shopping centers when the building exceeds 10,000 square feet in size. Since the proposed building is less than 10,000 square feet in size, a condition is included to remove the ground-mounted sign from the project.

It appears from the lighting cut-sheets that the wall sconces project light upward as well as downward from the fixture. Since CMC 19.60.050 requires all exterior lighting to be directed

downward, a condition is recommended to replace or adapt the proposed lighting to avoid upward lighting.

There is an existing grassy berm and several trees in the 10-foot landscape area between the site and adjacent public streets which, in conjunction with the proposed railing/plantings, is anticipated to adequately screen the drive-through from public views. Part of the project involves relocating the accessible path connecting out to the public sidewalk on East 20th Street approximately 10 feet to the west. It does not appear that the existing pedestrian connection through the berm would be removed and replaced with landscaping. A condition is recommended to remove the hardscape associated with the existing pedestrian connection and replace it with a mounded landscape berm similar to the existing landscape buffer along the street frontages.

Lastly, the application materials provide limited information about the proposed trash enclosure. Recommended condition #6 would specify that the new trash enclosure shall be constructed using split-faced concrete masonry units and solid metal doors, similar to the trash enclosure for the restaurant located immediately west of the project.

Subject to the above, and standard conditions, staff recommends approval of the project.

REQUIRED FINDINGS FOR APPROVAL

Environmental Review

The project has been determined to be categorically exempt under CMC Section 1.40.220 and pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15303 (New Construction or Conversion of Small Structures). Consistent with this exemption, the project consists of the construction of a new commercial pad building less than 10,000 square feet in size, including drive-through food sales, not involving the use of significant amounts of hazardous substances, where all necessary public services are available, and the surrounding area is not environmentally sensitive.

Architectural Review

According to the Chico Municipal Code Section 19.18.060, the Architectural Review and Historic Preservation Board shall determine whether or not a project adequately meets adopted City standards and design guidelines, based upon the following findings:

1. *The proposed development is consistent with the General Plan, any applicable specific plan, and any applicable neighborhood or area plans.*

The proposed restaurant is a commercial redevelopment project in an existing shopping center, consistent with several General Plan policies, including those that encourage compatible infill redevelopment and revitalization of existing commercial centers (LU-4.2, LU-4.4, CD-5 and ED-3) and those that call for minimizing driveways on larger streets (CIRC-1.1 and Table CIRC-1). Approval of the project is consistent with General Plan goals and policies to enhance Chico's long-term prosperity (ED-1), and ensure that regulations and permitting processes for the conduct of commerce do not unreasonably inhibit local business activity (ED-1.3). The project is also consistent with the General Plan's vision of intensifying and revitalizing commercial uses within the East 20th Street Opportunity Site. The site is not located within a Neighborhood Plan or area plan.

- 2. The proposed development, including the character, scale, and quality of design are consistent with the purpose/intent of this chapter and any adopted design guidelines.*

The project promotes orderly development and would increase desirability of investment at *The Village Center* by re-developing a vacated building at a prominent intersection, consistent with the stated purpose of CMC 19.18. The project is consistent with Design Guidelines that call for commercial buildings to use appropriate massing, fenestration, and materials to provide a pedestrian-level scale (DG 2.2.11). The design creates a sense of focus toward the main entrance through the use of a brightly-colored tower element, windows and signage, consistent with DG 2.2.23. Design Guideline consistency is further enhanced by screening HVAC units with roof parapets and parking lot and drive-through areas with low-fencing and landscaping, as called-for by DGs 2.1.25 and 2.1.36.

- 3. The architectural design of structures, including all elevations, materials and colors are visually compatible with surrounding development. Design elements, including screening of equipment, exterior lighting, signs, and awnings, have been incorporated into the project to further ensure its compatibility with the character and uses of adjacent development.*

The design, materials and colors of the proposed new building are visually compatible with the surrounding commercial development, specifically regarding the stucco exterior, flat roof, and tower elements. Exterior equipment will be properly screened from view by roof parapets, landscaping or by locating equipment inside the building.

- 4. The location and configuration of structures are compatible with their sites and with surrounding sites and structures, and do not unnecessarily block views from other structures or dominate their surroundings.*

The proposed structure is compatible with the site in that it will occupy the same corner of the shopping center as an existing vacant building. The drive through lane will be adequately screened by existing landscaping and a proposed new railing screen, and the building will not unnecessarily block views or dominate its surroundings.

- 5. The general landscape design, including the color, location, size, texture, type, and coverage of plant materials, and provisions for irrigation and maintenance, and protection of landscape elements, have been considered to ensure visual relief, to complement structures, and to provide an attractive environment.*

The proposed landscaping will provide visual relief around the new building and reconfigured parking area, with specific attention paid to screening the drive-through aisle from public views along East 20th Street and Forest Avenue.

RECOMMENDED CONDITIONS OF APPROVAL

1. All approved building plans and permits shall note on the cover sheet that the project shall comply with AR 16-12 (Del Taco). No building permits related to this approval shall be finalized without authorization of Planning staff.

2. All approved building plans and permits shall note that wall-mounted utilities and roof or wall penetrations, including vent stacks, utility boxes, exhaust vents, gas meters and similar equipment, shall be screened by appropriate materials and colors. All parapet caps and other metal flashing shall be painted, consistent with the approved building colors. Adequate screening shall be verified by Planning staff prior to issuance of a certificate of occupancy.
3. To comply with City sign regulations the ground-mounted monument sign shall be removed from the project.
4. Replace or adapt the proposed exterior lighting to remove upward-directed lighting.
5. Remove the hardscape (concrete, etc.) associated with the existing pedestrian connection to the East 20th Street sidewalk and replace it with a mounded landscape berm similar to the existing landscape buffer along the street frontages.
6. The new trash enclosure shall be constructed using split-faced concrete masonry units and solid metal doors, similar to the trash enclosure for the restaurant located immediately west of the project.

PUBLIC CONTACT

Public notice requirements are fulfilled by placing a notice on the project site and by posting of the agenda at least 10 days prior to the ARHPB meeting.

ATTACHMENTS

- A. Location Map
- B. Applicant's Project Description
- C. Site Plan
- D. Floor and Roof Plans
- E. Landscape Plans
- F. Building Elevations
- G. Lighting Details
- H. Sign Package

DISTRIBUTION (7)

Bob Summerville, Senior Planner
Mike Sawley, Associate Planner
John Hildebrand, 1078 Harter Road, Yuba City, CA. 95993
Rick Bastianelli, 1078 Harter Road, Yuba City, CA 95993
Thomas J. Owens, P.E., PO Box 965, Ripon, CA 95366
Howard and Aileen Fong, 11 Santos Way, Chico, CA. 95926
Files: AR 16-12 (Del Taco)



Aerial Photo - AR 16-12 (Del Taco)
1957 E. 20th Street
APN: 002-370-013

Attachment A

July 10, 2016

Project Description

This site is repurposing itself from an automobile lube business into a Del Taco Restaurant. The Del Taco brand has moved away from the branding of the 70's and moved into the new century with the use of vibrant colors, articulation, and details that would fit into any high end contemporary shopping center.

The City of Chico's Design Guidelines are a good match for our restaurant design concept. We have provided an articulated roof lines and wall elements (DG2.2.22). We have provided overhangs at the entry ways, awnings over the windows and color breaks to define the sense of entry to the buildings (DG2.2.23). We have provided an outdoor dining space to engage the pedestrian community and customers (DG2.1.35). We have also provided screening of the drive thru with a rail fence that will be covered with ivy (DG 2.1.36). These are just a few of the Del Taco features that play well with the City of Chico Design Guidelines.



CHICO, CALIFORNIA
PROJECT DATA

1957 EAST 20TH AVENUE
CHICO, CALIFORNIA
AFN# 002-310-013

OCCUPANCY GROUP (TABLE 3-A, 2001 CBC)	A-3 (RESTAURANT)
CONSTRUCTION TYPE	TYPE V-N, NONSPRINKLERED
LOT SIZE	0.49 ACRES (21344 SF)
LANDSCAPE AREA	3,964 SF (18%)
BUILDING AREA (PER TABLE 5-B, 2001 CBC)	
ALLOWABLE AREA	6000 SF
BASIC ALLOWABLE AREA	
ACTUAL AREA	
BUILDING AREA	2418 SF
OCCUPANT LOAD	
SEATING COUNT	64 OCCUPANTS
TOTAL OCCUPANT LOAD	86 OCCUPANTS
PARKING	
TOTAL	20 SPACES
HANDICAPPED	2 SPACES
PARKING REQUIRED (1518/94)	16 SPACES

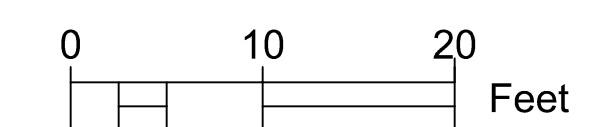
A RECIPROCAL PARKING AGREEMENT APPLIES TO THE SHOPPING CENTER



VICINITY MAP

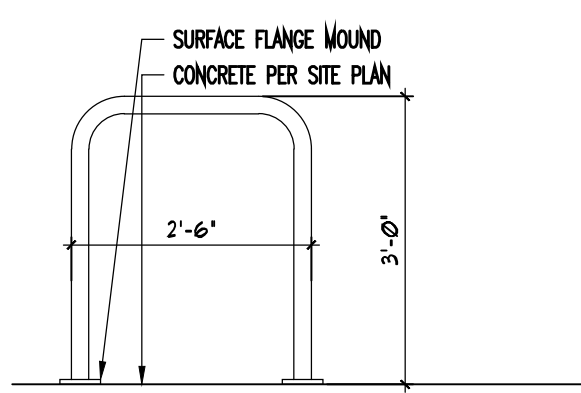
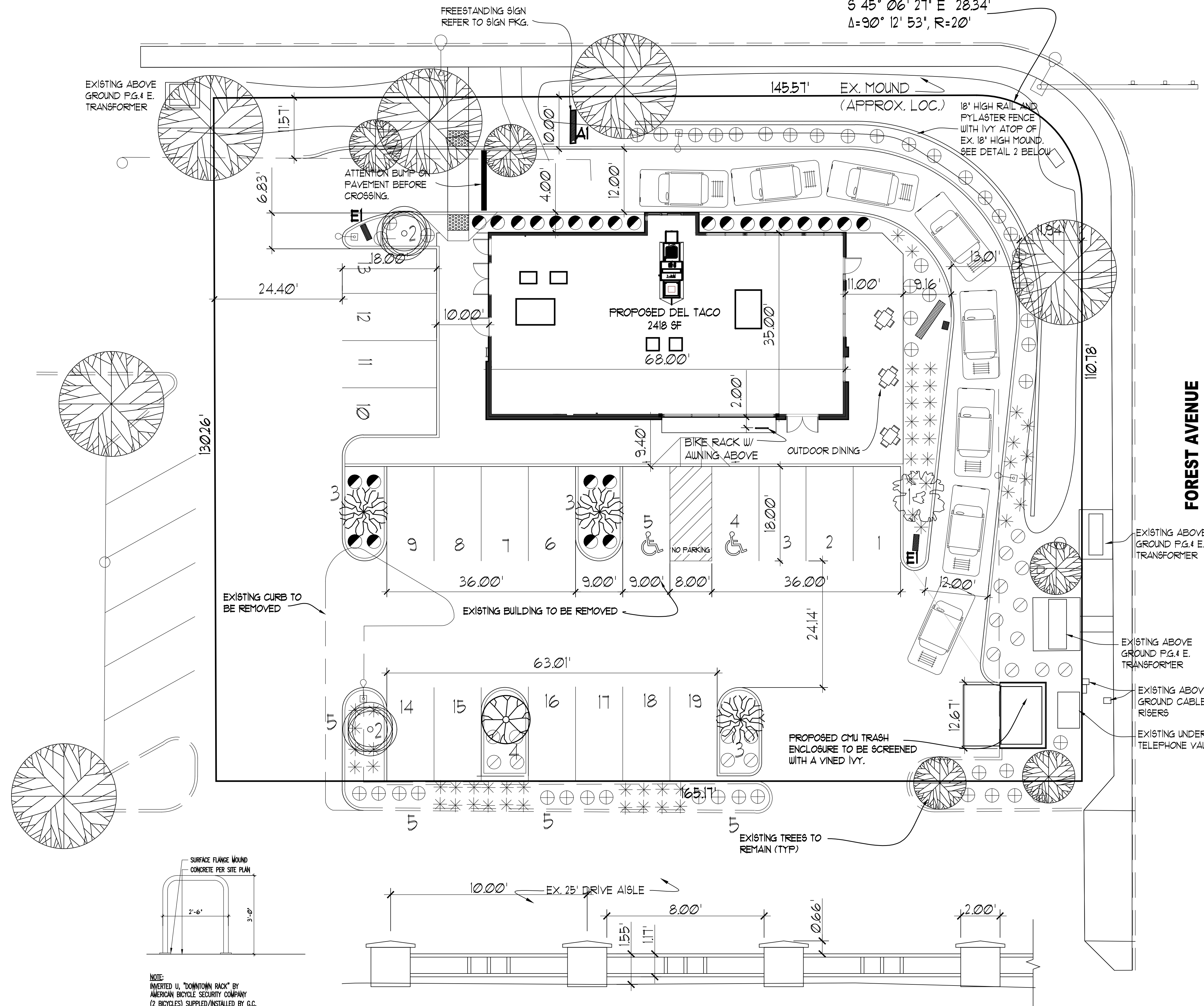
- NOTES:
1. THE ENCLOSED ELECTRICAL ROOM IS LOCATED AT THE REAR OF THE BUILDING (WEST ELEVATION).
 2. HVAC UNITS ARE LOCATED ON THE ROOF WITHIN THE PARAPET WALL AND SCREENED FROM STREET VIEW.
 3. THE TRASH ENCLOSURE WILL BE SET APPROXIMATELY 18' BELOW BACK OF WALK AND OTHER UTILITIES AT STREET LEVEL.

SITE PLAN



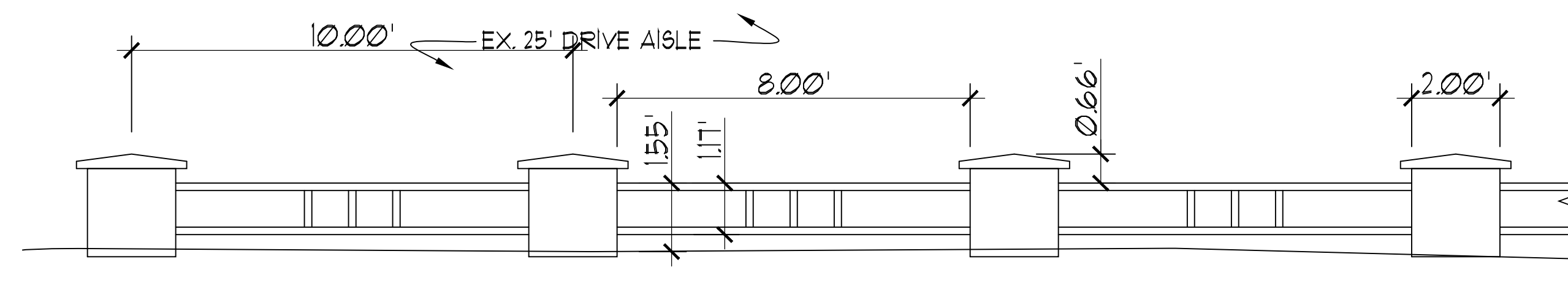
EAST 20th STREET

S 45° 06' 27" E 28.34'
Δ=90° 12' 53", R=20'



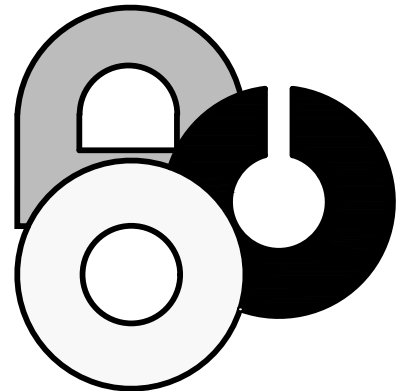
NOTE:
INVERTED U, "DOWNTOWN RACK" BY AMERICAN BICYCLE SECURITY COMPANY (2 BICYCLES) SUPPLIED/INSTALLED BY G.C.

1 BICYCLE RACK
SCALE: 1/2"=1'-0"



2 RAIL FOR IVY SCREEN
SCALE: 3/8"=1'-0"

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Ripon, CA 95366
(209) 522-8031 - fax: (209) 522-4738 - www.odcengr.com



THOMAS J. OWENS
CA R.C.E. 53530
NV R.C.E. 20504
CA LS 8262

PROPOSED
DEL TACO

FOR:
PCRG2, INC

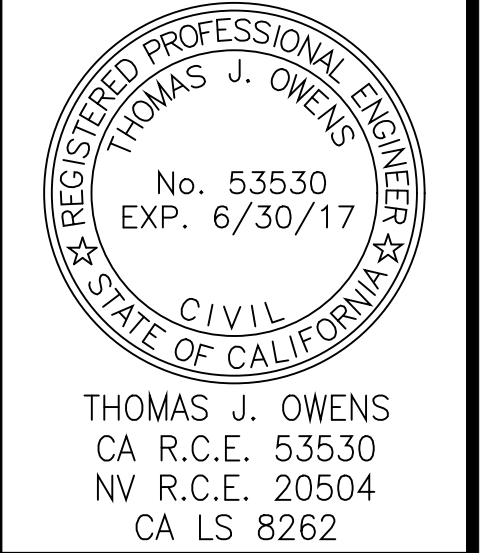
1957 EAST 20TH AVENUE
CHICO, CA

Revisions:	Date

Title:
SITE PLAN

Drawn By: TJO
Checked By: TJO
Scale: AS NOTED
Job No. 2015017
Date: MAR. 2016
CAD File Name: 2015017 BASE

Attachment
C



PROPOSED
DEL TACO RESTAURANT
 FOR:
 PCRG2, INC.
 1957 EAST 20TH STREET
 CHICO, CA

Revisions:	Date

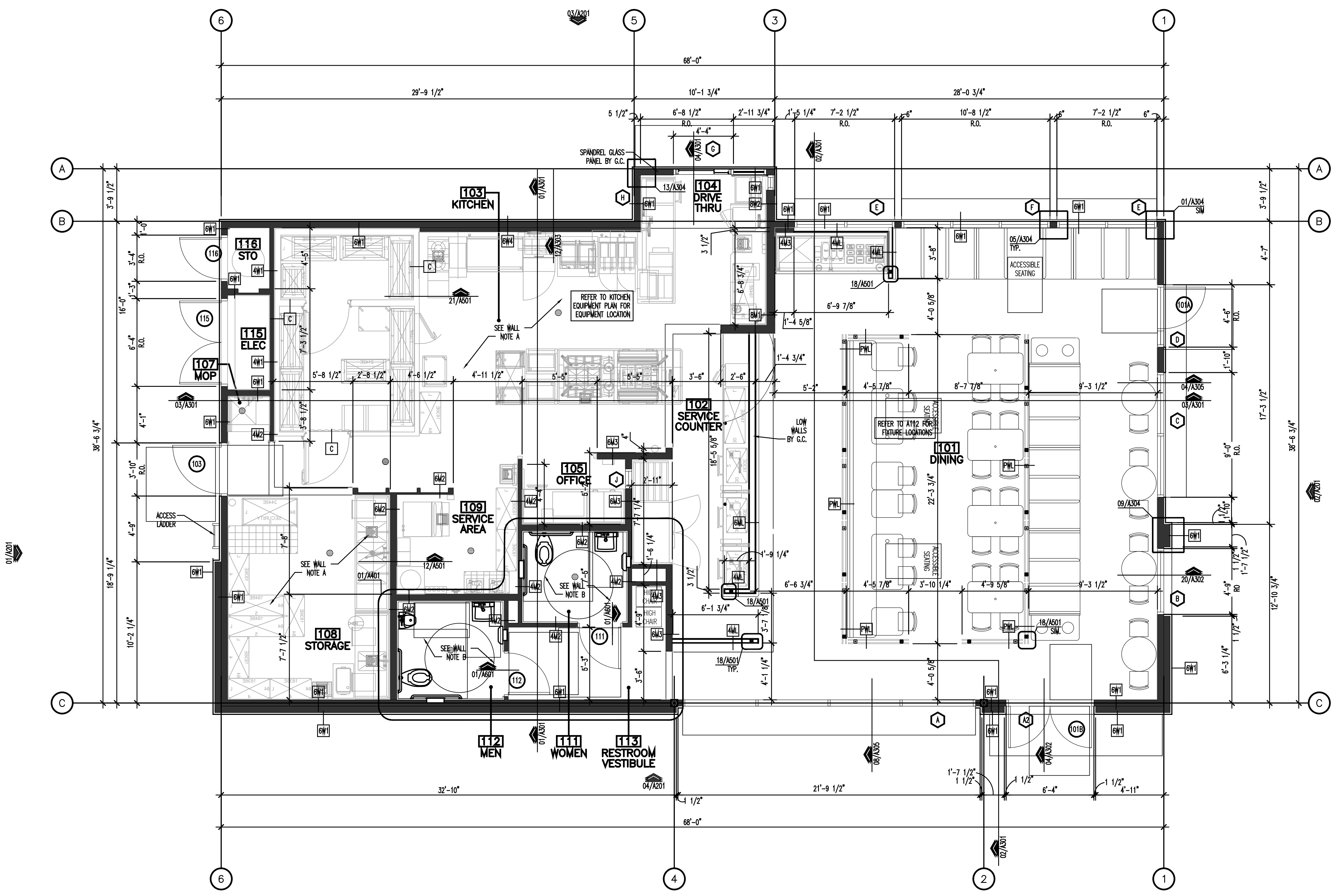
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Floor Plan

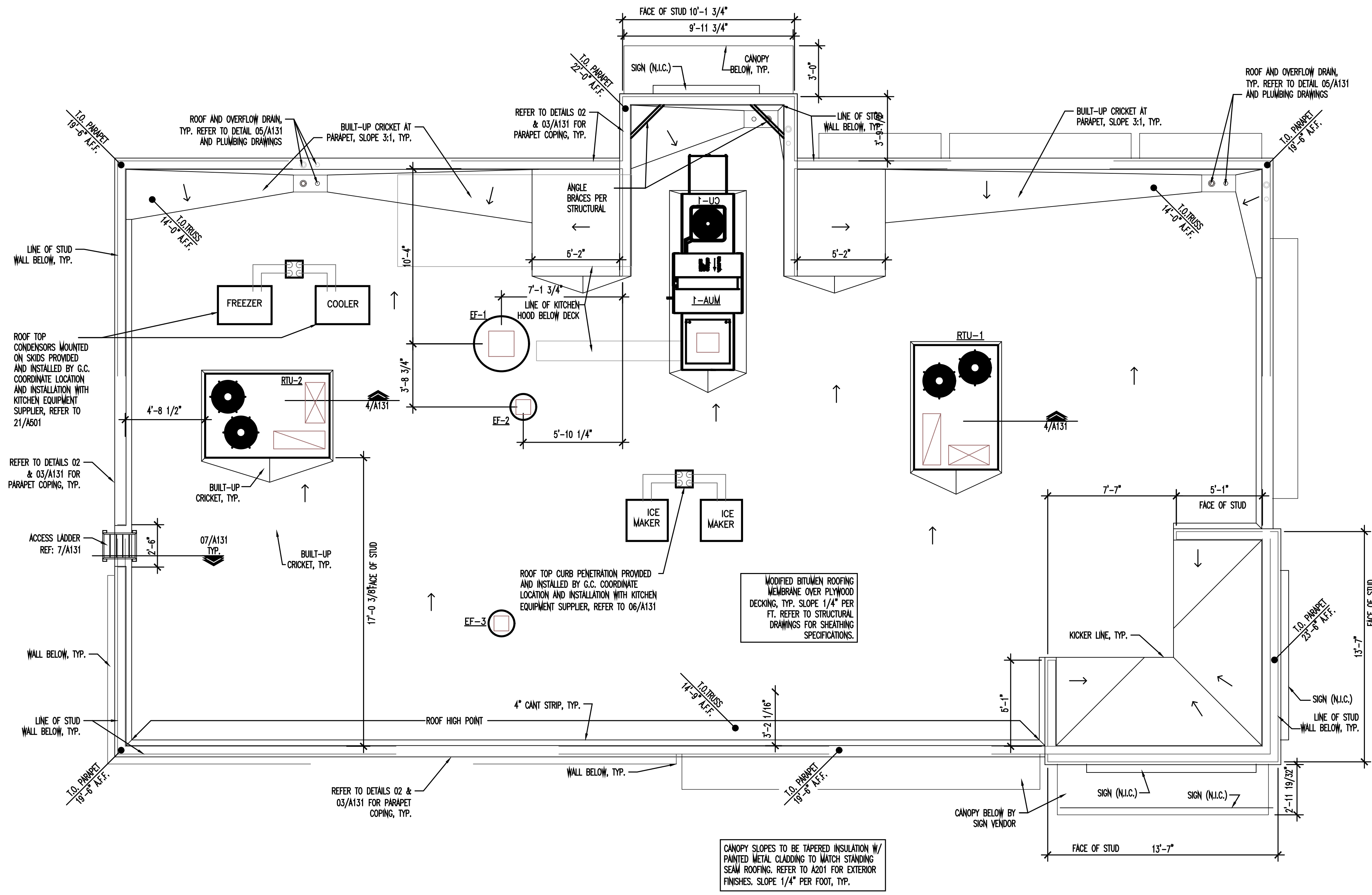
Drawn By: *TJO*
 Checked By: *TJO*
 Scale: *AS NOTED*
 Job No. *2015017*
 Date: *MAR. 2016*
 CAD File Name:
2015015 BASE

- GENERAL NOTES:**
- CONTRACTOR SHALL OBTAIN, READ, AND IMPLEMENT ALL REQUIREMENTS AS SET FORTH BY THE DESIGN AND CONSTRUCTION CRITERIA. SHOULD ANY CRITERIA BE IN CONFLICT WITH THESE PLANS, CONTACT THE ARCHITECT AS SOON AS THE DISCREPANCY IS DETECTED.
 - REFER TO SHEET A112 FOR LOCATION OF FIRE EXTINGUISHERS.
 - PROPERTY ADDRESS PER LOCAL AUTHORITY HAVING JURISDICTION. INSTALLED BY SIGN CONTRACTOR UNDER SEPARATE CONTRACT AND SEPARATE PERMIT.
 - ALL BATT INSULATION IN WALLS TO BE R-19 AT ALL EXTERIOR WALLS AND R-38 AT ROOF.
 - REFER TO KEY PLANS FOR INTERIOR ELEVATIONS KEYS ON INTERIOR ELEVATION SHEETS.
 - ALL WOOD BLOCKING TO BE FIRE RETARDANT TREATED TYPICAL. REFER TO SHEET K5 FOR WALL BLOCKING LAYOUT.
 - ALL WOOD PLATES IN CONTACT WITH THE SLAB SHALL BE PRESSURE TREATED LUMBER, TYPICAL.
 - G.C. TO INSULATE BEHIND ALL PLUMBING IN EXTERIOR WALLS, TYP.
 - ALL DIMENSIONS TO FACE OF STUD, U.N.O.
 - INTERIOR "HOLD" OR "CLEAR" DIMENSIONS ARE FINISH DIMENSIONS.
 - ALL R.O. DIMENSIONS TO FINISH, U.N.O.
 - REFER 10/A501 FOR TYPICAL WALL BOTTOM PLATE TO SLAB DETAIL.

- WALL LEGEND:**
- FULL HEIGHT PARTITION
 - LOW WALL
 - LOW WALL - PANEL SYSTEM
 -
 -
 -
 -
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 -
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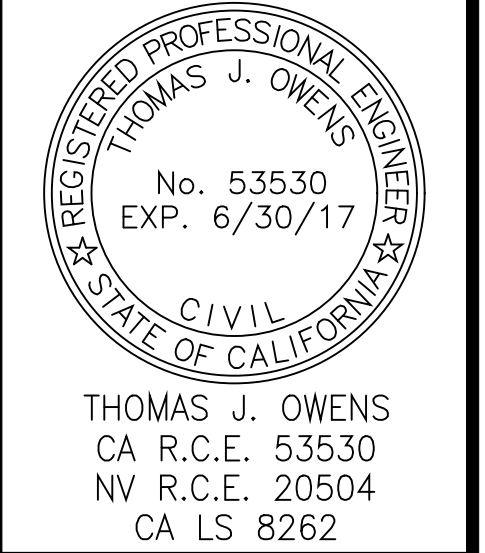
- WALL NOTES:**
- A. ALL WALLS IN B.O.H. AREA TO HAVE SHEATHING 0" TO 12" A.F.F. 5/8" CEMENTITIOUS TILE BACKER BOARD AND 12" TO 48" A.F.F. TO BE MOISTURE RESISTANT GYP. BD.
- B. ALL WALLS IN RESTROOMS TO HAVE 0" TO 12" A.F.F. 5/8" CEMENTITIOUS TILE BACKER BOARD AND 12" TO CEILING 5/8" MOISTURE RESISTANT GYP. BD.





01 ROOF PLAN
SCALE: 1/4"=1'-0"

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PROPOSED
DEL TACO RESTAURANT
FOR:
PCRG2, INC.
1957 EAST 20TH STREET
CHICO, CA

Revisions:	Date

Title:
Floor Plan

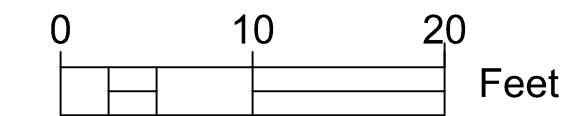
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Checked By: *TJO*
Scale: *AS NOTED*
Job No. *2015017*
Date: *MAR. 2016*
CAD File Name:
2015015 BASE

Attachment D

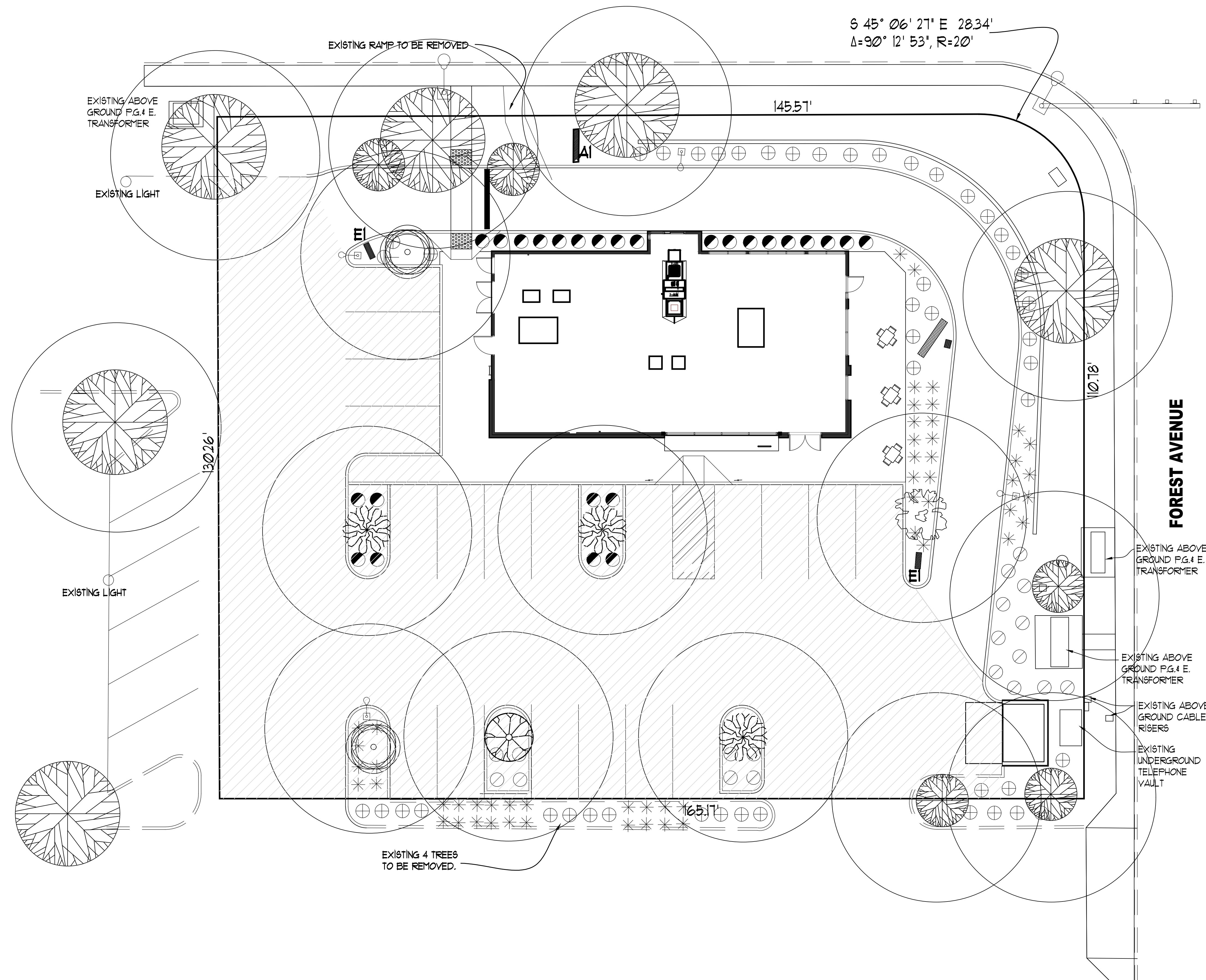


EAST 20th STREET

S 45° 06' 27" E 28.34'
 Δ=90° 12' 53", R=20'



MAGNETIC



TREE SHADE ANALYSIS

No.	Tree Name	Full Shade	3/4 Shade	1/2 Shade	1/4 Shade	QTY	Total	
1	Autum Splendor Maple	707	530.25	353.5	176.75	0.5	353.5	
2	Cork Oak	1256	942	628	314	1.5	1884	
3	Chinese Pistache	1256	942	628	314	3	3768	
4	Scarlet Oak	1256	942	628	314	0.75	942	
5	Ex. Chinaberry 6"± DBH	6 to be removed						
							Total	6947.5

Total Parking lot area = 10539 sf Percent Coverage 6948/10539= 66%

= AREA FOR PARKING LOT SHADING

TREE SCHEDULE

I.D.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	SPACE	QUANT.	WATER REQ.	TYPE
A		EXISTING TREES IN SHOPPING CENTER	VARIES					
B		AUTUMN SPLENDOR MAPLE	ACER SACCHARINUM "AUTUMN SPLENDOR"	24" BOX		1	MEDIUM	TREE
C		CORK OAK	QUERCUS SUBER	24" BOX		2	LOW	TREE
D		CHINESE PISTACHE	PISTACHIA CHINENSIS	24" BOX		3	LOW	TREE
E		SCARLET OAK	QUERCUS COCCINEA	24" BOX		1	LOW	TREE

SHRUB SCHEDULE

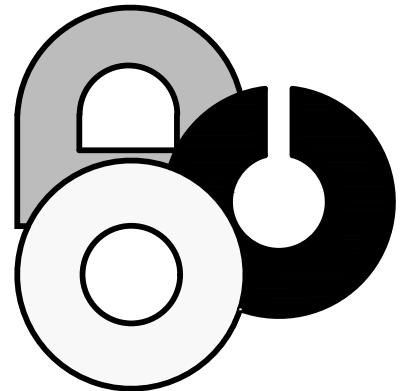
D		LILY OF THE NILE	AGAPANTHUS	1 GAL.	3' TO 4' OC	52	MEDIUM	PERENNIAL
E		ROYAL BURGRUNDY	BERBERIS THUNBERGII	5 GAL.	4' TO 6' OC	43	LOW	SHRUB
F		GOLDEN PRINCE EUONYMUS	EUONYMUS	5 GAL.	4' TO 6' OC	22	LOW	SHRUB
G		INDIAN HAWTHORN	RHAPHOLEPIS	5 GAL.	4' TO 6' OC	19	LOW	SHRUB

MISC. PLANTING SCHEDULE

AT		ENGLISH IVY	HEDERA HELIX		6' OC	22	MEDIUM	VINE
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- ON SITE SOILS ARE TYPICALLY POORLY DRAINED GALT CLAY SERIES SOILS. LANDSCAPE CONTRACTOR SHALL RIP PLANTING AREAS A MINIMUM OF 36" TO 60" AND BACKFILL WITH SOIL AMENDMENTS PRIOR TO PLANTING.
- DRIP IRRIGATION WILL BE USED TO ITS FULLEST EXTENT FOR INTRODUCED PLANTING.
- EXISTING LANDSCAPING AN IRRIGATION AT THE PERIMETER OF THE PROJECT WILL BE SAVED TO THE GREATEST POSSIBLE EXTENTS.
- FOUR EXISTING TREES THAT APPEAR TO BE CHINESE PISTACHE WITH TRUNKS MEASURING 6"± WILL BE REMOVED AS THEY WERE PLANTED OVER THE EXISTING STORM DRAIN FILTER SYSTEM.

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PROPOSED
DEL TACO
 FOR:
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 1957 EAST 20TH AVENUE
 CHICO, CA

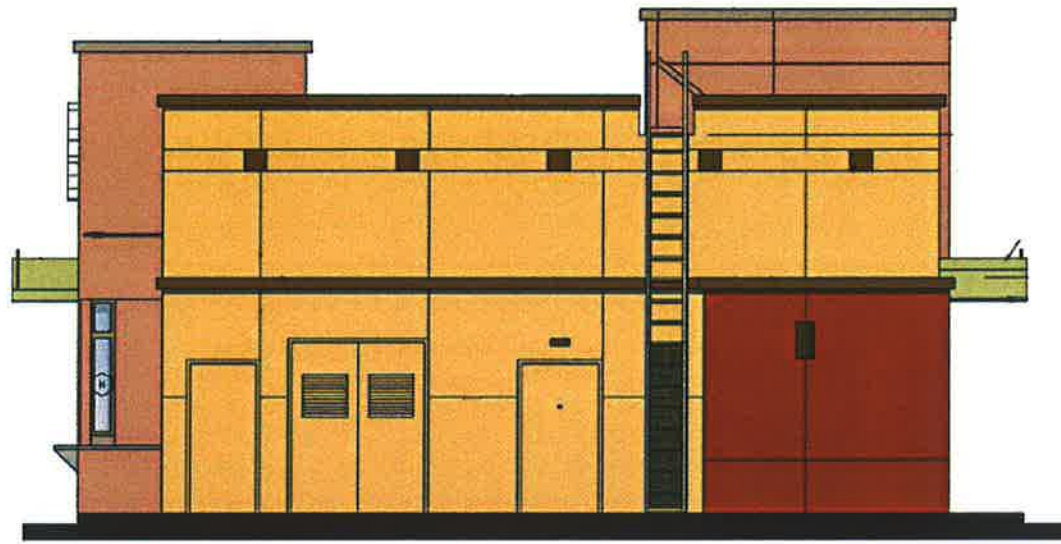
Revisions:	Date

Title:
LANDSCAPE PLANTING PLAN

Drawn By: TJO
 Checked By: TJO
 Scale: AS NOTED
 Job No. 2015017
 Date: MAR. 2016
 CAD File Name: 2015017 BASE

LANDSCAPE PLANTING PLAN

Attachment E



01 WEST ELEVATION
SCALE: 1/4"=1'-0"



02 EAST ELEVATION
SCALE: 1/4"=1'-0"



04 NORTH ELEVATION
SCALE: NTS



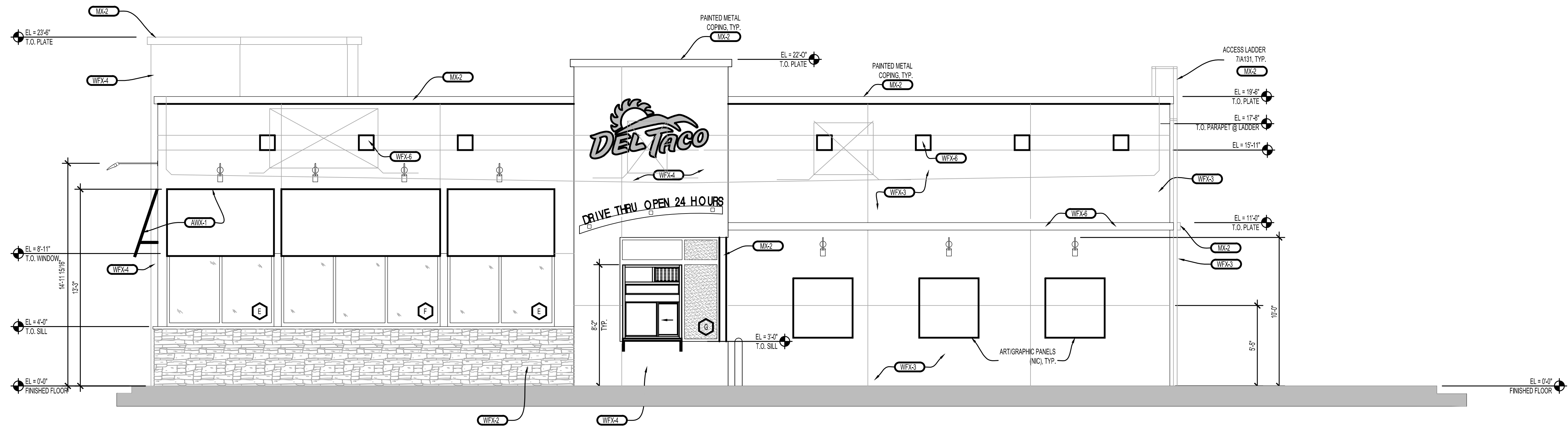
03 SOUTH ELEVATION
SCALE: NTS

RECEIVED

AUG 04 2016

CITY OF CHICO
PLANNING SERVICES

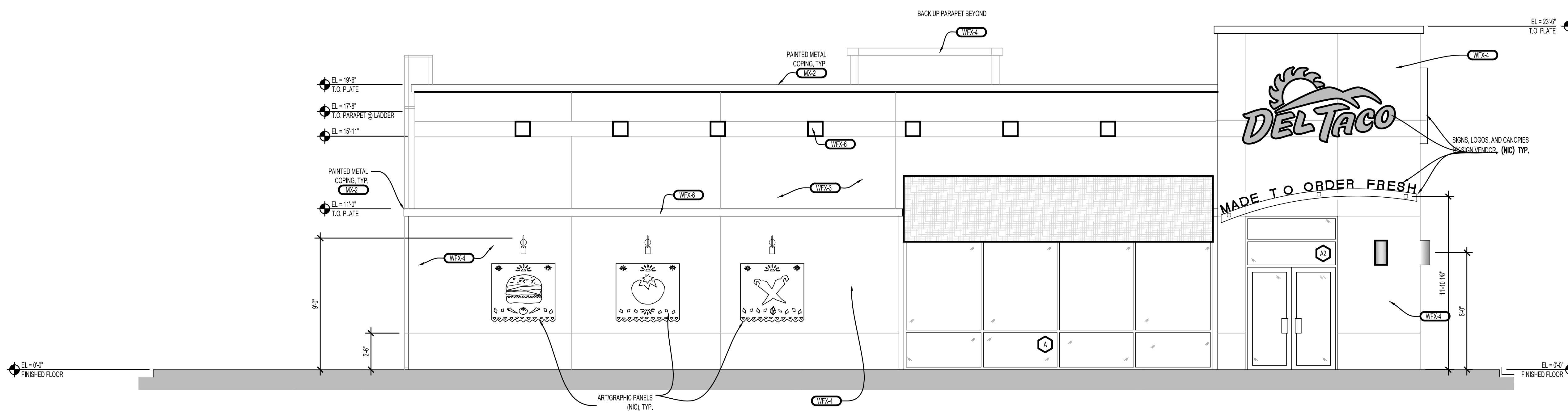




NORTH ELEVATION

SCALE
1/4"=1'-0"

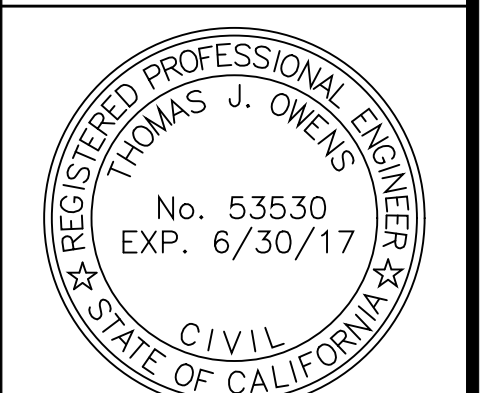
B



SOUTH ELEVATION

SCALE
1/4"=1'-0"

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NV R.C.E. 20504
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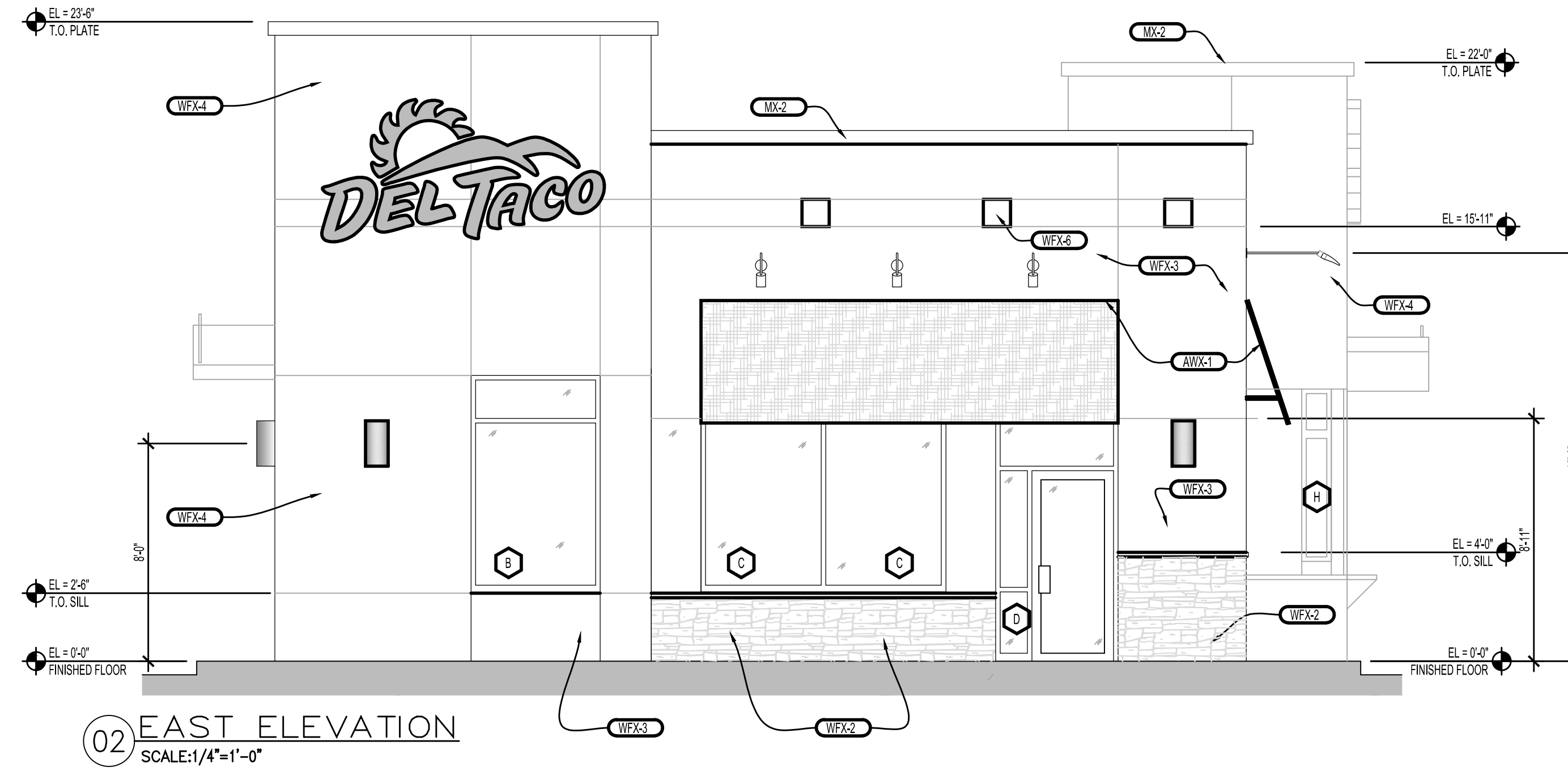
PROPOSED
DEL TACO RESTAURANT
FOR:
PCRG2, INC.
1957 EAST 20TH STREET
CHICO, CA

Revisions:	Date
1	
2	
3	
4	
5	
6	
7	
8	

Title:
ELEVATIONS

Drawn By: TJO
Checked By: TJO
Scale: AS NOTED
Job No. 2015017
Date: MAR. 2016
CAD File Name: 2015015 BASE

Attachment F

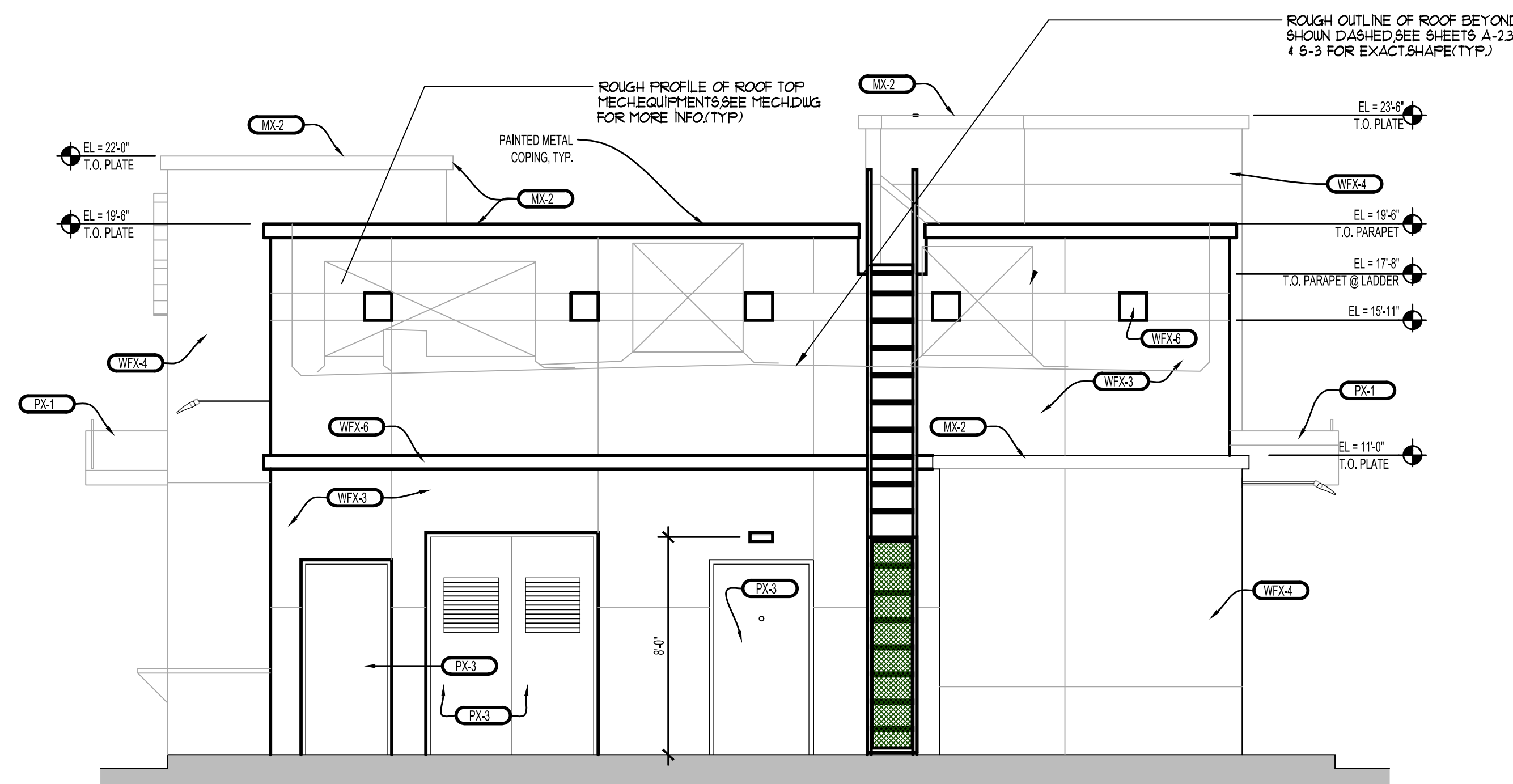


02 EAST ELEVATION
SCALE: 1/4"=1'-0"

EAST ELEVATION

SCALE
1/4"=1'-0"

B



WEST ELEVATION

SCALE
1/4"=1'-0"

A

EXT. MATERIAL/FINISH SCHEDULE	
FINISH	DESCRIPTION
Misc	MISC
MX-1	NOT USED
MX-2	MANUFACTURER: PRODUCT/FINISH: METAL FLASHING / TRM COLOR: TO MATCH PX-2 NOTES:
PX	PAINT & STAIN
PX-1	MANUFACTURER: PPG PITTSBURGH PAINTS PRODUCT/FINISH: PRX100 GLOSS EPOXY PAINT COLOR: TO MATCH SUP #12 LIUAI GREEN - GLOSS CONTACT: 800-441-9695, www.ppgpittsburghpaints.com NOTES: EPOXY FINISH TO BE APPLIED TO METAL ROOF (15 YEAR FILM COATING & 5 YEAR FADE WARRANTY MIN)
PX-2	MANUFACTURER: SHERWIN WILLIAMS PRODUCT/FINISH: SW 16090 - GLOSS COLOR: JAVA CONTACT: JOHN GASTON, 2145533940
PX-3	MANUFACTURER: SHERWIN WILLIAMS PRODUCT/FINISH: SW 16380 - SATIN COLOR: HUMBLED GOLD CONTACT: JOHN GASTON, 2145533940
PX-4	MANUFACTURER: SHERWIN WILLIAMS PRODUCT/FINISH: SW 16081 - SATIN COLOR: CHINESE RED CONTACT: JOHN GASTON, 2145533940
PX-5	MANUFACTURER: SHERWIN WILLIAMS PRODUCT/FINISH: SW 1616 - SATIN COLOR: TAJAMI TAN CONTACT: JOHN GASTON, 2145533940
WFX	WALL FINISHES
WFX-1	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ HEAVY SAND FLOAT FINISH COLOR: PAINTED PX-5 NOTES:
WFX-2	MANUFACTURER: CORONADO STONE PRODUCT/FINISH: OLD COUNTRY LEDGE COLOR: CHABLIS GROUT: LATCRETE #3 CHOCOLATE TRUFFLE; MINIMIZE GROUT LN CONTACT: NOTES:
WFX-3	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ HEAVY SAND FLOAT FINISH COLOR: PAINTED PX-3 NOTES:
WFX-4	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ MONTEREY FINISH COLOR: PAINTED PX-4 NOTES:
WFX-5	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ HEAVY SAND FLOAT FINISH COLOR: PAINTED PX-1 NOTES:
WFX-6	MANUFACTURER: PRODUCT/FINISH: STUCCO W/ HEAVY SAND FLOAT FINISH COLOR: PAINTED PX-2 NOTES:
AWX	AWINGS
AWX-1	MANUFACTURER: SUNBRELLA PRODUCT/FINISH: TRI-VANTAGE OUTDOOR COLOR: GINKGO GREEN (4685-0000)

OWENS DESIGN CONSULTANTS
 P.O. Box 965
 Ripon, CA 95366
 (209) 522-8031 - fax: (209) 522-4738 - www.odcengr.com

THOMAS J. OWENS
 CA R.C.E. 53530
 NV R.C.E. 20504
 CA LS 8262

PROPOSED
DEL TACO RESTAURANT
 FOR:
 PCRG2, INC.
 1957 EAST 20TH STREET
 CHICO, CA

Revisions:	Date
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

Title:
ELEVATIONS

Drawn By: TJO
 Checked By: TJO
 Scale: AS NOTED
 Job No. 2015017
 Date: MAR. 2016
 CAD File Name: 2015015 BASE

Attachment
F



Mounting arm for LED Wallpack
Color: Bronze

Weight: 2.6 lbs

Project:	Type: J & J2
Prepared By:	Date:

Technical Specifications

Other

Threads:

1/2" NPS at the fixture Side.

Country of Origin:

Designed by RAB in New Jersey and assembled in Taiwan.

Trade Agreements Act Compliant:

This product is a product of Taiwan and a "designated country" end product that complies with the Trade Agreements Act.

GSA Schedule:

Suitable in accordance with FAR Subpart 25.4.

Construction

Diameter:

Diameter of the tube is 1".

Mounting:

The wall plate does not mount to a junction box but directly to the mounting surface with the proper hardware for the surface.

Accessory Only:

LPACK LED fixture sold separately.

Arm:

Use to extend fixtures away from wall and to adjust the aiming angle of the light fixture. Great for facade and sign lighting .

Swivel Plate:

Die cast aluminum Swivel Plate adjusts 30° in both directions and mounts to RAB's WPLED10, WPLED13 and WPLED20 fixtures.

Mounting:

Die cast aluminum Wall Mounting Plate. Fits over recessed junction box and mounts to wall with anchors by others.

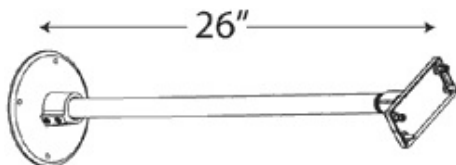
Construction:

All aluminum construction 1" diameter, thick extension rod. Secures to Wall Mounting Plate with (2) stainless steel set screws.

Max Weight Capacity:

9.0 lbs.

Dimensions



Features

LPACK LED fixture sold separately

Accessory for LED LPACK

Includes wires for easy connection to fixture wires and supply wires

Ordering Matrix

Family	Size	Shape	Finish
ARM	24 = 24"	= Straight Arm SV = Arm with Swivel	= Bronze W = White

WPLED20Y



Ultra-high efficiency 20 Watt wallpack. Patent Pending thermal management system. 100,000 hour L70 lifespan. 5 Year Warranty.

Color: Bronze

Weight: 6.1 lbs

Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type:	Constant Current	Watts:	20W
120V:	0.19A	Color Temp:	3000K (Warm)
208V:	0.12A	Color Accuracy:	71 CRI
240V:	0.10A	L70 Lifespan:	100,000
277V:	0.08A	Lumens:	985
Input Watts:	22W	Efficacy:	45 LPW
Efficiency:	92%		

Technical Specifications

Listings

UL Listing:

Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

Dark Sky Approved:

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated color temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2008.

Color Accuracy:

70 CRI

Color Temperature (Nominal CCT):

3000K

Construction

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

Cold Weather Starting:

The minimum starting temperature is -30_C.

Ambient Temperature:

Suitable for use in 50°C (122°F) ambient temperatures.

Thermal Management:

Integral cast aluminum mounting pad and external fins for optimal heat sinking to ensure cool operation with maximum LED life and light output.

Housing:

Precision die cast aluminum housing, lens frame and mounting plate.

Two Mounting Options:

Junction Box with 5 Conduit Entry Points and Threaded Plugs for surface mounting plus Cover Plate for mounting over 4" recessed junction box included with WPLED20.

Green Technology:

RAB LEDs are Mercury, Arsenic and UV free.

For use on LEED Buildings:

IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.

Gaskets:

High Temperature Silicone.

Electrical

THD:

6.82% at 120V

Driver:

Automatic Voltage Sensing Driver for 120-277 volts.

Driver:

Constant Current, Class2, 100 -277V, 50/60 Hz, 100 - 240VAC 0.3 - 0.15A, 277VAC 0.15A

Surge Protection:

4kV

Optical

Fixture Efficacy:

45 Lumens per Watt

Other

Patents:

The LPACK design is protected under patents in the U.S. Pat. D634873, Canada Pat. 133207, China Pat. ZL201030129137, Taiwan Pat. D139540 and Mexico Pat. 32491

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.

Equivalency:

The WPLED20 is Equivalent in delivered lumens to a 150W Metal Halide Wallpack.

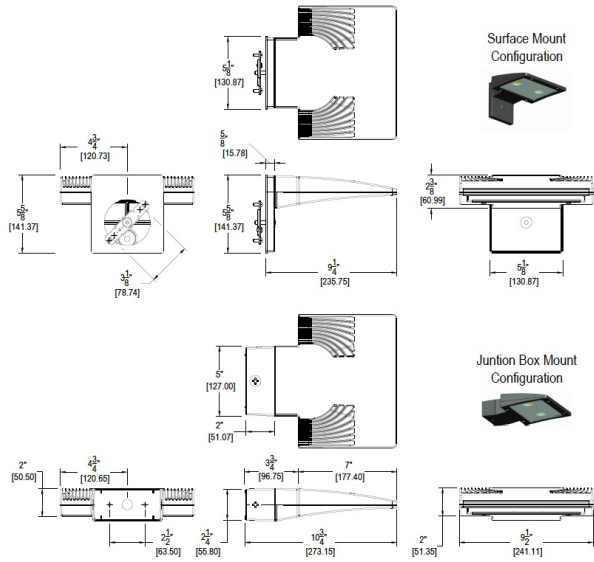
Technical Specifications (continued)

Other

HID Replacement Range:

The WPLED20 can be used to replace 100-175W Metal Halide Wallpacks based on delivered lumens.

Dimensions



Features

- Ultra-high efficiency 20 Watt wallpack
- Maintains 70% of initial lumens at 100,000 hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- Replaces 100W MH
- 100 up to 277 Volts
- 5-year warranty

Ordering Matrix

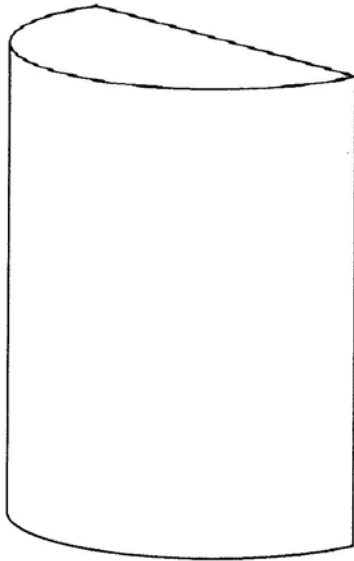
Family	Watts	Color Temp	Sensor	Surface Plate	Finish	Photocell
WPLED	20 = 20W	= Cool Y = Warm N = Neutral	= No Sensor MS = Mini Sensor	= No Surface Plate S = Surface Plate	= Bronze W = White	= No Photocell /PC = 120V Button /PCS = 120V Swivel /PC2 = 277V Button



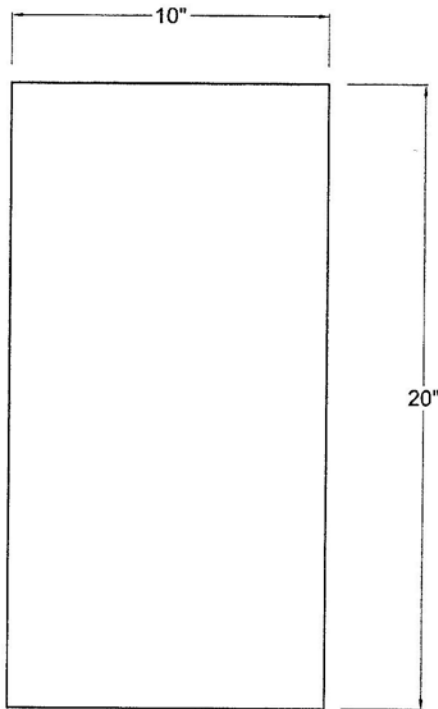
HI-LITE MFG. CO., INC.

13450 Monte Vista Avenue
 Chino, California 91710
 Telephone: (909) 465-1999
 Toll Free: (800) 465-0211
 Fax: (909) 465-0907
 www.hilitemfg.com

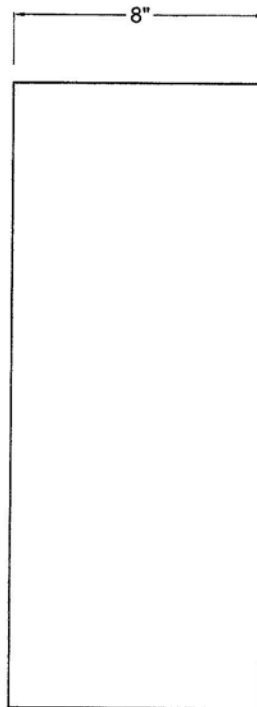
JOB NAME:		
SCALE: N.T.S.	DATE: 03/05/2015	TYPE: J3
DRAWN BY: S.M.	QTY:	REV:
SHEET:		



ISOMETRIC VIEW



FRONT VIEW



SIDE VIEW

Item Number	Wattage	Voltage
H-99826-B-BK01/MBCOP	2-150W	120V

Finish
 BK01/Medium Brushed Copper

Mounting
 Wall Mount

Lamp/Socket
 2 - Medium Base INC/150W max.
 2 Lamp 1 UP/1 DOWN

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LED AREA LIGHTS - LSI SLICE MEDIUM (XLCM)



DOE LIGHTING FACTS

Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit www.lightingfacts.com for specific catalog strings.

LIGHT OUTPUT - XLCM							
		Lumens (Nominal)					Watts (Nominal)
		Type 3	Type FT	Type 5	Type5E	TypeFTE	
Cool White	SS	19900	22800	22900	15500	15800	193
	HO	27500	30900	31100	21200	21100	278
Neutral White	SS	19300	20000	20600	15000	15000	193
	HO	26700	27800	28500	20100	20400	278

LED Chips are frequently updated therefore values may increase.

US & Int'l. patents pending

SMARTTEC™ - LSI drivers feature integral sensor which reduces drive current, when ambient temperatures exceed rated temperature.

ENERGY SAVING CONTROL OPTION - DIM - 0-10 volt dimming enabled with controls by others. Available with High Output (HO) drive current only.

EXPECTED LIFE - Minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.

LEDS - Select high-brightness LEDs in Cool White (5000K), or Neutral White (4000K) color temperature, 70 CRI.

DISTRIBUTION/PERFORMANCE - Types 3, FT, FT-L, FT-R, 5, and enhanced 5E and FTE. FT-L and FT-R allow for D180 mounting configurations with factory set optics for applications such as automotive front row. Exceptional uniformity creates bright environment at lower light levels. Internal Louver (IL) option available for improved backlight control without sacrificing street side performance for FT distribution. Consult factory for internal louver for FT-L and FT-R applications.

HOUSING - One-piece, die-formed aluminum housing contains factory prewired driver. Wiring access door (with safety lanyard) located underneath.

OPTICAL UNIT - Clear tempered flat glass lens permanently sealed to weather-tight aluminum optic frame creates an IP65 rated optical unit (includes pressure-stabilizing breather).

MOUNTING - Tapered rear design allows fixtures to be mounted in 90° and 120° configurations without the need for extension arms. Use with 3" reduced drilling pattern. A round pole plate is required for mounting to round poles. Wall mount available by ordering wall mounting bracket (BKS-XBO-WM-* -CLR). Proprietary pole quick mount accessories available with horizontal mounting or fixed 15° angled mounting (PQM15-KIT-CLR and PQM15-KIT-CLR) for mounting to square poles. See Accessory Ordering Information chart for all brackets.

ELECTRICAL - Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Location Category C. Available with universal voltage power supply 120-277 VAC (50/60Hz input), and 347-480 VAC. Optional button-type photocells (PCI) are available in 120, 208, 240, 277 or 347 volt (supply voltage must be specified).

DRIVER - Available in SS (Super Saver) and HO (High Output) drive currents. Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

OPERATING TEMPERATURE - -40°C to +50°C (-40°F to +122°F)

FINISH - Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Available in black, bronze and white. Other standard LSI finishes available. Consult factory.

WARRANTY - LSI LED fixtures carry a limited 5-year warranty.

PHOTOMETRICS - Please visit our web site at www.lsi-industries.com for detailed photometric data.

SHIPPING WEIGHT (in carton) - One fixture: 25.25 lbs. (11.5 kg). Packed two per carton: 43.5 lbs. (19.7 kg).

LISTING - UL listed to U.S. and international safety standards. Suitable for wet locations. For a list of the specific products in this series that are DLC listed, please consult the LED Lighting section of our website or the Design Lights website at www.designlights.org.

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.



Fixtures comply with ANSI C136.31-2010 American National Standard for Roadway Lighting Equipment - Luminaire Vibration 1.5G requirements.



Project Name _____ Fixture Type _____
 Catalog # _____

11/13/15

Attachment G

LED AREA LIGHTS - LSI SLICE MEDIUM (XLCM)

LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **XLCM 5 LED SS CW UE BLK PCI120**

Prefix	Distribution	Light Source	Drive Current	Color Temperature	Input Voltage	Finish	Options
XLCM	3 - Type III 5 - Type V FT - Forward Throw FT-L - Forward Optic Rotated for D180 Mount (Left Side) FT-R - Forward Optic Rotated for D180 Mount (Right Side) 5E - Type V Enhanced FTE - Forward Throw Enhanced	LED	SS - Super Saver HO - High Output	CW - Cool White (5000K) NW - Neutral White (4000K)	UE - Universal Voltage (120-277V) 347-480 Universal Voltage (347-480V)	BLK - Black BRZ - Bronze WHT - White	DIM - 0-10V Dimming (from external signal) available with High Output (HO) drive current only Button Type Photocells PCI120 - 120V PCI208-277V - 208-277V PCI347 - 347V IL - Internal Louver (available with FT distribution only)

LUMINAIRE EPA CHART - XLCM

	Single	0.5
	D180°	1.0
	D90°	0.8
	T90°	1.7
	TN120°	1.7
	Q90°	1.9

Note: House Side Shield adds to fixture EPA. Consult Factory.

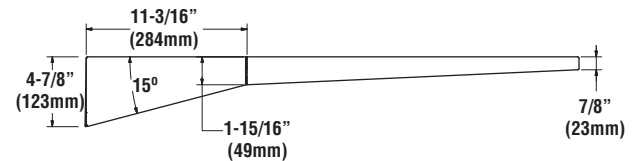
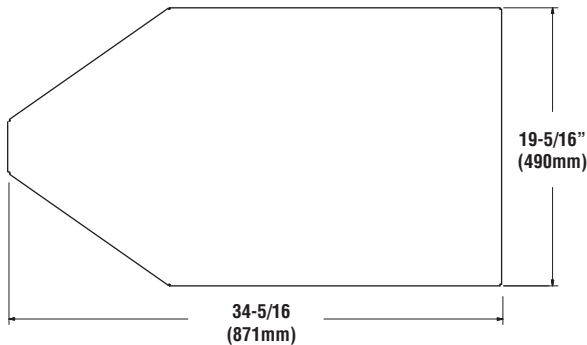
ACCESSORY ORDERING INFORMATION (Accessories are field installed)

Description	Order Number	Description	Order Number
BKS-XBO-WM-* - CLR Wall Mount Bracket	382132CLR	FK120 Single Fusing (120V)	FK120 ²
XLCM-3/FT-HSS RM External House Side Shield (Black only - rear mounted)	603159BLK ¹	FK277 Single Fusing (277V)	FK277 ²
XLCM-FT-L/FT-R-HSS SM External House Side Shield (Black only - side mounted)	603161BLK ¹	DFK208, 240 Double Fusing (208V, 240V)	DFK208, 240 ²
X4RPP Round Pole Plate for 4" Poles	379967CLR	DFK480 Double Fusing (480V)	DFK480 ²
X5RPP Round Pole Plate for 5" Poles	379968CLR	FK347 Single Fusing (347V)	FK347 ²
		PQMH-KIT-CLR Square Pole Quick Mount Horizontal Bracket	582328CLR
		PQM15-KIT-CLR Square Pole Quick Mount Bracket w/fixed 15° Angle	582329CLR

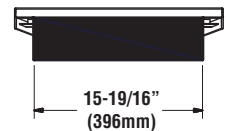
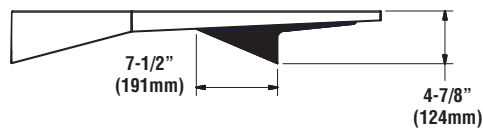
FOOTNOTES:

- 1 - House Side Shields add to fixture EPA. Consult factory.
- 2 - Fusing must be located in the hand hole of pole.

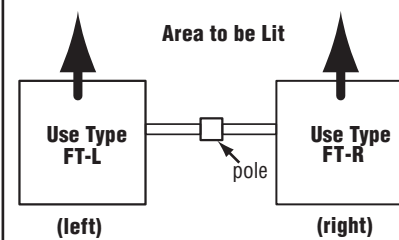
DIMENSIONS



HOUSE SIDE SHEILD (rear mount)



LEFT AND RIGHT VERSIONS OF TYPE FT REFLECTORS (TOP VIEW)



Note: Optics are not field-rotatable. For D180 Forward Throw installations specify left (FT-L) and/or right (FT-R) side mounting. Orientation is based on standing at the pole and looking out at the area to be lit.



Project Name _____ Fixture Type _____
Catalog # _____

11/13/15

Attachment G
© 2015 LSI INDUSTRIES, INC.

CLIENT



PROJECT
 DEL TACO #XXXX

LOCATION
 1957 E 20TH STREET,
 CHICO, CA 95928

SHEET TITLE
SITE PLAN

ACCT. REP.
 GINA MATTI
 DESIGNER
 JEREMY READ

DATE
 05/18/16

SCALE
 NOTED

CUSTOMER APPROVAL

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DWG #	16-495	PROJECT #	318689
REVISION NO.	0	WO#	

REVISIONS			
NO.	DATE	DESIGNER	DESIGNER
1	00/00/00	7	00/00/00
2		8	
3		9	
4		10	
5		11	
6		12	

KEY NO.

KEY

- A1** D/F INTERNALLY ILLUMINATED 4'-0" X 6'-0" MONUMENT SIGN @ 8'-0" OAH 'DEL TACO'
- B1** S/F INTERNALLY ILLUMINATED 22" CHANNEL LETTER WALL SIGN (40 SQ. FT.) 'DEL TACO'
- B2** S/F INTERNALLY ILLUMINATED 22" CHANNEL LETTER WALL SIGN (40 SQ. FT.) 'DEL TACO'
- B3** S/F INTERNALLY ILLUMINATED 22" CHANNEL LETTER WALL SIGN (40 SQ. FT.) 'DEL TACO'
- C1** 7" FLAT CUT OUT NON-ILLUMINATED CANOPY COPY "MADE TO ORDER FRESH"
- C2** 5" FLAT CUT OUT NON-ILLUMINATED CANOPY COPY "DRIVE THRU OPEN 24 HOURS"
- D1** INTERNALLY ILLUMINATED SPEAKER MENU
- E1** INTERNALLY ILLUMINATED DIRECTIONAL SIGN, 1'-6" X 3'-1 3/8" CABINET. ("DRIVE-THRU")
- E2** INTERNALLY ILLUMINATED DIRECTIONAL SIGN, 1'-6" X 3'-1 3/8" CABINET. ("THANK YOU DO NOT ENTER").

SQUARE FOOTAGE SUMMARY:

ALLOWABLE SIGNAGE PER FRONTAGE = MAX ALLOWED 200 SQ. FT.

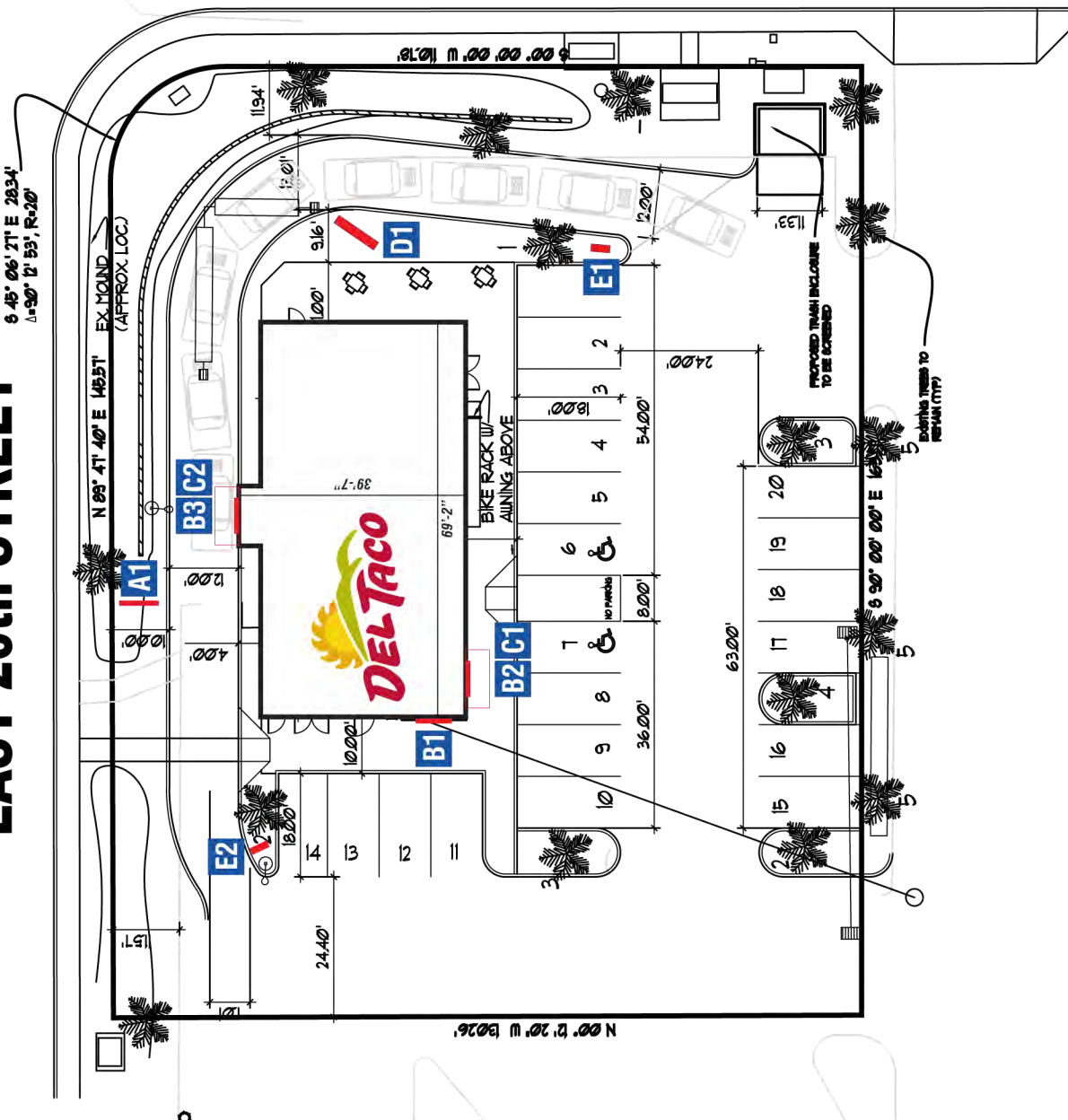
BUILDING IDENTIFICATION:

A1: 4'-0" x 6'-0" MONUMENT SIGN = 48.0 SQ. FT.
 B1: 22" CHANNEL LETTER SIGN = 31.8 SQ. FT.
 B2: 22" CHANNEL LETTER SIGN = 31.8 SQ. FT.
 B3: 22" CHANNEL LETTER SIGN = 31.8 SQ. FT.
 C1: 7" FCO CANOPY LETTERS = 4.7 SQ. FT.
 C1: 5" FCO CANOPY LETTERS = 3.7 SQ. FT.
 TOTAL = 151.8 SQ. FT.

D1: 4'-0" X 5'-6" MENU DISPLAY = 22.0 SQ. FT.
 E1: 1'-6" X 3'-1" DIRECTIONAL = 4.6 SQ. FT.
 E2: 1'-6" X 3'-1" DIRECTIONAL = 4.6 SQ. FT.
 ART GRAPHICS (LESS NEG. SPACE) = 81.0 SQ. FT.
 TOTAL = 259.4 SQ. FT.

EAST 20th STREET

FOREST DRIVE



SITE PLAN

SCALE: 1" = 30'-0"

APPROVED BY: _____ DATE: _____
CUSTOMER APPROVAL

PROJECT
 DEL TACO #XXXX

LOCATION
 1957 E 20TH STREET,
 CHICO, CA 95928

SHEET TITLE
MONUMENT SIGN

ACCT. REP.
 GINA MATI
 DESIGNER
 JEREMY READ
 DATE
 05/18/16
 SCALE
 NOTED

CUSTOMER APPROVAL

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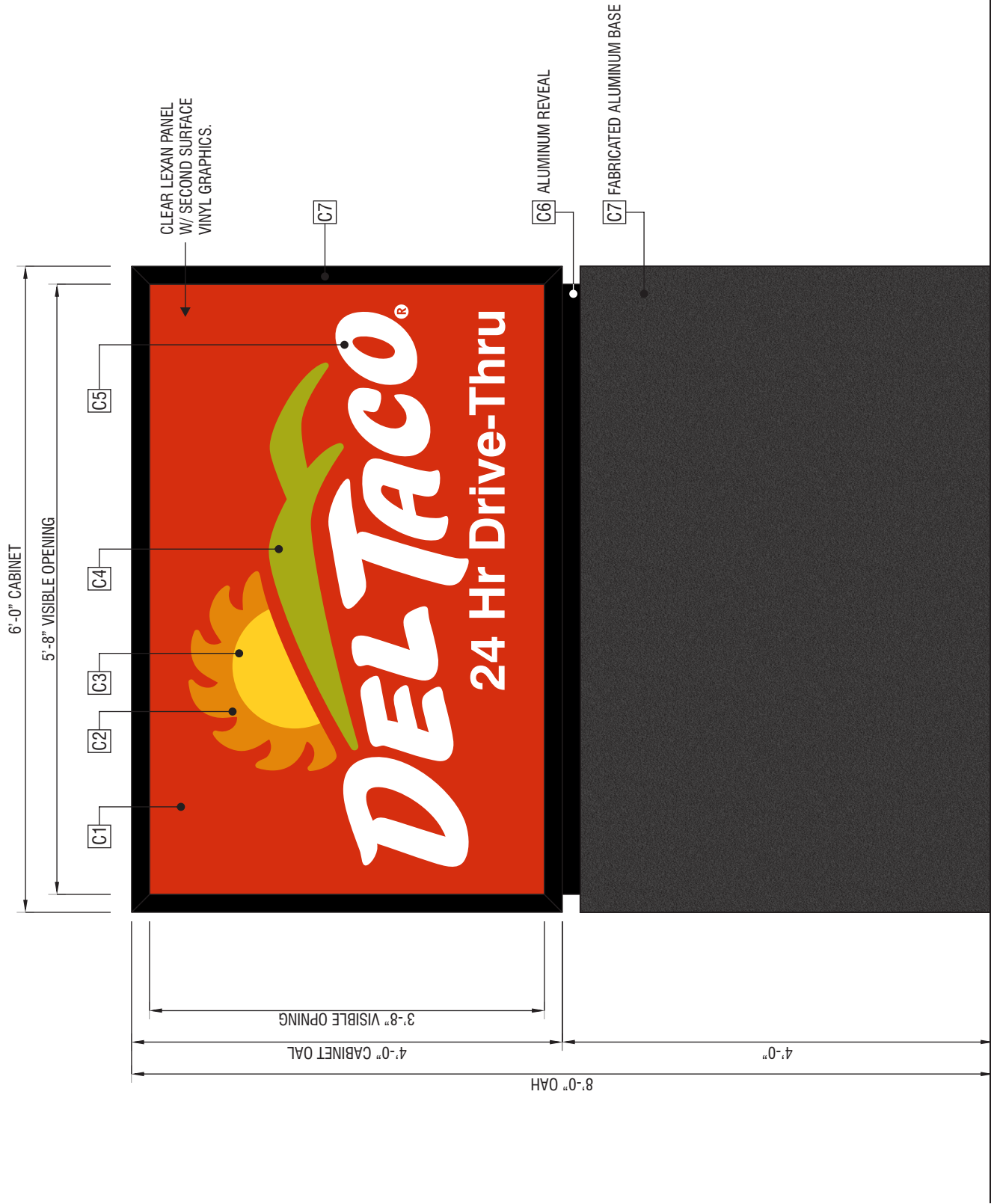
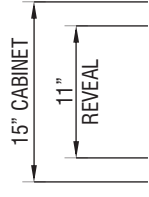
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11	
12	

KEY NO.
A1

COLOR SPECIFICATIONS

C1	3M 3630-33 "Red" Translucent Vinyl
C2	Arion Series 2500-3820 - Custom to match PMS 144C
C3	3M 3630-015 "Yellow" Translucent Vinyl
C4	Arion Series 2500-3819 - Custom to match PMS 383C
C5	3M 3630-20 "White" Translucent Vinyl or Substrate (for 1st surface applications)
C6	Paint Black
C7	Paint Black, Tex-Cote applied.

NOTES: 120V POWER. SIGN TO BE UL LISTED WITH APPROVED DISCONNECT SWITCH. GROUNDING AND BONDING IN ACCORDANCE WITH ARTICLE 600 NEC.



END VIEW

ELEVATION VIEW

D/F 4'-0" X 6'-0" MONUMENT @ 8'-0" OAH

SCALE: 3/4" = 1'-0"

APPROVED BY: _____ DATE: _____

CUSTOMER APPROVAL

CLIENT



PROJECT
 DEL TACO #XXXX

LOCATION
 1957 E 20TH STREET,
 CHICO, CA 95928

SHEET TITLE
 ELEVATIONS

ACCT. REP.
 GINA MATI
 DESIGNER
 JEREMY READ
 DATE
 05/18/16

SCALE
 NOTED

CUSTOMER APPROVAL

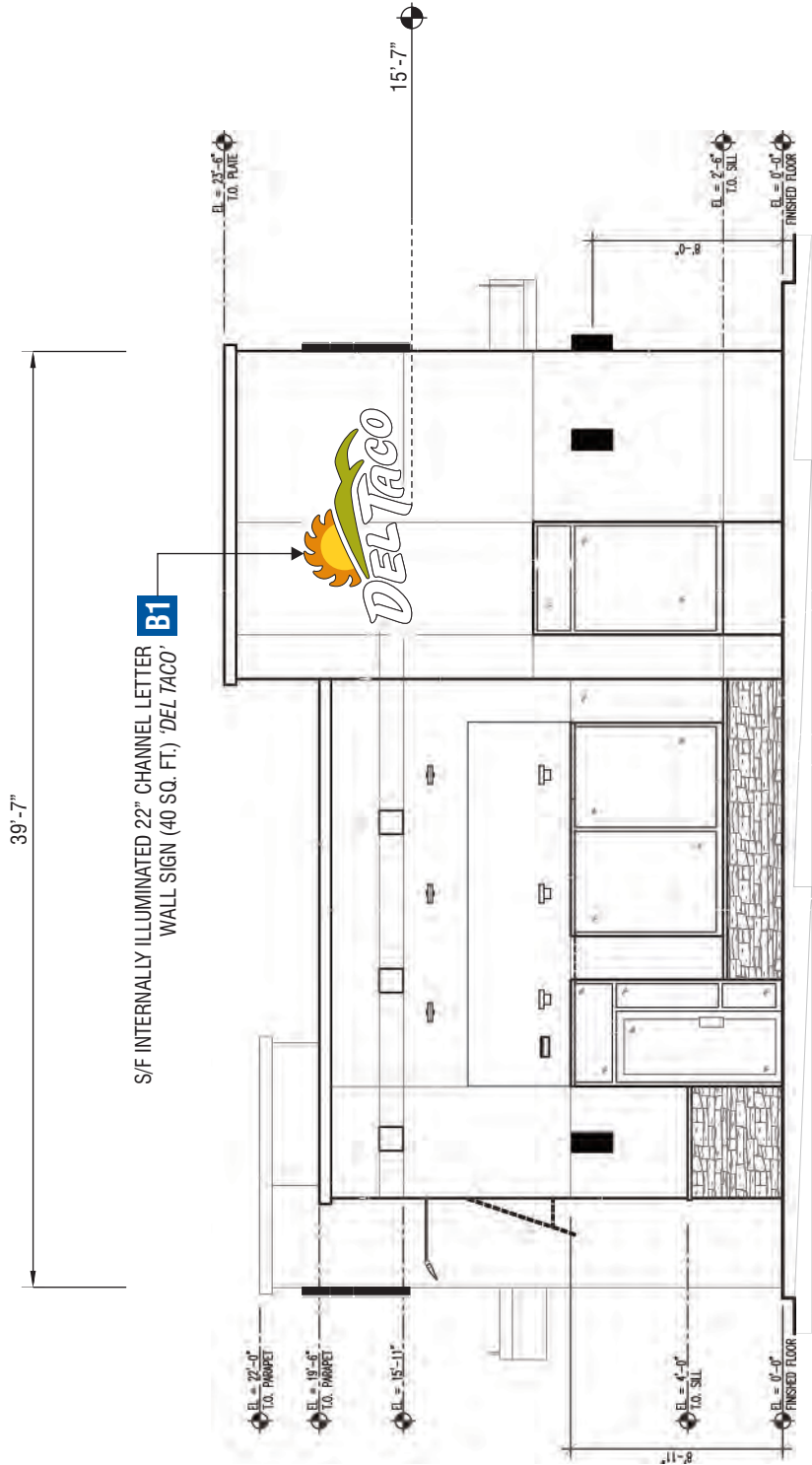
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REVISIONS			
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KEY NO.
B1 B2 C1

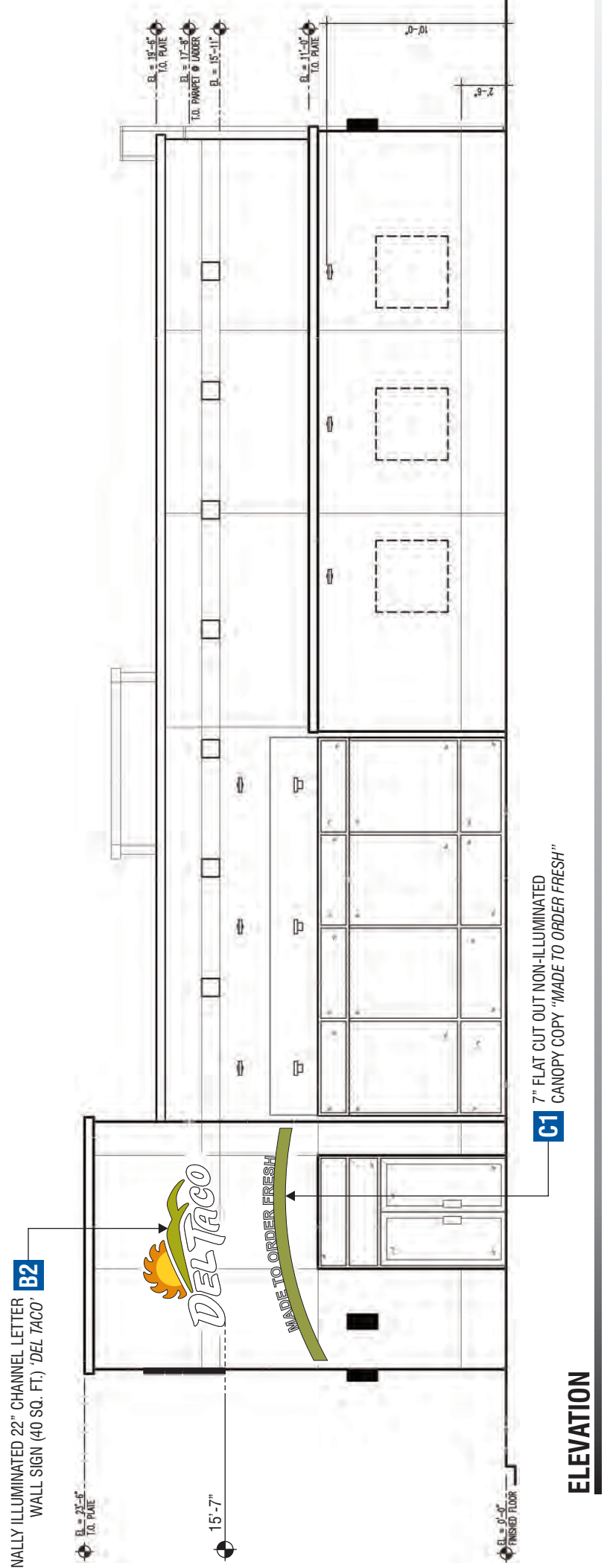


S/F INTERNALLY ILLUMINATED 22" CHANNEL LETTER WALL SIGN (40 SQ. FT.) 'DEL TACO' **B1**

ELEVATION

SCALE: 1/8" = 1'-0"

69'-2"



S/F INTERNALLY ILLUMINATED 22" CHANNEL LETTER WALL SIGN (40 SQ. FT.) 'DEL TACO' **B2**

C1 7" FLAT CUT OUT NON-ILLUMINATED CANOPY COPY "MADE TO ORDER FRESH"

ELEVATION

SCALE: 1/8" = 1'-0"

APPROVED BY: _____
 DATE: _____
CUSTOMER APPROVAL

CLIENT



PROJECT
 DEL TACO #XXXX

LOCATION
 1957 E 20TH STREET,
 CHICO, CA 95928

SHEET TITLE
 ELEVATIONS

ACCT. REP
 GINA MATI
 DESIGNER
 JEREMY READ

DATE
 05/18/16

SCALE
 NOTED

CUSTOMER APPROVAL

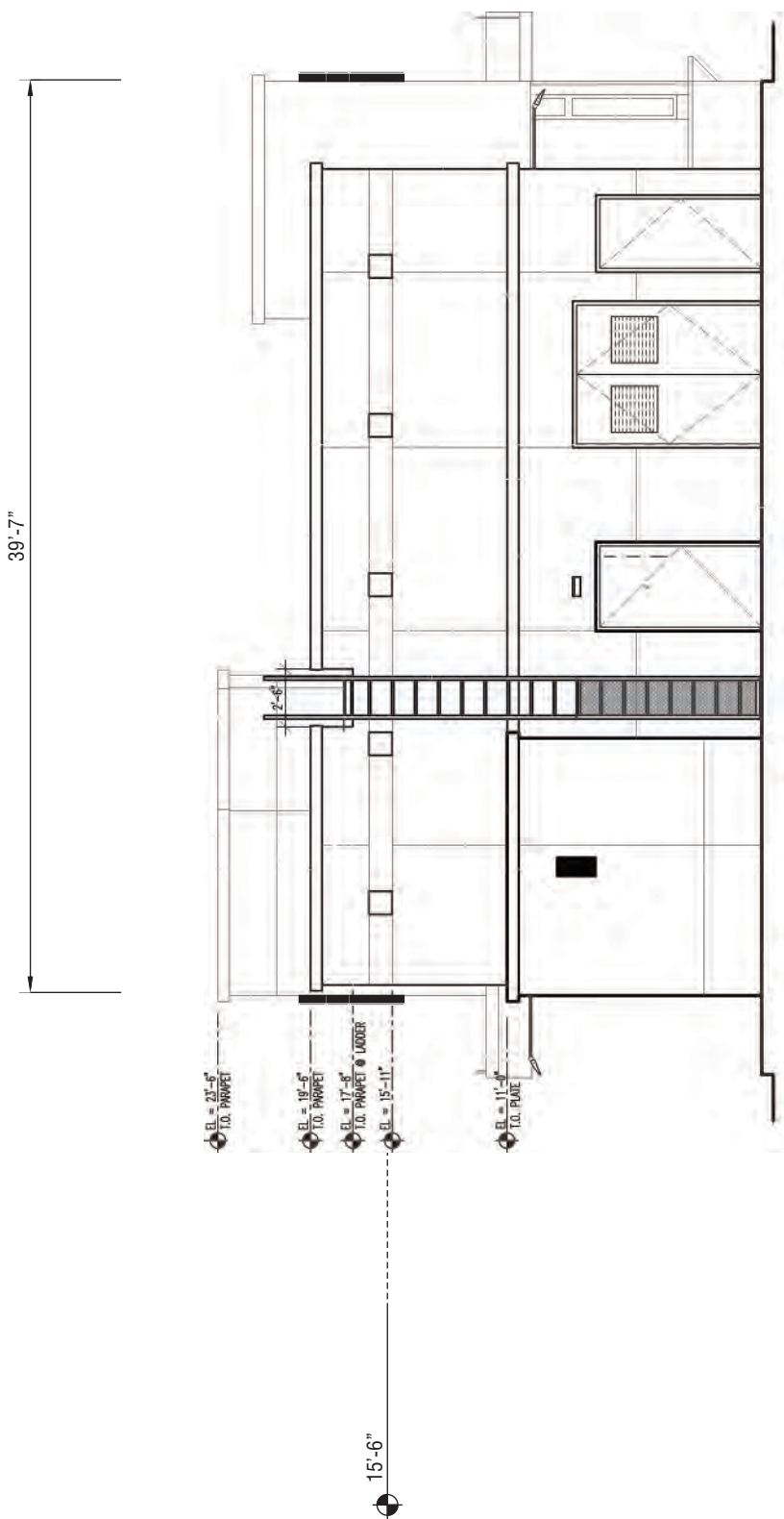
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DWG #	16-495	PROJECT #	318689
REVISION NO.	0	WO#	

REVISIONS			
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KEY NO.
B3 C2



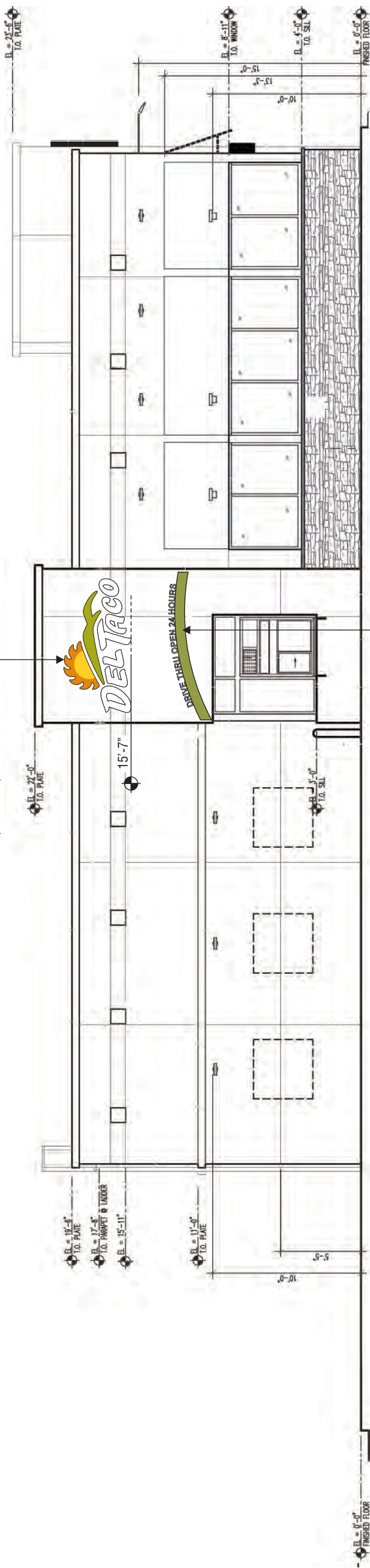
ELEVATION

SCALE: 1/8" = 1'-0"

69'-2"

S/F INTERNALLY ILLUMINATED 22" CHANNEL LETTER WALL SIGN (40 SQ. FT.) 'DEL TACO'

B3



ELEVATION

SCALE: 1/8" = 1'-0"

C2 5" FLAT CUT OUT NON-ILLUMINATED CANOPY COPY "DRIVE THRU OPEN 24 HOURS"

CUSTOMER APPROVAL

APPROVED BY:

DATE:

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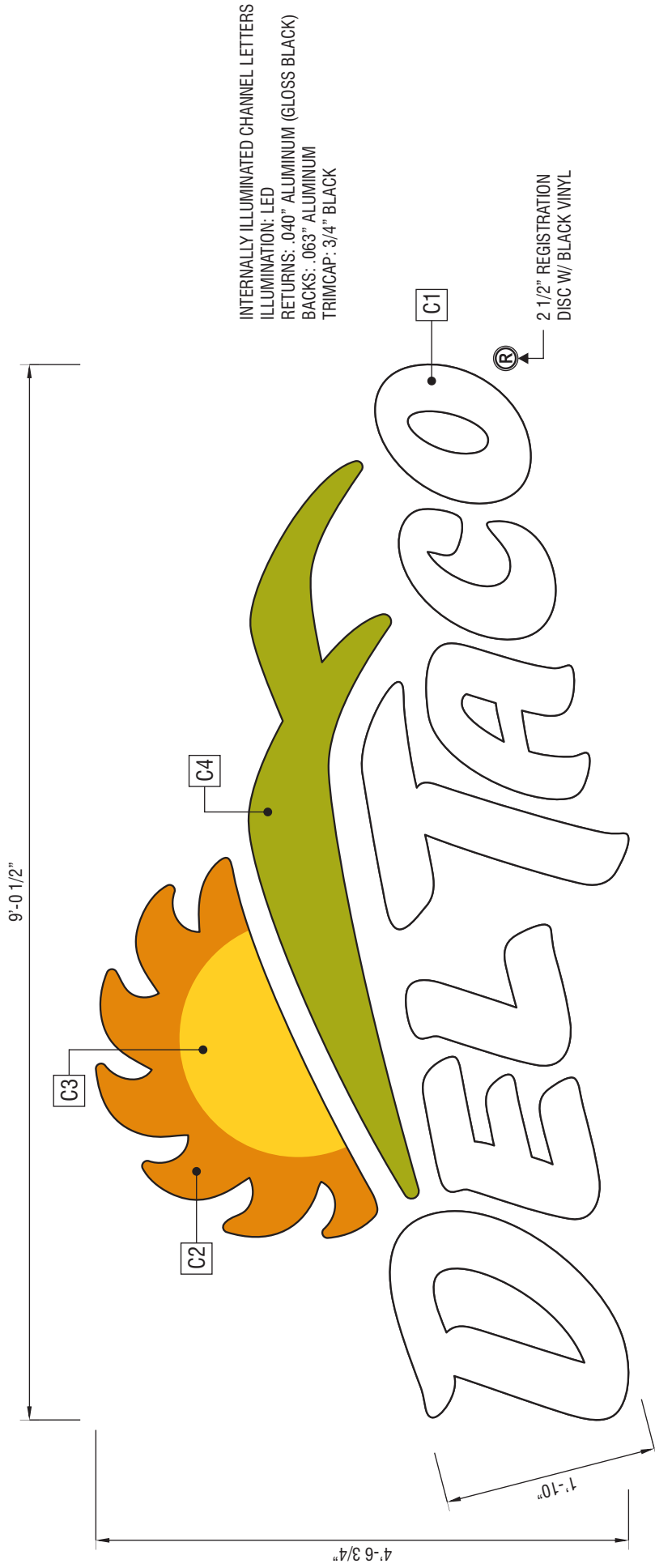
B1 B2 B3

COLOR SPECIFICATIONS

APPROVED VINYL COLORS

C1	White Acrylic (7328)
C2	Arion Series 2500-3820 - Custom to match PMS 144C
C3	3M 3630-015 "Yellow" Translucent Vinyl
C4	Arion Series 2500-3819 - Custom to match PMS 383C
C5	Paint Black w/ Gloss Finish

PRIMARY ELECTRICAL 120 V
 SIGN TO BE UL LISTED (W/ DISCONNECT SWITCH AS REQUIRED)

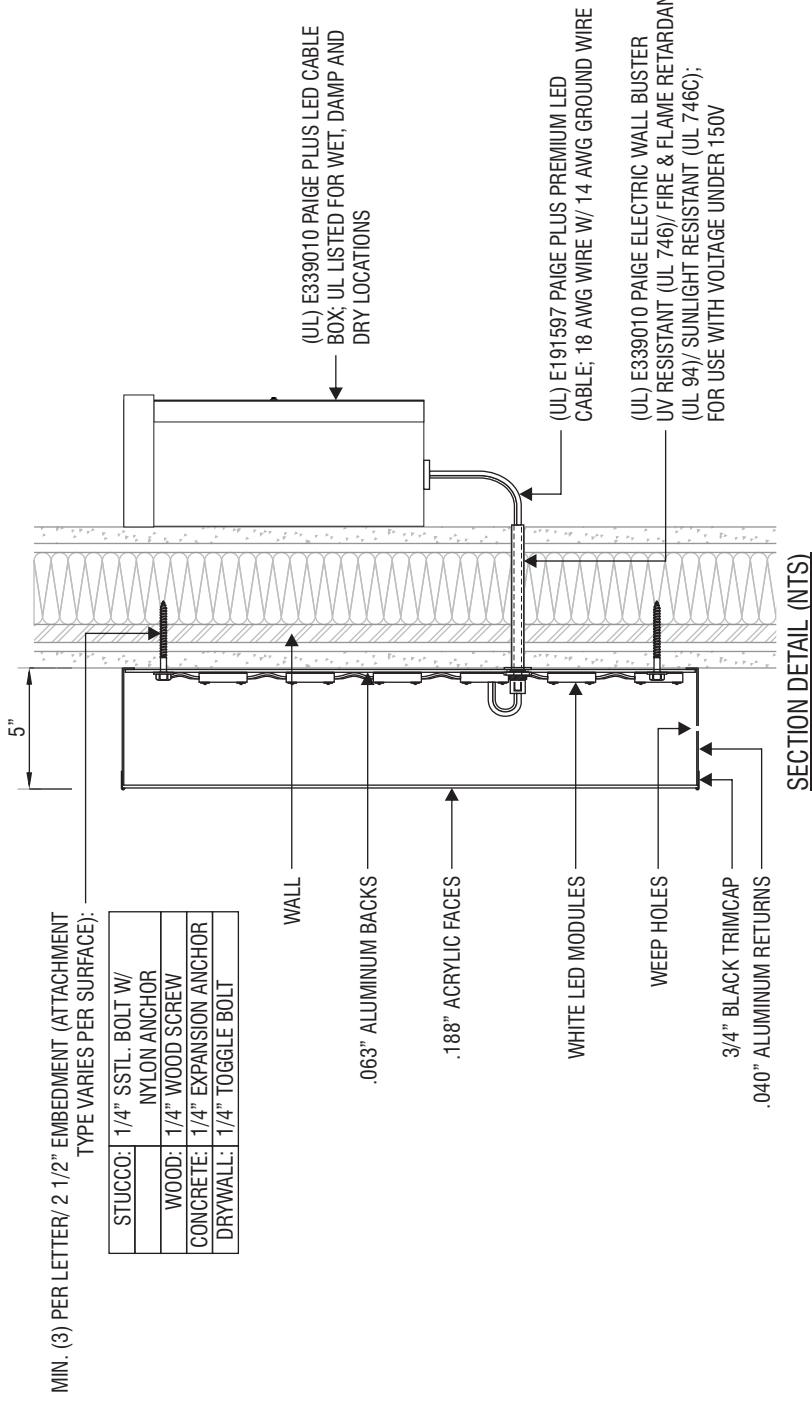


ELEVATION VIEW

22" DEL TACO CHANNEL LETTER LAYOUT (40.0 SQ. FT.)

SCALE: 3/4" = 1'-0"

SIDE VIEW



SECTION DETAIL (NTS)

CLIENT



PROJECT
 DEL TACO #XXXX

LOCATION
 1957 E 20TH STREET,
 CHICO, CA 95928

SHEET TITLE
CURVED CANOPY - 'MADE TO ORDER FRESH'

ACCT. REP.
 GINA MATTI

DESIGNER
 JEREMY READ

DATE
 05/18/16

SCALE
 NOTED

CUSTOMER APPROVAL

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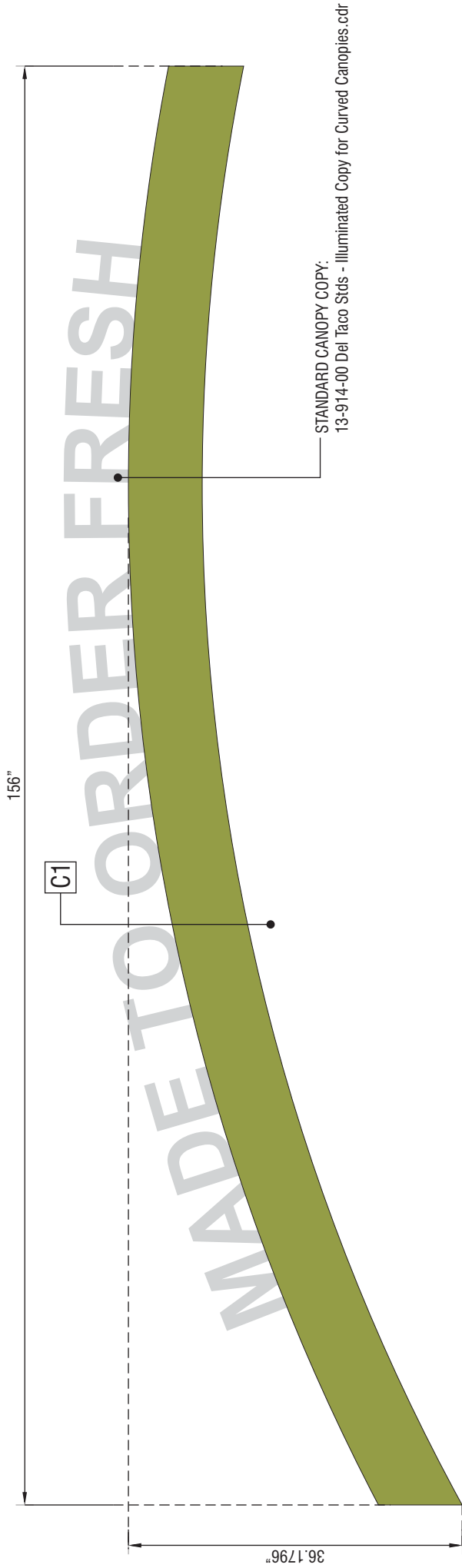


COLOR SPECIFICATIONS

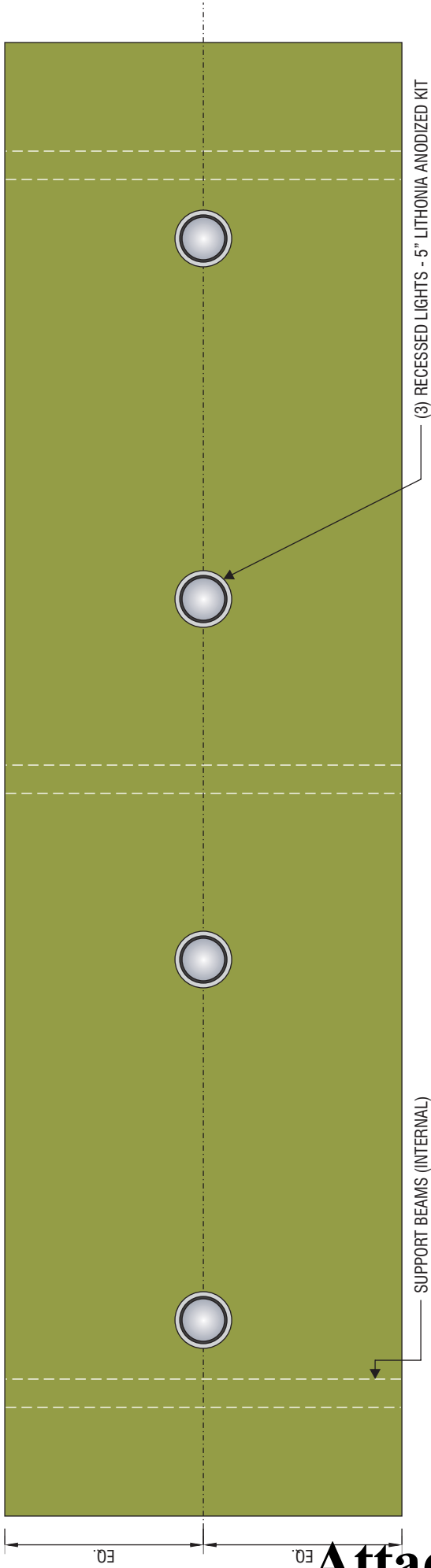
C1



P.T.M. SHERWIN WILLIAMS SW 6712
 'LJAU GREEN' W/ SATIN FINISH



ELEVATION VIEW



BOTTOM VIEW

NOTES: 120V POWER. SIGN TO BE UL LISTED WITH APPROVED DISCONNECT SWITCH. GROUNDING AND BONDING IN ACCORDANCE WITH ARTICLE 600 NEC.

13' 'MADE TO ORDER FRESH' CANOPY W/ ILLUMINATED LETTERS

SCALE: 3/4" = 1'-0"

CLIENT



PROJECT
 DEL TACO #XXXX

LOCATION
 1957 E 20TH STREET,
 CHICO, CA 95928

SHEET TITLE
**CURVED CANOPY - 'DRIVE
 THRU OPEN 24 HOURS'**

ACCT. REP.
 GINA MATI

DESIGNER
 JEREMY READ

DATE
 05/18/16

SCALE
 NOTED

CUSTOMER APPROVAL

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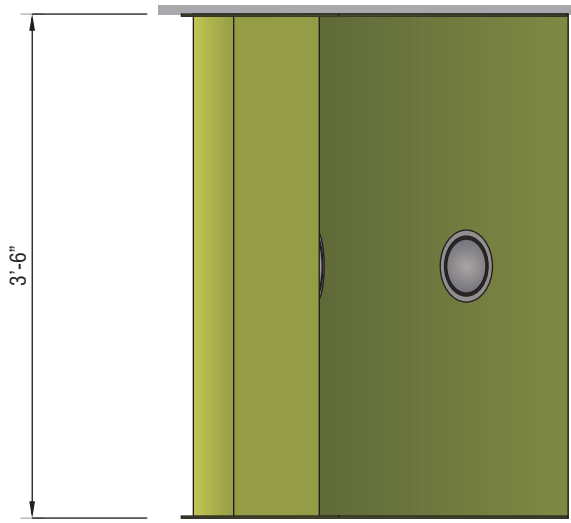
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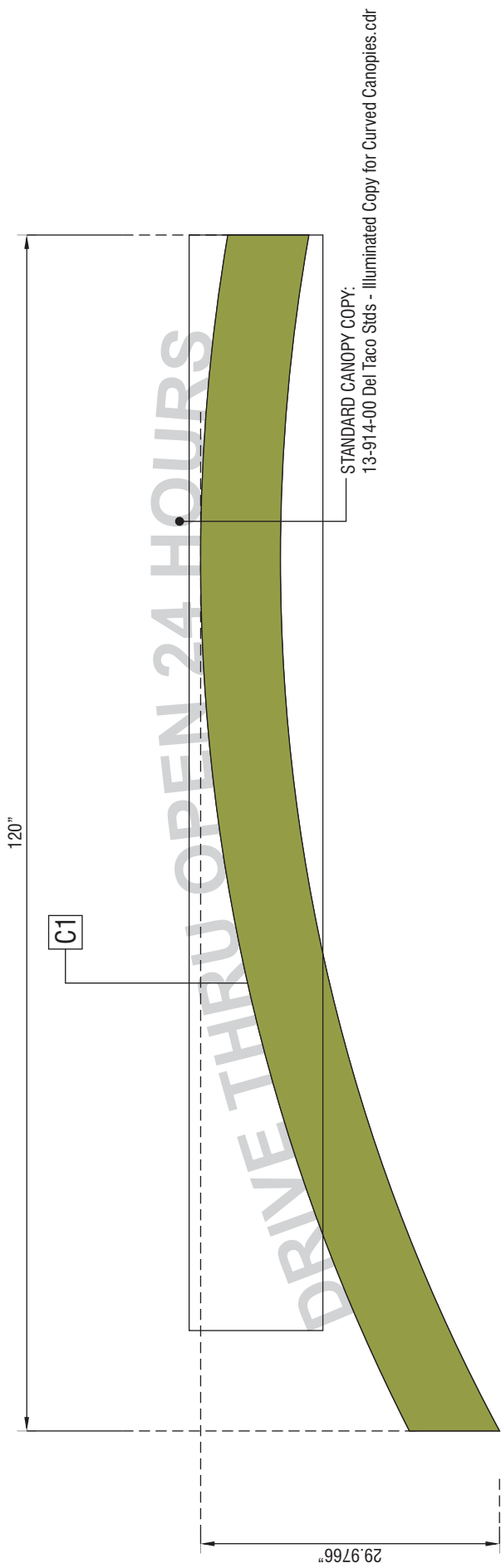


COLOR SPECIFICATIONS

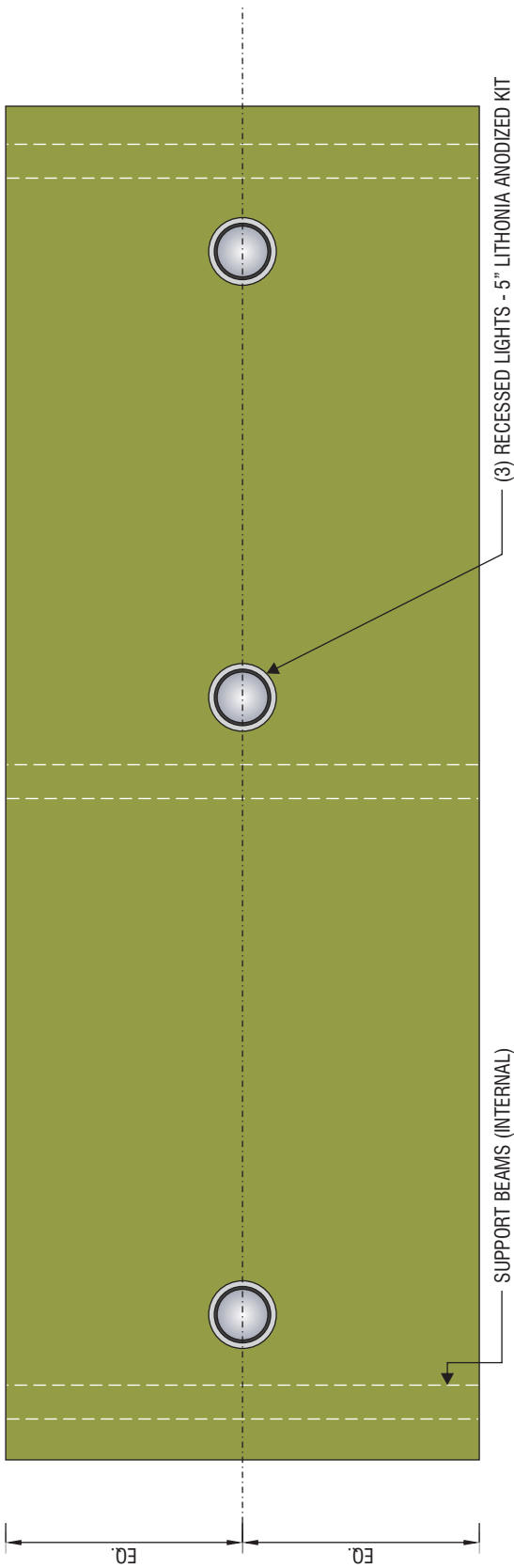
C1 P.T.M. SHERWIN WILLIAMS SW 6712
 'LJAU GREEN' W/ SATIN FINISH



END VIEW



ELEVATION VIEW



BOTTOM VIEW

NOTES: 120V POWER. SIGN TO BE UL LISTED WITH APPROVED DISCONNECT SWITCH. GROUNDING AND BONDING IN ACCORDANCE WITH ARTICLE 600 NEC.

10' 'DRIVE THRU OPEN 24 HRS' CANOPY W/ ILLUMINATED LETTERS

SCALE: 3/4" = 1'-0"

CLIENT



PROJECT
 DEL TACO #XXXX

LOCATION
 1957 E 20TH STREET,
 CHICO, CA 95928

SHEET TITLE
MENU BOARD

ACCT. REP.
 GINA MATTI
 DESIGNER
 JEREMY READ

DATE
 05/18/16
 SCALE
 NOTED

CUSTOMER APPROVAL

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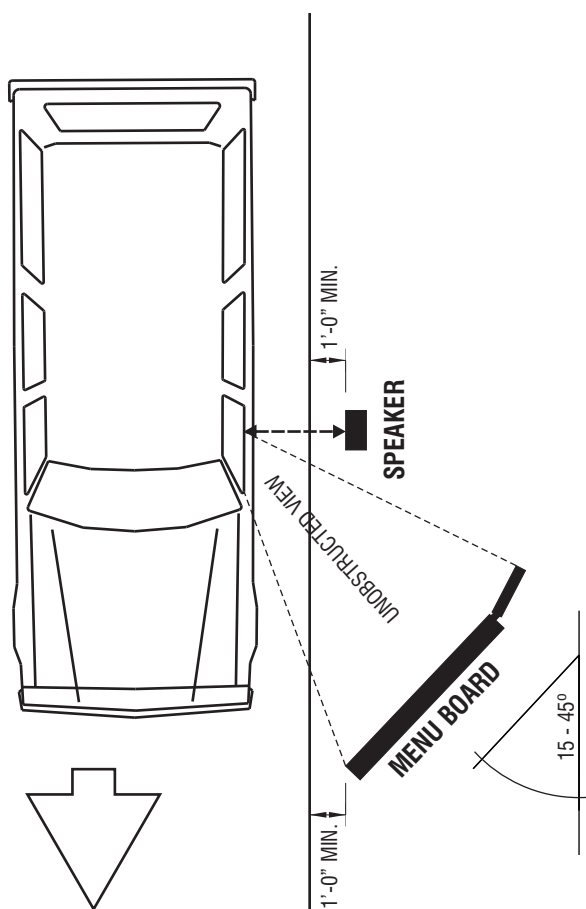
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KEY NO.

D1



PLAN VIEW @ MENU BOARD & OCB

SCALE: 3/16" = 1'-0"

NOTE: THE DIAGRAM ABOVE IS ALSO BASED OFF THE "STANDARD" LOCATION DEL TACO CORPORATE HAS PROVIDED TO CNP IT IS THE GC'S RESPONSIBILITY TO COORDINATE WITH THE OWNER ON THE EXACT LOCATION. CNP WILL NOT BE HELD RESPONSIBLE FOR ANY REMOVALS, RE-POSITIONING AND RE-INSTALLATION. ALL REMOVALS, RE-POSITIONING AND RE-INSTALLATION WILL BE BILLED ON A T&M BASIS.

POSITION EVERYTHING FROM LOOP SENSOR.

THE LOOP SENSOR SHOULD BE DIRECTLY IN FRONT OF THE OCB. THE OCB SHOULD BE PARALLEL TO THE DRIVE-THRU LANE 7 NOT BLOCK THE MENU BOARD. THE SPEAKER SHOULD BE AT LEAST 12" FROM THE CURB. THE BOLLARD SHOULD BE POSITIONED TO PREVENT DAMAGE FROM AUTOMOBILES.

MENU BOARD

THE MENU BOARD SHOULD BE ANGLED BETWEEN 15 AND 45 DEGREES FROM THE CURB FOR OPTIMAL VIEWING. IF THE SPEAKER BLOCKS THE MENU BOARD, EITHER THE SPEAKER OR THE MENU BOARD WILL NEED TO BE MOVED. THE LOOP SENSOR MUST STAY IN FRONT OF THE SPEAKER. THE IDEAL DISTANCE FROM THE SPEAKER TO THE MENU BOARD IS 10 TO 15 FEET. THE EXTENDERS SHOULD BE AT LEAST 12" FROM THE CURB.

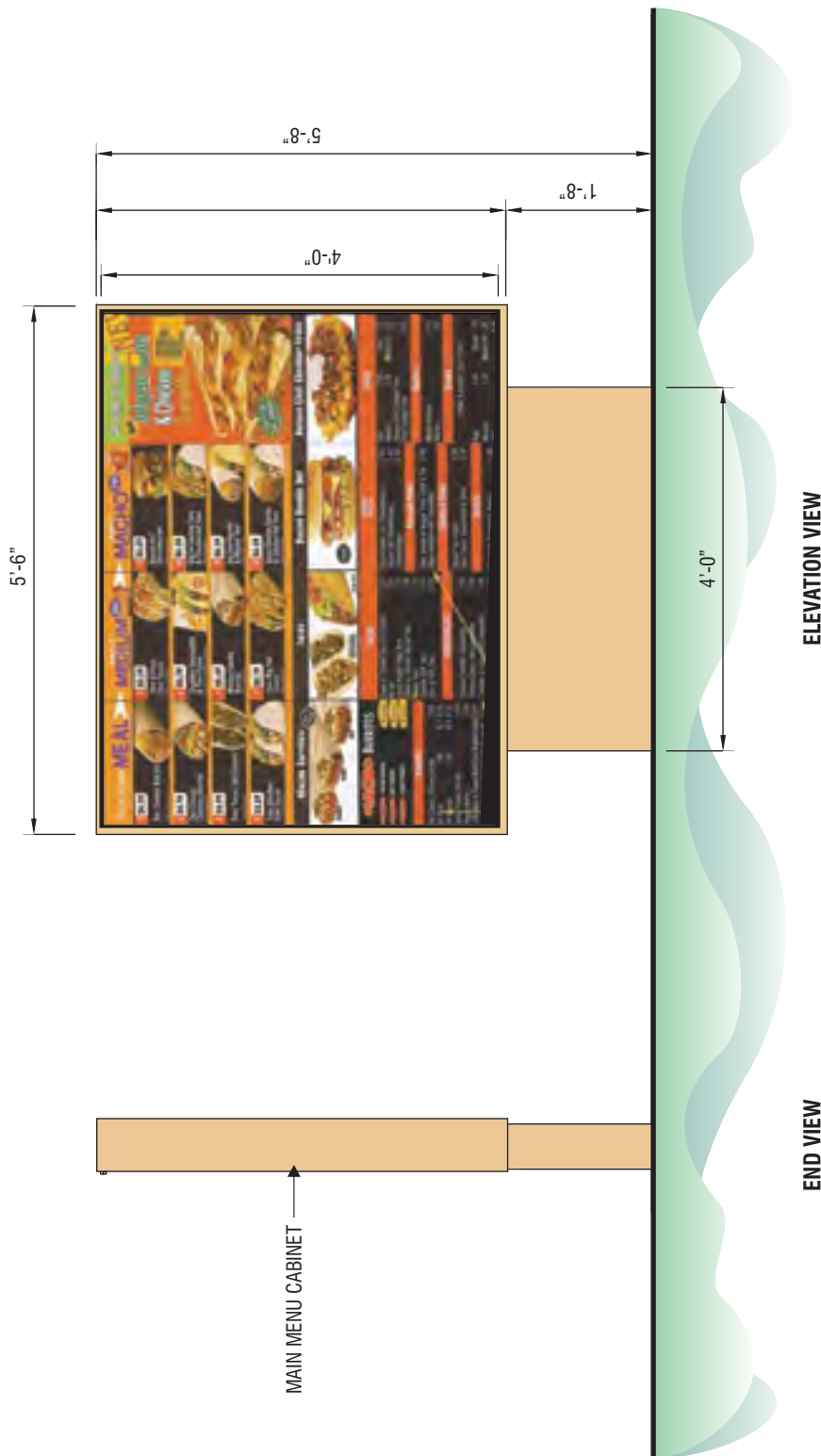
DO'S & DON'TS:

DO MAKE SURE THE CUSTOMER CAN VIEW BOTH THE MENU BOARD AND THE SPEAKER EASILY.
DON'T LOCATE ANYTHING WITHIN 12" OF THE DRIVE-THRU LANE WITHOUT PROTECTING IT FROM MIRRORS.

CUSTOMER APPROVAL

APPROVED BY:

DATE:



ELEVATION VIEW

END VIEW

ALUMINUM CONSTRUCTION WITH INTERNAL FLUORESCENT ILLUMINATION. PAINTED SHERWIN WILLIAMS SW#6380 "HUMBLE GOLD" W/ SATIN FINISH MENU PANELS SHOWN ABOVE BASED ON A STANDARD INDIVIDUAL SIZE OF 14 7/16" x 24 1/4"; 22.0 SQUARE FEET.

INTERNALLY ILLUMINATED MENU DISPLAY

SCALE: 1/2" = 1'-0"

CLIENT



PROJECT
 DEL TACO #XXXX

LOCATION
 1957 E 20TH STREET,
 CHICO, CA 95928

SHEET TITLE
DIRECTIONALS

ACCT. REP.
GINA MATI
 DESIGNER
JEREMY READ
 DATE
05/18/16 SCALE
NOTED

CUSTOMER APPROVAL

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KEY NO.

E1 E2

COLOR SPECIFICATIONS

APPROVED VINYL COLORS

C1	Lucryl to Match PMS 485C
C2	Arion Series 2500-3820 - Custom to match PMS 144C
C3	3M 3630-015 "Yellow" Translucent Vinyl
C4	Arion Series 2500-3819 - Custom to match PMS 383C
C5	Backed with white (Paint)
C6	Paint Sherwin Williams #Sw6380 "Humble Gold" with Satin Finish

NOTES: 120V POWER. SIGN TO BE UL LISTED WITH APPROVED DISCONNECT SWITCH. GROUNDING AND BONDING IN ACCORDANCE WITH ARTICLE 600 NEC.



SIDE B



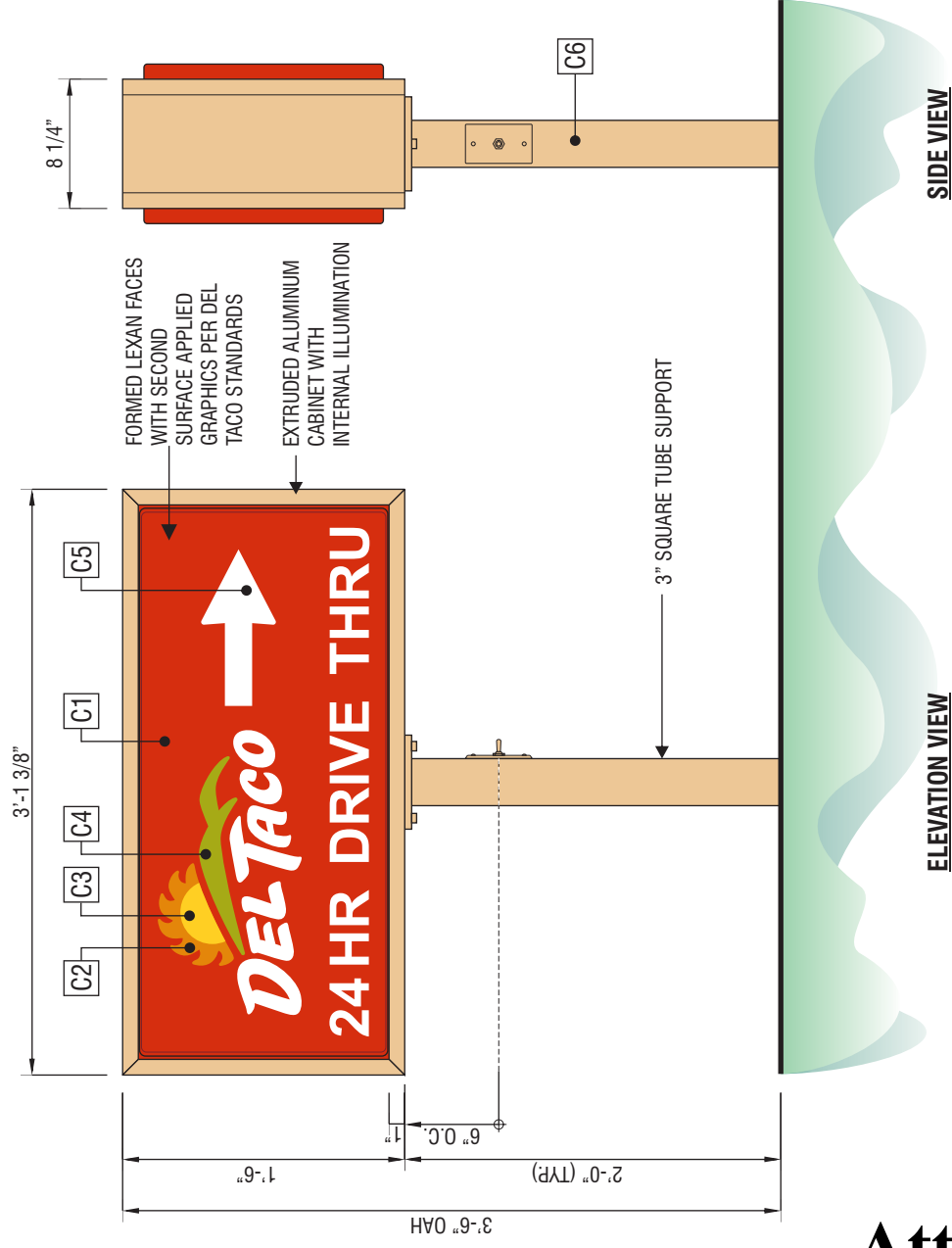
SIDE B



SIDE A

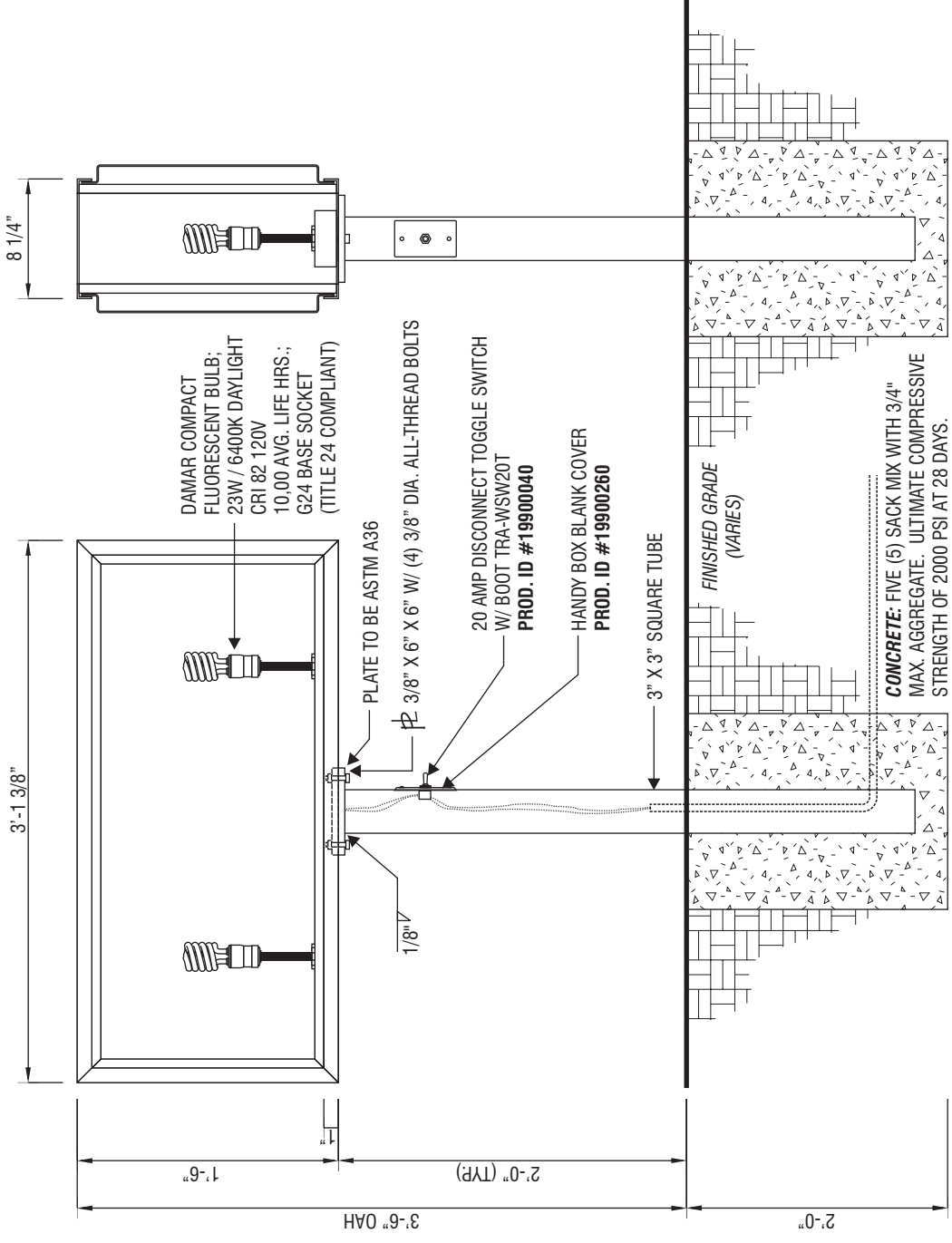


SIDE A



ELEVATION VIEW

SIDE VIEW



ELEVATION VIEW

SIDE VIEW

D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGN - 4.6 SQUARE FEET

SCALE: 1" = 1'-0"

D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGN STRUCTURAL DETAIL

SCALE: 1" = 1'-0"