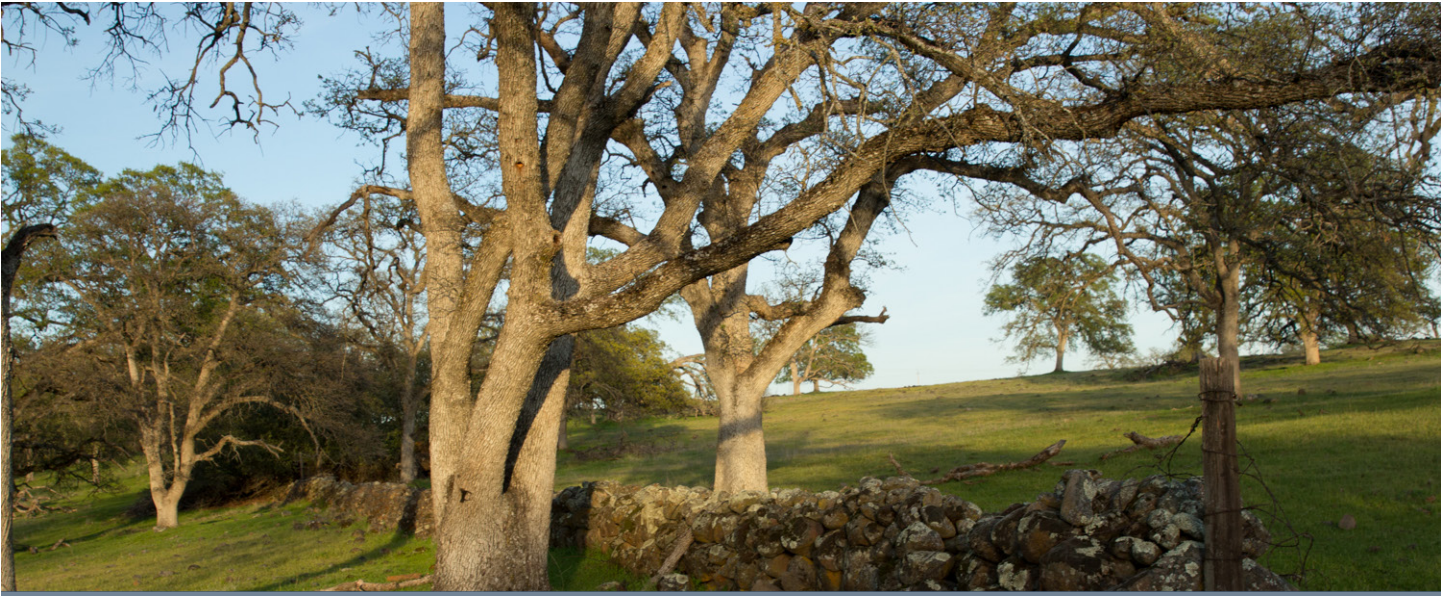




Land Use

Chapter 4 - Land Use

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4.1 Introduction

Chapter 4 establishes the land use framework for the Valley's Edge Specific Plan (VESP) area, established by directives from the Chico General Plan (GP 2030). The purpose and intent of the Development Standards and Design Guidelines (Appendix A) is introduced, followed by the Land Use and Zoning Map. The VESP zoning designations and allowable land uses are listed in Appendix C - Permitted and Conditionally Permitted Uses.

Chapter 4 consists of the following:

- Valley's Edge Foothill Development Standards
 - o To provide context for foothill topography, areas designated for the built environment are broken down by land use and slope category "Flat" to "Very Steep Hillside".
- Valley's Edge Firewise Guidelines, Standards, and Vegetation Management Requirements
- Multi-Generational Neighborhoods and age-restricted areas for seniors
- Various housing types, including workforce housing
- Commercial land uses and zoning
- Special Purpose land uses including Public Quasi Public, with various open space land use designations ranging from park spaces to environmental preserves.

"The SPA will include a village core, retail along Skyway, a variety of residential densities (including very low, low, medium, and medium high density), open space areas on the SPA's east side, a community park, neighborhood and pocket parks, public uses (potentially an elementary school site), and preserve areas with creekside corridors"

- APPENDIX C -DOE MILL/HONEY RUN SPECIAL PLANNING AREA



4.1.1 Chico General Plan Land Use Directives

As envisioned by the Chico General Plan, Valley's Edge will be a recreation-oriented, mixed-use development offering a broad range of housing types and densities.

The Valley's Edge Land Use Plan (Figure 4-1) implements the General Plan's vision and directives for the 1,448 acre planning area. Key references to the Valley's Edge Specific Plan area can be found in GP 2030 Policy LU 6.2 and Action LU-6.2.

"Planning for the Doe Mill/Honey Run SPA will result in a recreation oriented, mixed-use development offering a broad range of housing types and densities."

- APPENDIX C -DOE MILL/HONEY RUN SPECIAL PLANNING AREA

Appendix C - GP 2030 Written Description	Included in VESP?
Open Space	
Creation of creekside corridors	
Creation of environmental preserves	
Creation of open space buffer along the Honey Run Road to the south	
Creation of open space buffer along the Stilson Canyon rim to the north	
Open space on the eastern boundary as a permanent buffer to foothill encroachment	
Parks and Public Uses	
Creation of neighborhood parks, linear parks, and pocket parks	
Land planned to accommodate a Community Park, in collaboration with CARD	
Land planned to accommodate an elementary school, in collaboration with CUSD	
Vehicle, Bike, and Pedestrian Connectivity	
Primary entry along the Skyway	
Secondary entry at the easterly end of 20th Street	
Trails and bikeways integrated with natural landscapes connecting residential areas to parks, open space, homes, offices, community gathering places, services, and public facilities	
Commercial and Residential Elements	
Retail along the Skyway	
A Village Core with professional offices, neighborhood retail, and other services	
A village center owned and operated by the Valley's Edge Homeowner's Association	
A variety of residential densities including very low, low, medium, and medium-high density	
Design Standards	
Site planning, building design, and landscaping standards to minimize visual impacts and to address wildland-urban interface and lower foothill considerations	
Lighting standards to address dark sky concerns and visual impacts	
Land Plan Considerations	
Protecting and preserving sensitive habitats, wetlands, and seasonal creeks	
Site planning will consider and protect groundwater recharge areas	



The VESP is consistent with GP 2030 policies and actions guiding the designated Special Planning Area (SPA), and the VESP is consistent with, supports, and/or implements applicable Chico General Plan goals, policies, and actions.

4.1.2 Development Standards Purpose and Intent

Development standards provide quantitative direction to developers, design professionals, and City staff, helping to ensure that the built environment is compatible with physical site characteristics, surrounding land uses, and overall planning area vision. In limited instances, development standards are intended to provide flexibility as needed to adapt to an ever-changing housing, commercial, and transportation market, as well as job needs.

The VESP development standards for Residential, Commercial, and Special Purpose land use designations supersede development standards in Title 19 of the Chico Municipal Code (CMC 19). Where the VESP standards are silent, the provisions of CMC 19 apply.

As an implementation tool, it is intended that both applicants and the City apply these standards in a manner upholding the overarching vision of the Valley's Edge planning area. These standards may be supplemented by Covenants, Conditions, and Restrictions (CC & R's), enforced by the Valley's Edge Homeowners Association(s).

4.1.3 Design Guidelines Purpose and Intent

The VESP Design Guidelines (Appendix A) serve as a toolkit or 'pattern book' of design elements, to be utilized by architects, builders, landscape architects, engineers, design professionals, and City staff in the planning and development of individual projects within the Valley's Edge planning area.

Design guidelines are not prescriptive but rather serve as examples of desirable outcomes involving physical form, visual character and unifying elements within the planning area. Guidelines are meant to inspire creative and innovative architectural and landscape design. While the design solutions expressed through these guidelines are flexible in structure, they do communicate a master plan vision and expectation of quality, against which individual builder plans will be evaluated.

In addition to visual form and character, the VESP Design Guidelines include principles for Crime Prevention Through Environmental Design (CPTED). Encouraged by the City of Chico Police Department, CPTED offers design-based strategies promoting increased safety and security.

The VESP Design Guidelines replace the City of Chico's Design Guideline Manual for projects within the planning area. As described in Chapter 7: Administration & Implementation, the Valley's Edge Design Review Committee (DRC) is responsible for design guideline compliance through project review within the planning area. The VESP DRC shall have sole authority for reviewing single-family residential projects and shall utilize City staff for technical concurrence in the review and approval of commercial and multi-family residential projects, as applicable.



4.2 Land Use Plan

Valley's Edge has been master planned to provide the Chico community with a mix of new homes, neighborhoods, densities, lifestyles, and affordability levels. Expansive open spaces, parks, sports and recreational facilities are planned along with an elementary school, commercial and employment areas, and environmental preserves. The mix of land uses is consistent with the principles, goals, and actions outlined in Chapter 2, and the planning parameters described in Appendix C of the Chico General Plan.

The VESP Land Use Plan (Figure 4-1) was formed around natural land forms and features, prioritizing the preservation of Oak Woodlands, rock walls, seasonal creeks, environmentally sensitive areas, and steeply sloped areas. Adoption of the VESP creates open space buffers to neighboring residential and agricultural lands, and creates vast naturalized areas similar to Upper Bidwell Park to promote exercise, adventure, and passive recreational enjoyment.

Open space and public use areas are the predominant land use in Valley's Edge, with over 680 acres, or nearly half of the planning area dedicated to parks, recreation, education, and conservation. The VESP's open space framework serves as the backbone for bike and pedestrian connectivity, an extensive network of trails enabling non-vehicular movement throughout the community.

The location, size, and type of residential and commercial uses reflects thoughtful consideration of site characteristics such as slope, Oak Woodlands, and seasonal creeks. The organization of land uses is responsive to Chico's demographic characteristics and smart growth principles, such as increased density in and around core commercial and employment areas, walkability, housing diversity, safe cycling networks, sport and recreational facilities, community gardens, parks and playgrounds, local education, shopping, and employment opportunities. Residential and commercial land uses support one another and the jobs-housing balance, while parks and recreational amenities serve neighboring businesses, employees, residents, and visitors.

Table 4.1 provides a breakdown of land use types, acreages, densities, and approximate dwelling units.

4.3 Valley's Edge Overlay Zone

As the policy and regulatory framework guiding development in the planning area, the VESP serves as an extension, or supplement, to the Chico Municipal Code (CMC). The CMC and Chico General Plan and zoning maps will refer interested parties to the Valley's Edge Overlay Zone (-VE) and the VESP for guidance and direction on allowable land uses, development standards, guidelines, and other strategies and procedures particular to the plan area. Refer to Figure 4-2: Zoning Map for the appropriate zoning classifications for the planning area.



Table 4.1 Land Use Summary

Land Use	Applied Zoning Districts	Acres	Approximate Density/Comm Sf.	Approximate Dwelling Units
Residential				
VLDR – Very Low Density Residential	RS-VE	46.3	.54	25
LDR – Low Density Residential	R1-VE	188.3	1.7	342
LDR – Low Density Residential	R1-SF-VE	333.6	4.1	1,372
MDR – Medium Density Residential	R2-VE	91.2	9.6	876
MHDR – Medium High Density Residential	R3-VE	9.0	18.0	162
SUBTOTAL/AVG.		668.4	6.78	2,777
Commercial and Office				
V-CORE - Village Core	CN-VE	12.6	77,000	
V-COMM - Village Commercial	CC-VE	43.7	370,155	
SUBTOTAL		56.3	447,155	
Special Purpose				
PQ - Public Quasi Public	PQ-VE	18.8		
OS1 - Primary Open Space	OS1-VE	46.3		
V-OS2 - Valley Open Space	OS2-VE	246.7		
R-OS - Regional Open Space	OS2-VE	371.2		
SUBTOTAL		683		
Roads				
Project Roadways (Right-of-Way)		40.4		
SUBTOTAL		40.4		
TOTAL		1,448.3	----	2,777

Note: The acreages described in this table and the boundaries shown on the Land Use Plan (Figure 4-1) are approximate. Final alignment and acreage shall be determined at the tentative tract map stage, informed by more detailed analysis of topography, site conditions, surrounding influences, infrastructure requirements and other factors. See Section 7.4 - Specific Plan Flexibility.

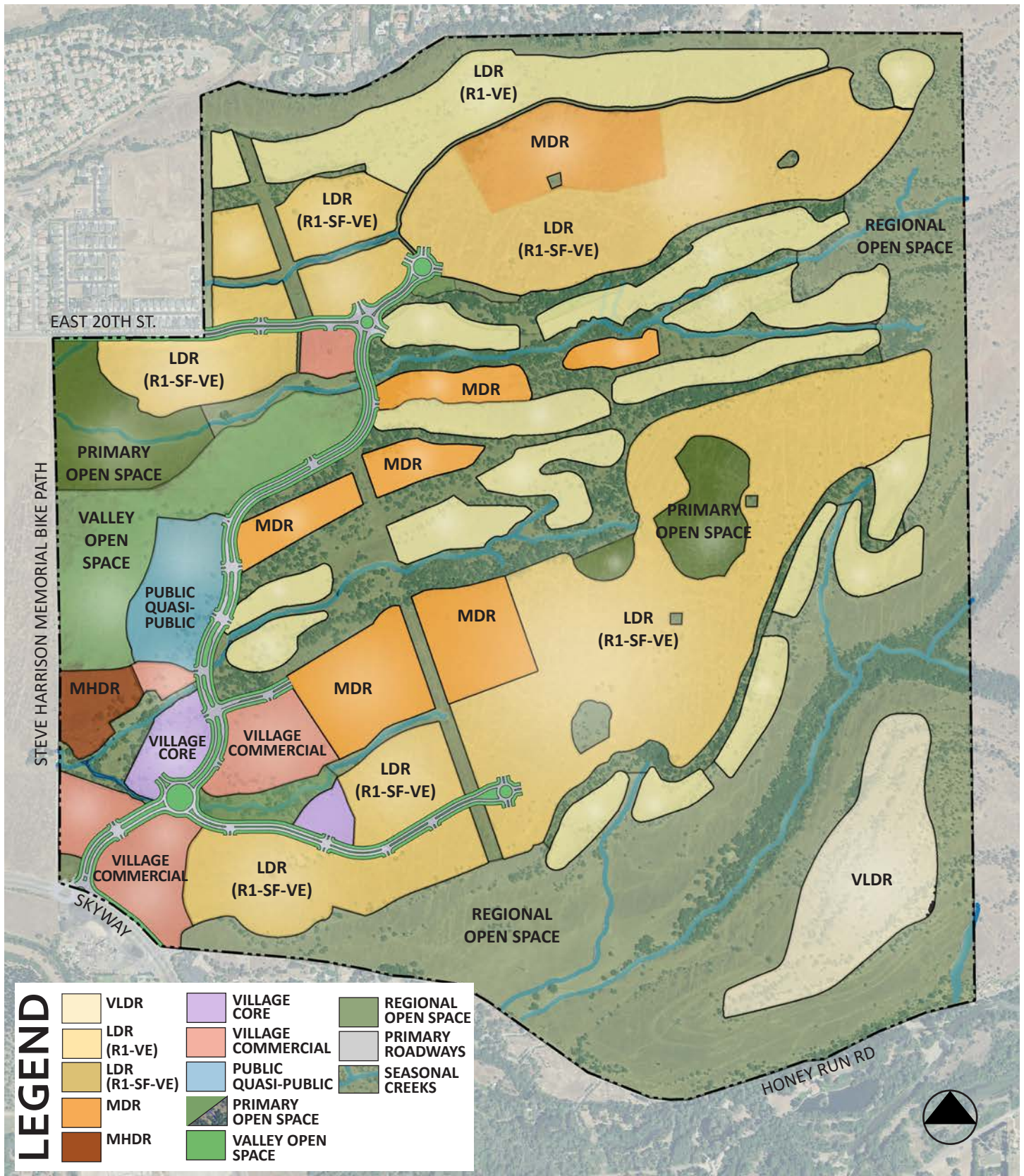


Figure 4-1: Land Use Plan

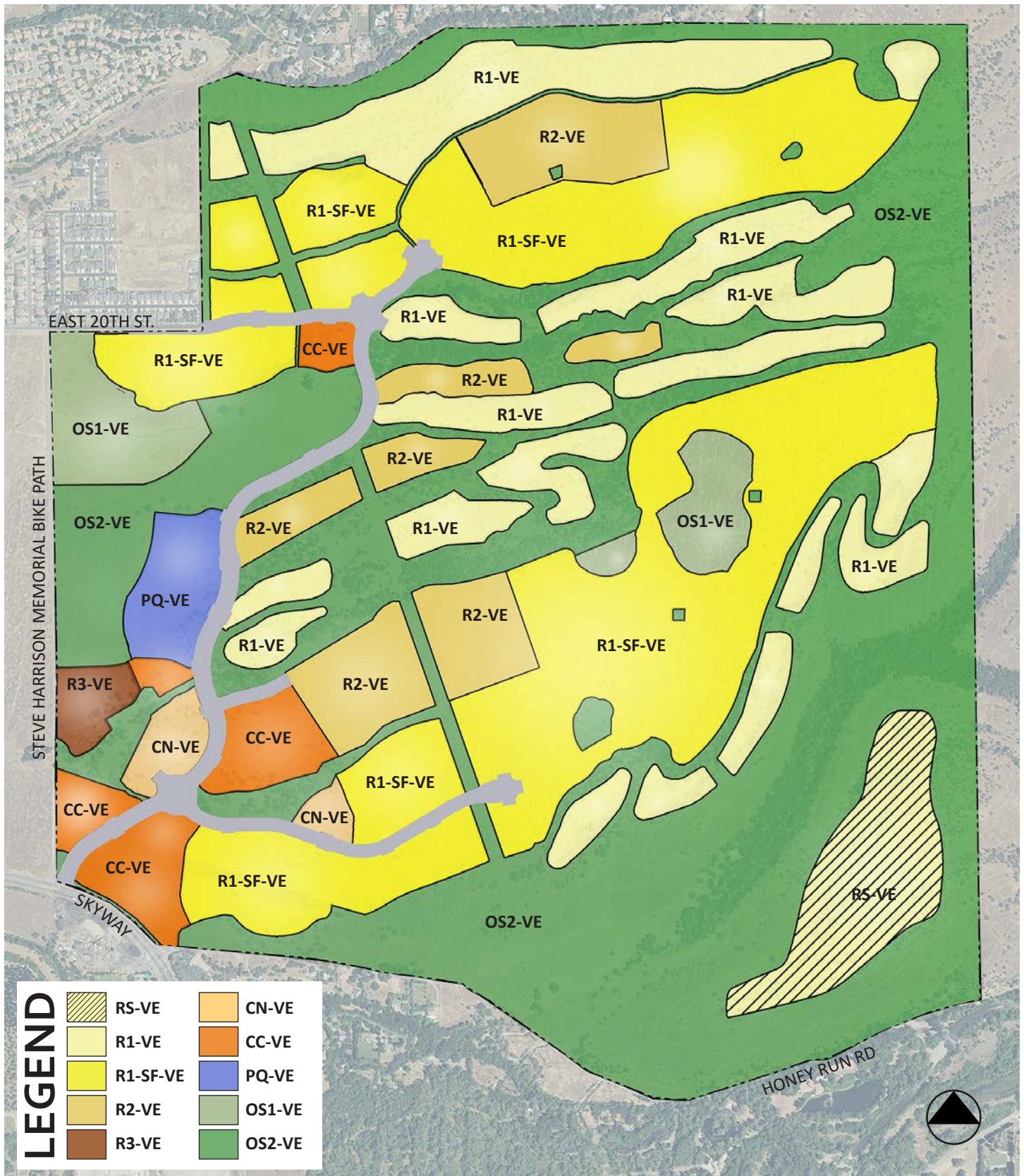


Figure 4-2: Zoning Map



4.4 Valley's Edge Foothill Development

The GP 2030 directs that the Doe Mill/Honey Run SPA (i.e., Valley's Edge planning area) be planned to accommodate a broad range of housing types and densities that are integrated with open space and recreational areas, supporting commercial services, and public facilities. At the same time, the General Plan acknowledges that the natural landforms and characteristics within the VESP area requires specialized design solutions to manage the unique development in the lower foothill region.

The City's tool for implementing General Plan policies pertaining to hillside development is the Foothill Development (FD) Overlay Zone (Chico Municipal Code [CMC] 19.52.100). The standards and provisions of the City's FD overlay zone apply to properties at an elevation of 270 feet or greater.

Beyond the open space framework and within areas appropriate for development, the Land Use Plan establishes what type of development is most appropriate in each area. This information, along with an understanding of geologic conditions, topography, Oak Woodlands, rock escarpments, and other physical site characteristics enables a more specialized and specific approach to design solutions needed to manage the unique impacts of foothill development, as directed by the Chico General Plan.

The Valley's Edge Land Use Plan (Figure 4-1) establishes the framework for conservation and development, which, by design, corresponds directly to General Plan policies pertaining to foothill development. Similarly, the VESP's Land Use Plan, through prioritizing open space, preservation of natural landscapes, avoidance of steep terrain, and preservation of prominent foreground views, responds directly to the underlying purpose(s) of the City's FD Overlay Zone.

4.4.1 Purpose

The Valley's Edge Foothill Development Standards and policies combine applicable standards from the City's FD Overlay Zone with grading and building standards on the basis of location, land use, and topography. The purpose(s) of the Valley's Edge Foothill Development provisions align with the purpose(s) of the City's FD Overlay Zone, which seeks:

- To avoid environmental degradation including slope failure, erosion, and sedimentation;
- To preserve natural conditions visible from public spaces;
- To retain notable topographic features and vegetation;
- To promote a quality built environment, and
- To implement General Plan policies that apply to foothill development.

The Valley's Edge Foothill Development policies also seek to ensure that desirable outcomes are efficiently achieved, without unnecessarily burdening architects, builders, developers, homeowners, Homeowner's Association, and/or City staff.



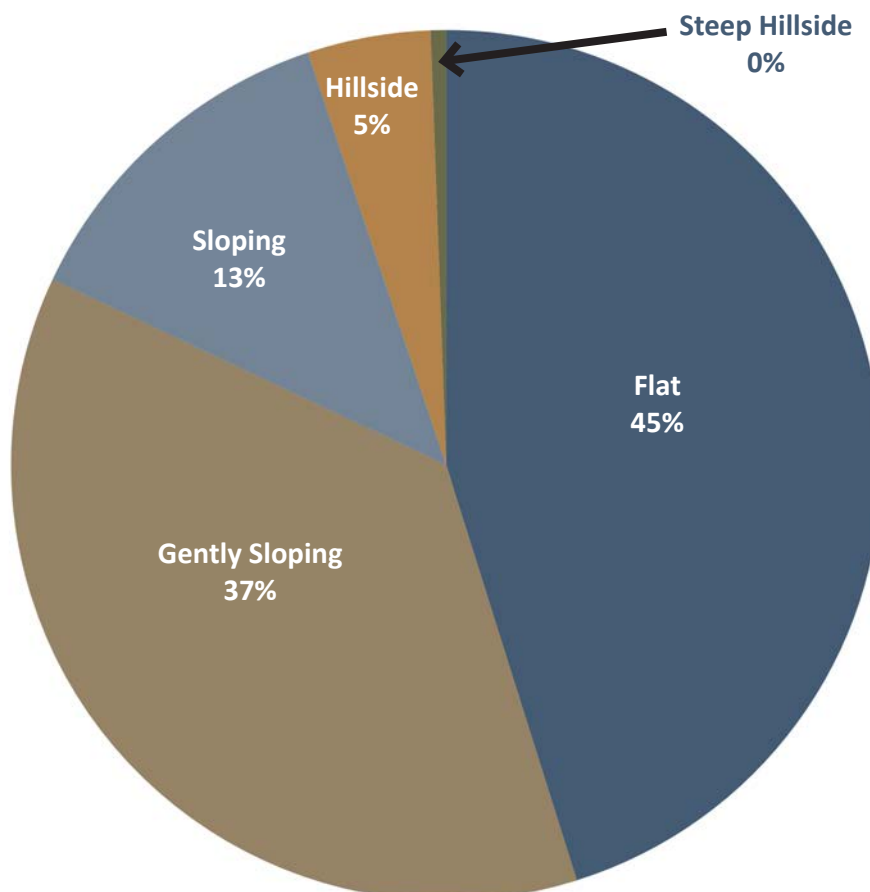
4.4.2 Foothill Context: Topography, Land Use, and Location

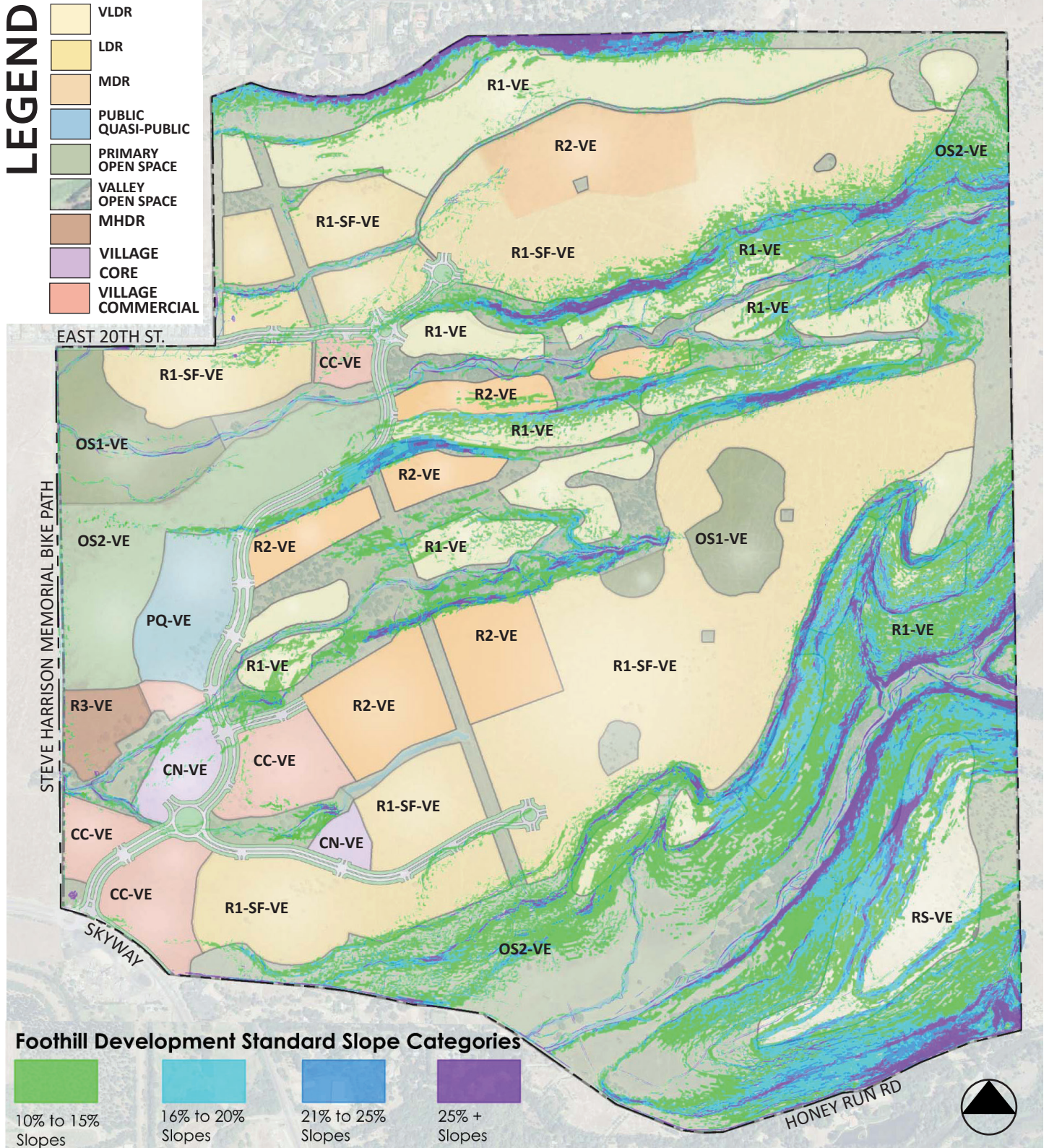
Use and administration of the VESP's Foothill Development varies based on slope/topography, land use, and location. This section is intended to familiarize readers with the character and context of the areas suitable for development as needed to interpret and administer the development standards contained herein.

SLOPE AND TOPOGRAPHY

In most instances the need for and benefit of Foothill Development Standards and strategies ties to the severity of the topography (or slope) and other site conditions on which a street, subdivision, or building may be located. In general, the steeper the slope, the more stringent the standards, and the more level the slope, the less stringent the standards. Visual impacts, for example, may have less to do with physical site characteristics and more to do with the location of the site and the building relative to public viewsheds.

The American Planning Association (APA) defines "hillside areas" as land with an average slope greater than 15 percent. Less than 7 percent of the Valley's Edge development acreage occurs in what the APA defines as a "hillside area", which is primarily located in the open space area. The remaining 93 percent (roughly 678 acres) of the development acreage occurs in areas described as flat, gently sloping, or sloping land. No building structures are allowed on any land with steep or very steep hillside terrain. The pie chart below illustrates the development acreages as they relate to slope categories.





Note: This exhibit illustrates that the land use plan has been designed to locate the open space areas within the major sloped areas and the residential and commercial areas on the primarily flat portions of the site.

Figure 4-3: Foothill Development Slope Categories



LAND USE

Chapter 4 (Land Use) describes how various site characteristics, including slope, were considered in determining the most appropriate land uses and their location. Higher intensity land uses such as commercial developments, multi-family housing, and production level single family detached are generally better suited to more level ground. Areas with more intricate site characteristics, such as natural landscapes and sloping terrain, are better suited for those land uses requiring minimal grading, such as lower density single-family residential housing and estate lots. Table 4.2 illustrates the plan acreages based on slope and land use categories.

Table 4.2 Development Acreage by Slope & Land Use Category

Slope Category	I Flat (0-5%)	II Gently Sloping (6-10%)	III Sloping (11-15%)	IV Hillside (16-20%)	V Steep Hillside (21-25%)	VI Very Steep Hillside (26%+)	Total Acres / %
Land Use / Zoning							
VLDR - Very Low Density Residential / RS-VE	9 19%	11 25%	11 24%	9 19%	4 4%	2 1%	46.3 6%
LDR - Low Density Residential / R1-VE	49 26%	73 39%	43 23%	17 9%	4 1%	2 0.1%	188.3 26%
LDR - Low Density Residential / R1-SF-VE	175 53%	125 38%	27 8%	5 1%	0.9 0.1%	0.5 0.1%	333.6 46%
MDR - Medium Density Residential / R2-VE	51 55%	33 37%	6 7%	1 1%	0.2 0.1%	0.1 0.3%	91.2 13%
MHDR - Medium High Density Residential / R3-VE	6 68%	2 27%	0.4 4%	0.1 0.7%	0.02 0.2%	0.02 0.2%	9 1%
Subtotal Residential	290	246	87	32	10	4	668.5
V-Core (CN-VE) & V-Comm (CC-VE)	33 58%	18 32%	5 8%	0.8 1%	0.1 0.2%	0.1 0.1%	56.3 8%
Total Acreage % of Total Acreage	323 45%	264 36%	92 13%	33 5%	10 1%	4 1%	725 100%

LOCATION AND VISUAL INFLUENCES

Where and as applicable these standards and strategies shall be applied in a manner which distinguishes between areas more visible from public viewsheds, from areas less visible, distantly visible, or not at all visible from public viewshed. Figure 4-3 illustrates the slope and topographic character of the plan area, overlaid by the Land Use Plan, illustrating the extent to which development areas avoid and respect the open space preserves, canyons, ridgelines, rock outcroppings, and steeper topography. Figure 4-4: Slope Characterization Key Map illustrates the location of the key views to illustrate typical conditions for the proposed on-site land uses.

The images and site condition descriptions below connect the varying slope categories on site to the respective land use, illustrating where residential and commercial development is proposed and the typical slope characteristics.

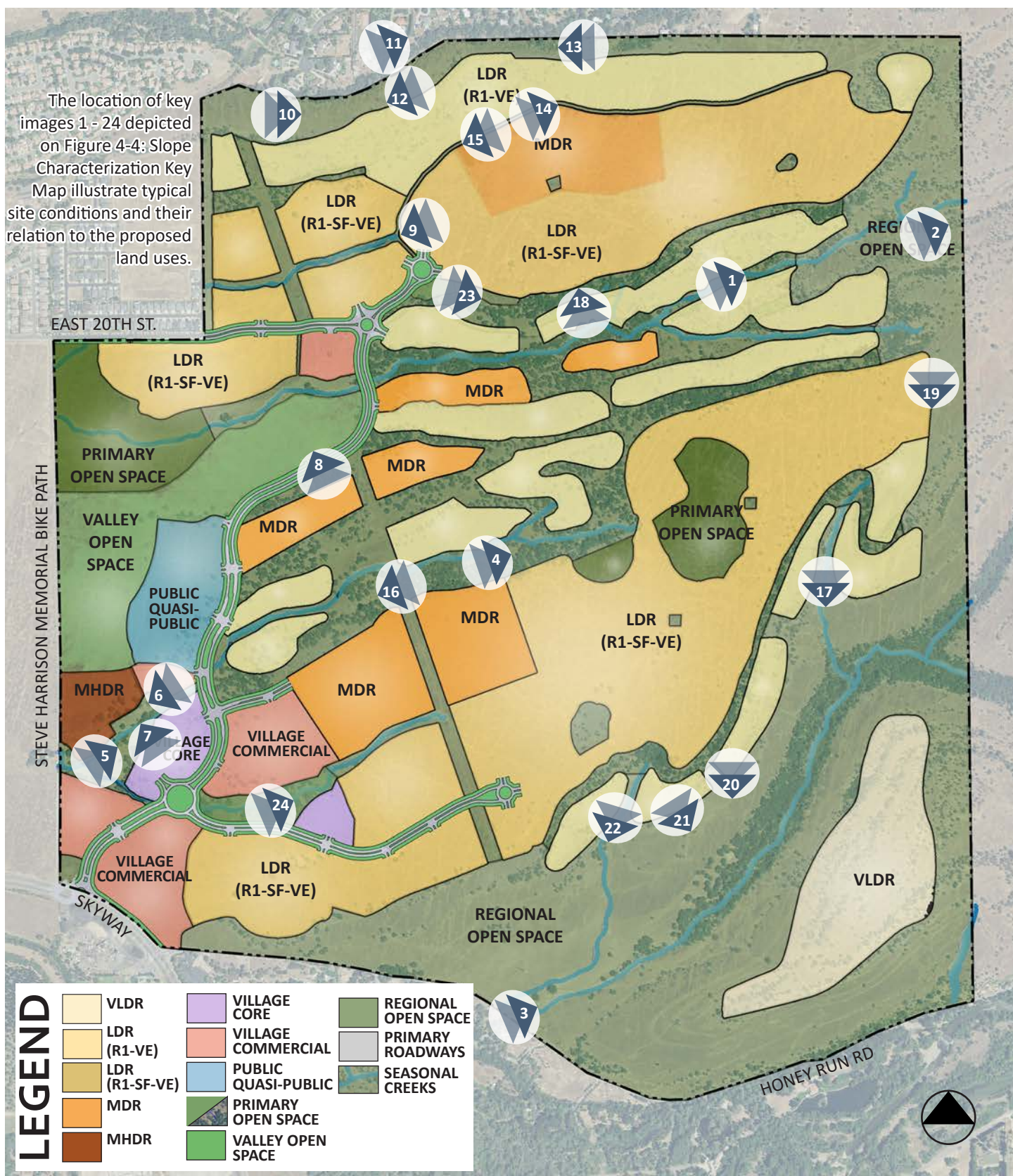
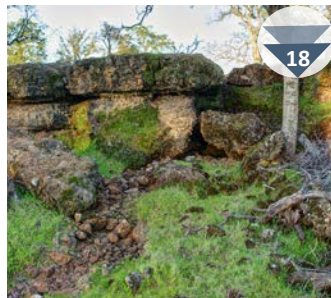
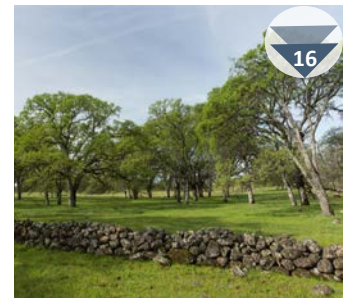
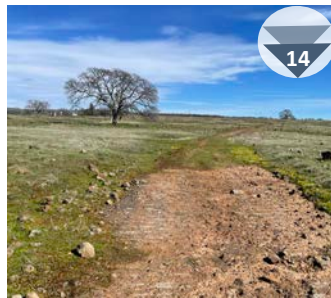
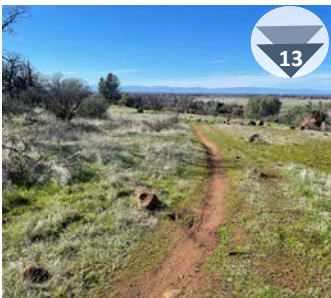
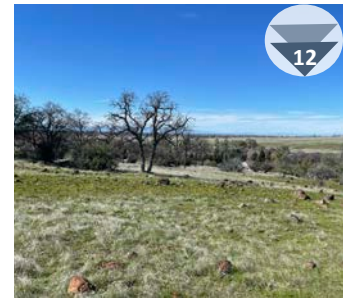
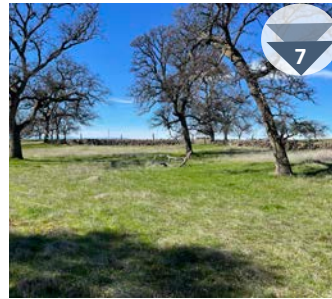
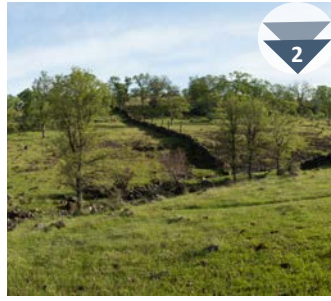


Figure 4-4: Slope Characterization Key Map



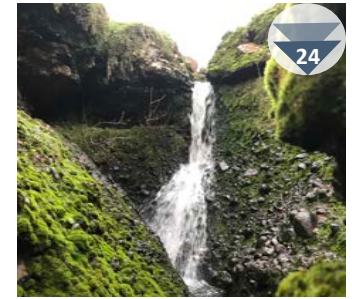
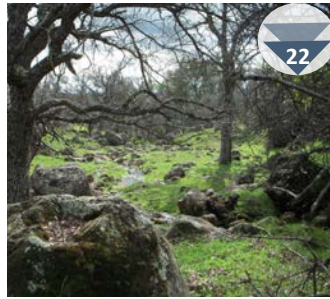


PHOTO CHARACTERIZATION OF TYPE I SLOPE

- **Topography:** Flat (Type I - 0% to 5%)
- **Zoning:** Low Density Residential (R1-SF-VE)
- **Characteristics/Suitability:** Local streets, production built single-family detached homes in the Senior Neighborhoods, Village Commercial and Village Core uses, medium density residential attached or small, detached products
- **Key Map Reference ID:** Figure 4-4; ID # 19

PHOTO CHARACTERIZATION OF TYPE II SLOPE

- **Topography:** Gently Sloping (Type II - 6% to 10%)
- **Zoning:** Low Density Residential (R1-SF-VE)
- **Characteristics/Suitability:** Local streets, production built single family detached homes; and/or narrow curvilinear streets, irregular lotting, 15,000 sf lot size minimum, very limited grading to no mass grading, custom and semi-custom homes
- **Key Map Reference ID:** Figure 4-4; ID # 3, 5, 6, 7, 14, 15,

PHOTO CHARACTERIZATION OF TYPE III SLOPE

- **Topography:** Sloping (Type III - 10% to 15%)
- **Zoning:** Low Density Residential (R1-VE)
- **Characteristics/Suitability:** Narrower curvilinear streets, irregular lotting, 15,000 sf lot size minimum, very limited grading to no mass grading, custom and semi-custom homes
- **Key Map Reference ID:** Figure 4-4; ID # 9, 10, 11, 12, 16

PHOTO CHARACTERIZATION OF TYPE IV AND V SLOPE

- **Topography:** Hillside (Type IV – 16% to 20%) to Steep Hillside (Type V - 21% to 25%)
- **Zoning:** Regional Open Space (R-OS)



- **Characteristics/Suitability:** Open space for conservation and passive recreation
- **Key Map Reference ID:** Figure 4-4; ID # 2, 4, 8, 13, 17, 18, 20, 21, 22, 23, 24

4.4.3 Applicability

The Valley's Edge Foothill Development Standards are applicable to any subdivision, street and/or structures requiring disturbance of a natural grade in excess of a 10 percent slope, categorized as Type III (Sloping 10% to 15.99%) and Type IV (Hillside 16% to 20.99%), Type V (Steep Hillside 21% to 25.99%), and Type VI (Very Steep Hillsides 26%+). These standards shall also apply to areas with average slope below 10 percent, categorized as Type I (Flat 0% to 5.99%) and Type II (Gently Sloping 6% - 10.99%), on a case by case as noted below.

4.4.4 Foothill Development Standards

The following Foothill Development Standards shall apply to the project-specific sites that exceed a 10 percent slope. These Foothill Development Standards are supplemented by the VESP's Residential Development Standards (Section 4.6.4), Commercial Development Standards (Table 4.10) Architectural Style Reference Guide (Section A.4), and Landscape Architecture Design Guidelines (Section A.6).

SITE LAYOUT AND ARCHITECTURAL DESIGN

1. The VESP's Design Guidelines (Appendix A) provides direction on building form, scale, and massing, along with architectural styles, roof forms, and construction materials to unify and visually blend structures with surrounding terrain and the natural environment, consistent with the proposed vision.

SCREENING AND STRUCTURE SITING

1. Use earth tone colors for the structure's exterior roofing materials, fencing, and walls to blend into the natural terrain and refer to Appendix A for architectural and landscape design guidelines.
2. Foundations and underside of structures shall be screened utilizing berms, plants, shrubs, and trees.
3. Structures on a slope that exceeds 10 percent slope or more shall avoid:
 - a. Exposed underfloor areas;
 - b. Large downhill cantilevers;
 - c. Tall support columns for overhanging areas.
4. Use berms, plants, and trees to screen and blend the structure with the surrounding environment and conceal unsightly site elements and surface parking.
5. Wall surfaces adjacent to viewshed areas, shall be minimized using single-story elements, setbacks, roof pitches, and landscaping.



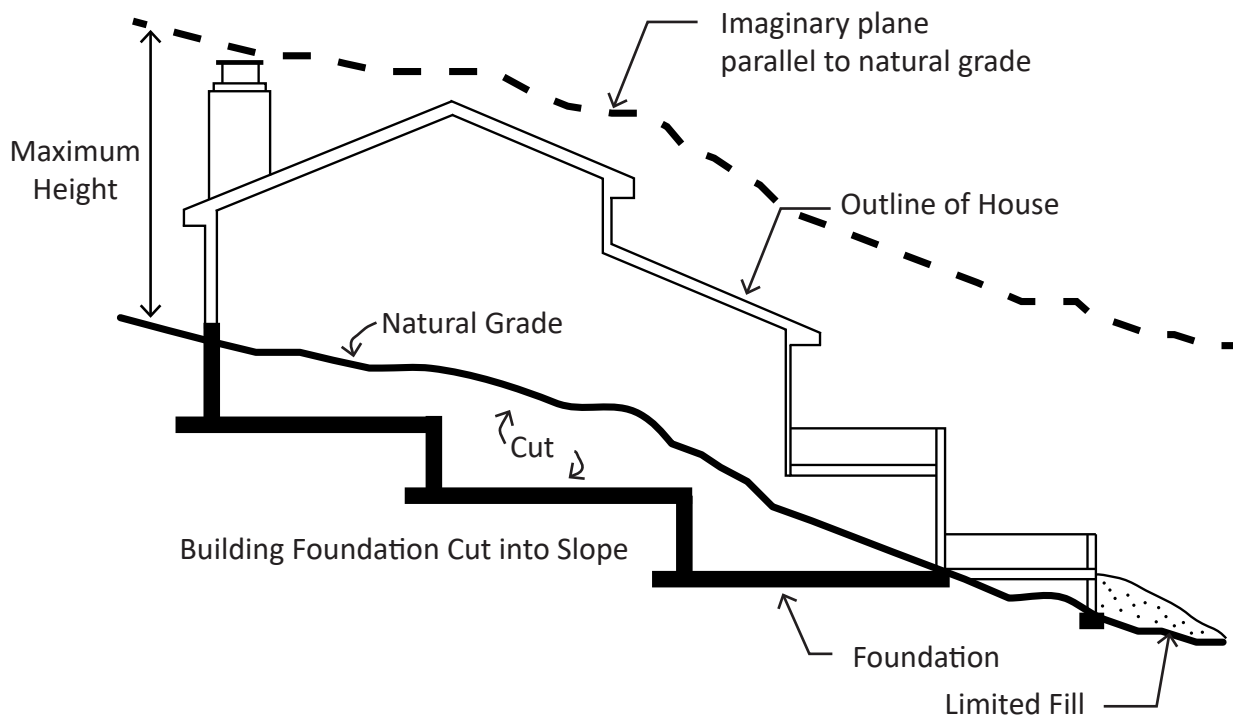
6. To minimize potential view impacts, in clustered development, dwelling units shall be grouped on more level or gently sloping terrain so as to reduce grading alterations on steeper slopes that shall be preserved in a natural state.
 - a. Split-level designs, where feasible, shall be utilized to minimize overuse of flat pads by using compact, multi-pad designs; however, are not required; and/or
 - b. Along ridgelines, site the structure to avoid visual dominance of built elements, enabling the skyline to be inhabited by ridgeline vegetation.

STREET DESIGN

1. Streets shall follow the natural contours of the terrain, where feasible and practical, to minimize the need for grading.

STRUCTURE HEIGHT

1. Building height limits are described in the VESP's Residential Development Standards (Section 4.6.4), and Commercial Development Standards (Section 4.8.3), including specialized height restrictions to minimize visual impacts to neighbors in Stilson Canyon and travelers on the Steve Harrison Memorial Bike Path.
2. Height shall be measured as the vertical distance to an imaginary plane located above the natural grade.



Home follows slope and steps down the hillside without creating excessive cut and fill.



SETBACKS BETWEEN STRUCTURES AND TOES/TOPS OF SLOPES

1. On adjacent lots having a difference in finished grade elevation of six feet or more, the minimum distance between the toe or top of the slope, whichever is nearer, and any main structure shall be 15 feet.
2. The grading standards of Title 16 R (Building Standards) shall also apply and may, under unique circumstances, result in greater setback requirements.

EXTERIOR LIGHTING

1. Dark sky compliant exterior lighting standards are outlined in lighting design guidelines are described in Appendix A, Section A.3.2.

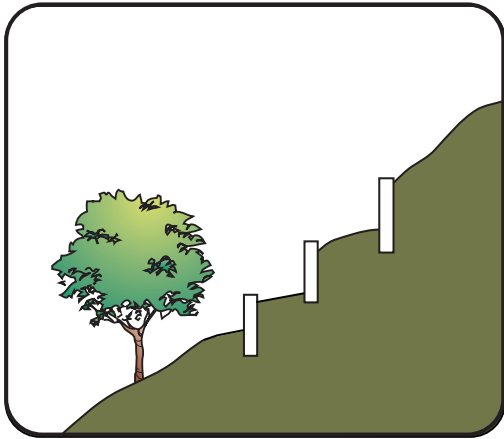
SLOPE

Slope categories shall be based off the natural slope of the land, as determined from a topographic map having a scale of not less than 1 inch equals 100 feet and a contour interval of not more than 2 feet.

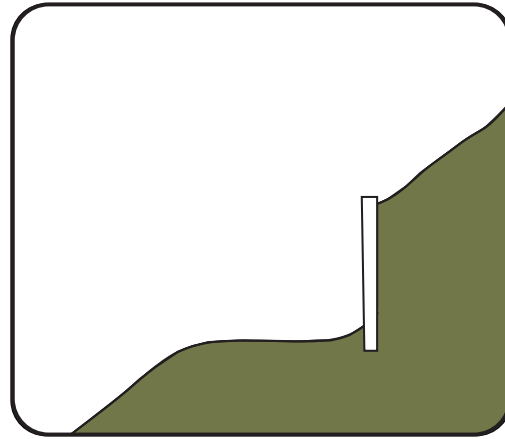
1. Project plans shall depict areas within private lots which exceed 10 percent slope and shall demonstrate that each such lot includes a minimum buildable area (consistent with setbacks and lot size standards in Table 4.5 and Table 4.6) within 100 feet of the proposed street.
2. For sites zoned R1-SF-VE located in predominately sloping areas (Type III 11% to 15%), split- or multi-level design solutions may be employed to minimize fills.
3. For sites designated RS-VE or R1-VE, preliminary driveway locations on the project plans shall be depicted to demonstrate viability.
4. Driveway access to the street in excess of 15% cross slope at the point of connection shall be prohibited unless approved by Chico Fire Department and Public Works Director.

RETAINING WALLS

1. Except as otherwise approved, no retaining walls shall have an exposed face higher than four feet within front or side setback areas, and no higher than six feet elsewhere. Retaining walls exceeding heights must be approved by the Master HOA. For heights above five feet, retaining walls shall be terraced and landscaped to screen from view.
2. Retaining walls outside of the building footprint should be at least six feet from a building wall to allow for adequate landscaping and/or walkway adjacent to the home.
3. Where practicable retaining walls shall integrate or emulate natural and earth tone elements to allow for visual cohesion between the natural and built environment.



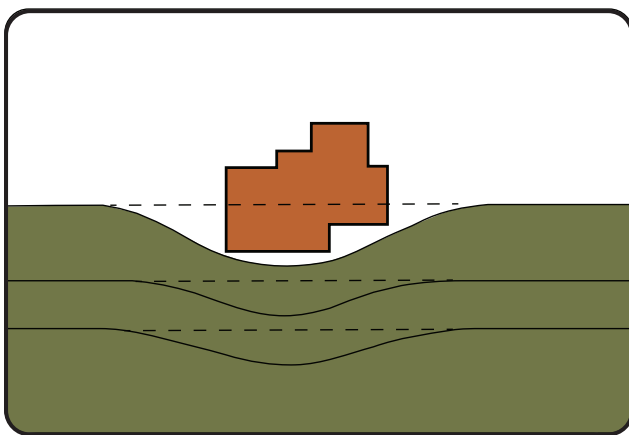
Retaining walls should be terraced when they are over 5-feet in height.



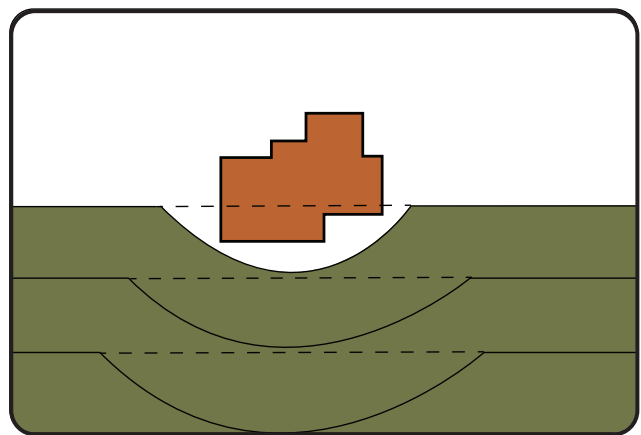
Avoid retaining walls over 5 feet in height.

GRADING AND DRAINAGE

1. No structures requiring a building permit shall be permitted within six feet of areas exceeding 15 percent slope without proper embankment and erosion controls. Grading shall be designed to conserve natural topographic features and appearances by retaining major natural topographic features (for example, canyons, knolls, ridgelines, and prominent landmarks), by minimizing the amount of cut and fill, and by means of landform grading to blend graded slopes and benches with the natural topography.
2. Grading plans shall identify slopes that are to be landform graded. "Landform grading" describes a contour grading method that creates artificial slopes with curves and varying slope ratios in the horizontal plane designed to simulate the appearance of surrounding natural terrain.



Man-made contours should mimic natural contours with smooth transitions to existing grades.



Avoid grading with rigid transitions.



3. All graded areas shall be protected from wind and water erosion, in compliance with Titles 16 (Buildings and Construction) and 16R (Building Standards). Interim erosion control plans, certified by the project engineer, shall be required.
4. Exposed slopes shall be replanted with non-invasive species, self-sufficient trees, shrubs, and groundcover that are compatible with the Landscape Architectural Design Guidelines (Appendix A) to blend manufactured and natural slopes and to protect slopes from soil erosion.

4.4.5 Required Plans and Reports

A subdivision or land use entitlement application for a site requiring disturbance of natural grade in excess of a 10 percent slope, categorized as Type III, Type IV, and Type V, shall include the following documents as determined by the Director. If the Director believes one or more of the required submittal materials is not necessary or timely, or information previously provided to the City is deemed adequate to satisfy such requirement, the Director may waive said requirement. If an applicant believes that any or all of the documents are not applicable, a written justification shall be submitted to the Director to justify an exception.

1. **Topographic Map.** A topographic map of the project site, vicinity, land, and structures within 100 feet of the plan area boundaries. Section drawings and/or elevations may be required where necessary to indicate those residences which may be affected in terms of view obstruction. The map shall be drawn to a scale of not less than 1 inch = 100 feet, with a maximum contour interval of two feet.
2. **Project Plans.** Plans of the proposed project shall include property lines with recorded and proposed easements and public rights-of-way, existing and proposed contours, a representative cross-section showing existing and proposed conditions, proposed erosion control and/or slope stabilization techniques, structure siting criteria and/or building envelopes, height limitations, and any solar orientation considerations.
3. **Soils Report.** A soils engineering report, including data on the nature, distribution, and strengths of existing soils, approximate depth and location of shallow impervious layers; subsurface drainage; design criteria for identified corrective measures; and recommendations regarding existing conditions and proposed grading. The report shall be prepared by a registered engineer.
4. **Geology Report.** A geology report, including the surface and subsurface geology of the site, degree of seismic hazard, recommendations regarding the effect of geologic conditions on the proposed development, and recommended design criteria to mitigate any identified geologic hazards. The report shall be prepared by a registered geologist, civil engineer, or other qualified professional in engineering geology and may be combined with the soils report.
5. **Oak Tree Plan.** In compliance with the Valley's Oak Woodland Management and Mitigation Plan (Appendix E), a plan identifying the trees to be removed and their location in relation to improvements shall be submitted. The oak tree plan must include a table that identifies oak tree species, size, and health for any proposed removal or trimming associated with the proposed improvements.
6. **Other Information.** Other information or application materials as may be deemed necessary by the Director.



4.5 Firewise Guidelines, Standards & Vegetation Management Requirements

This section describes the guidelines, standards, and management requirements enabling the VESP planning area to develop into a resilient and fire-resistant community. It is the intent of these standards that in doing so, adjoining residences are afforded greater protection from wildland fires than existed prior to the development of Valley's Edge.

The National Fire Protection Association (NFPA) characterizes the Wildland-Urban Interface (WUI) not as a place, but as a set of conditions including the amount, type, and distribution of vegetation; the flammability of structures in the area, and their proximity to fire-prone vegetation; weather patterns and general climate conditions; topography; hydrology; lot size; and road placement and construction. In this respect, standards and requirements apply in a variety of ways to various locations within the VESP plan area where pre-planning, actions, and cooperation between stakeholder's help prevent the spread, damage, and/or loss from wildfire. As used in this Specific Plan, the WUI is defined as the line, or zone, where certain areas designated for development meet or intermingle with wildland areas designated as natural open space, and illustrated on Figure 4-5: Wildland-Urban Interface (WUI) Perimeter.

The best approach to wildfire preparedness utilizes a range of firewise practices. The VESP provides a range of programs and practices for firefighter safety, community planning, landscaping, construction and maintenance to protect people, property, and natural resources from wildland fire. The VESP's firewise guidelines and requirements address wildfires from five distinct perspectives:

1. Land Planning

The City's adoption of the VESP Land Use Plan (Figure 4-1) eliminates development in heavily forested areas, and areas with steep terrain and/or dramatic topographic features, which increase wildfire risk. The Land Use Plan creates natural landscape buffers along the northern, eastern, and southern boundaries. Land planning also prioritized siting the Elementary School, Community Park, Village Core, and higher density residential areas along the western boundary, furthest from the WUI. Primary and secondary entrances and exits along with a series of secondary emergency access routes facilitate both firefighting and routine evacuation planning required by the City of Chico Fire Department.



*City of Chico
Fire Department*

2. Fire Fighting Capabilities

The incremental extension of infrastructure increases wildland firefighting capabilities. Roadways and trailheads along the VESP's Class I and enhanced trail system(s) create open space access points for emergency equipment, while trails serve as fire breaks (see Section 5.3). A recreational lake serves as a source of emergency fire water, in addition to a million-gallon water tank and a network of underground pipes deliver pressurized water to hundreds of fire hydrants, increasing fire suppression capabilities (see Infrastructure Chapter 6).



3. Fire Resistant Materials and Building Standards

Requirements for firewise construction pursuant to Chapter 7A of the California Building Code (CBC) apply to any and all buildings located along the WUI Perimeter (Figure 4-5). Chapter 7A of the CBC dictates firewise and non-flammable material and assembly specifications for roofs, attic vents, siding, exterior doors, decking, windows, eaves, wall vents, enclosed overhanging decks and other elements. These standards ensure that homes located along the WUI are built in a way that reduces the threat of structure ignition and minimizes the spread of structure fires.

4. Vegetative Fuel Reduction and Management

The reduction of surface fuels and ladder fuels and the creation of fire breaks represent proactive management of vegetative conditions that reduce the threat and spread of wildland fires. Guidelines and requirements for proper vegetative management exists along both the urban side and the open space side of the WUI. Firewise standards also apply to the edges of development which, for some period of time, adjoin undeveloped grasslands designated for development.

5. Emergency Preparedness

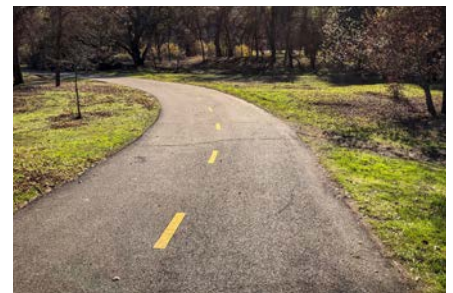
Emergency preparedness is an integral aspect of community planning and infrastructure. Programs, communication, and ongoing cooperation between residents, the HOA, the Chico Fire Department and service providers such as commercial landscapers all contribute to a more fire resistive and resilient community. Multiple points of ingress and egress, designated shelter-in-place areas, signage, way finding, and secondary emergency access routes become a routine part of subdivision planning and design.

These varied perspectives form the basis of the following firewise guidelines, standards, and management requirements. They are organized by the entity most directly engaged in administering the activity, and or a milestone event triggering an action by an entity.

The VESP's firewise guidelines and requirements apply to development located along the WUI Perimeter (shown in Figure 4-5). In most instances these conditions apply to incremental edges of phased development abutting natural landscapes in areas designated for future development, referred to as the "Temporary WUI Perimeter".

PLANNING AND DESIGN

1. Applicants shall consult with the City of Chico Fire Department during preliminary design to ensure sufficient fire apparatus access, evacuation routes, water supply, firewise building construction pursuant to CBC Chapter 7, and other factors are considered and integrated into improvement plans.
2. Where applicable, signage shall convey street names, fire apparatus open space access points, no exit streets, maximum weight limits for bridge and culvert crossings, and mile markers along Class I and enhanced trailways (see Appendix A, A.6.4)



Example of Class I path

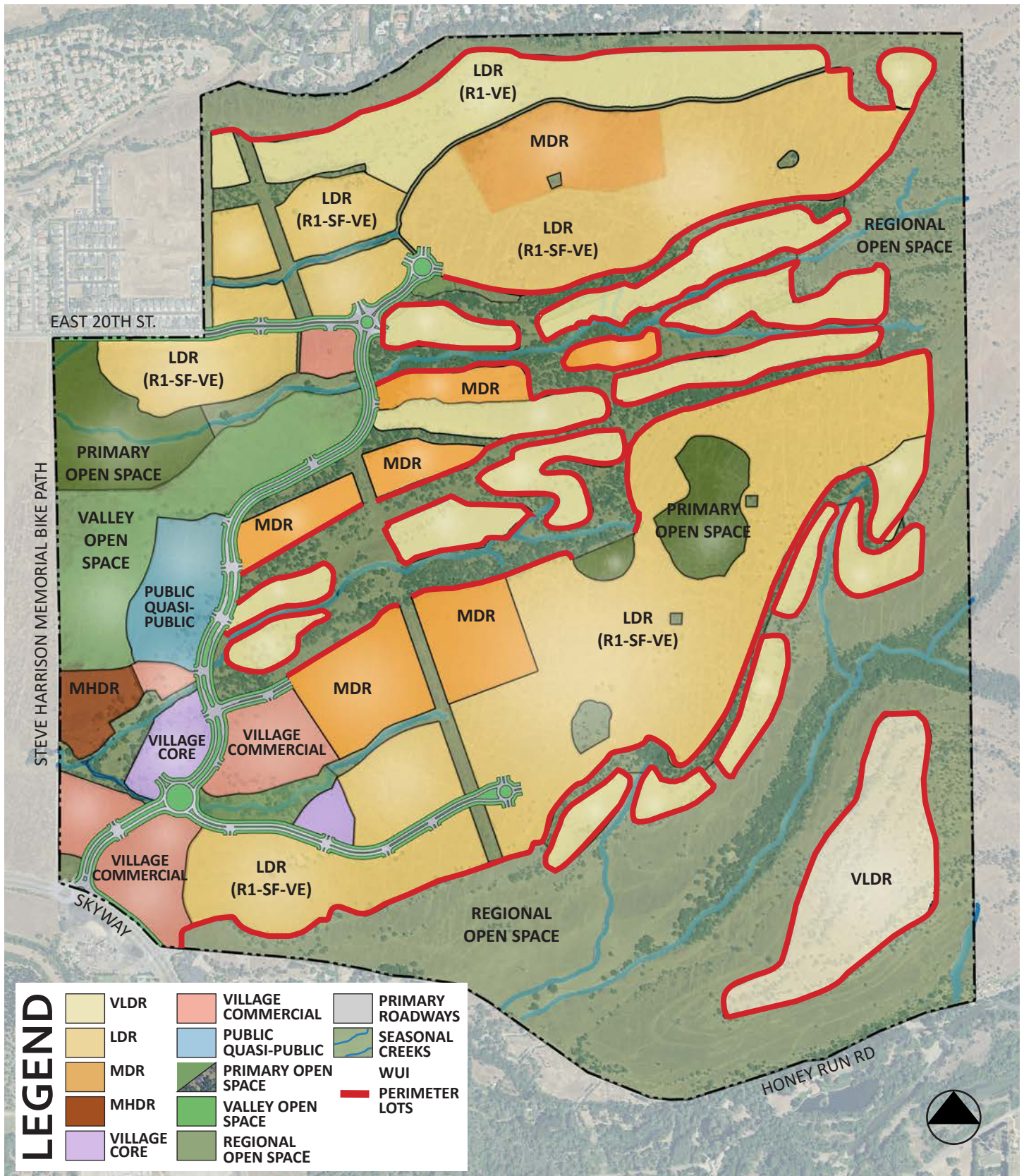


Figure 4-5: Wildland-Urban Interface (WUI) Perimeter



3. Roads shall not exceed a 12 percent grade, except in limited instances and distances in areas serving residential land uses as may be necessary to minimize grading, properly address a unique site constraint, or to accommodate an emergency access route. In any of these instances, approval of these exceptions will be subject to the Chico Fire Department and Public Works Director. Driveways shall be prohibited along sections of roads exceeding a 12 percent grade, unless approved by Chico Fire Department and Public Works Director.
4. Roads shall be a minimum of 20-feet wide and driveways shall be a minimum of 12-feet wide to allow evacuation and emergency vehicles simultaneous access.
5. Roads shall maintain a 13.5-foot vertical clearance to accommodate emergency vehicles.
6. Solid wood fencing shall not be allowed along the WUI Perimeter; however, may be allowed along the Temporary WUI Perimeter, providing fire breaks described under Vegetative Fuels Management are completed and maintained; fire resistant coating shall be applied to fences in these conditions.
7. To function as fire breaks, enhanced trails (illustrated on Figure 5-2 and described in Chapter 5) shall be 6-8-feet in width and composed of compacted gravel or decomposed granite. Fire breaks are built into the plan area within the trail network, as well as proposed streets and bike paths within VESP area.
8. Class I bike paths and enhanced trails shall include design features that minimize barriers to emergency response, such as knock-down bollards for emergency access at trailheads.
9. Habitable structures shall be located within 200 feet (measured as a fire hose would lay) of a road or other point accessible to a fire apparatus.
10. For the purposes of limiting the spread of wildfire to an adjoining building, the building setbacks for respective land use designation(s) described in Chapter 4 (Land Use) shall be adhered to, unless deemed otherwise by the City of Chico Planning Department and Fire Department.
11. Rolled curb access points shall be provided in open space areas. Open space access points shall be provided at each cul-de-sac that abuts a permanent open space and along streets adjacent to permanent open space areas. Such access points, illustrated in Chapter 5 (Circulation), shall be identified with signage and painted red curbs.
12. Development along Stilson Canyon shall be accompanied by construction of an 10-foot wide enhanced trail located within the Regional Park, generally as depicted on Figure 5-2 (Trail Master Plan). As incremental development occurs, this trail, serving also as a fire break, shall be extended to the eastern most point of development, transitioning south to the Old Doe Mill Road to buffer the eastern most edge of development and connect to the VESP trail system.
13. Points of access to the Regional Park for Wildland Fire apparatus shall be provided generally as depicted on Figure 4-5 (WUI Perimeter), the actual location(s) of such access being determined by the Chico Fire Department at time of Tentative Map.



Combination of wrought iron fencing with masonry wall



14. Development in areas abutting the Fire Access Road shown on Figure 5-1 shall, as applicable, be accompanied by design and or construction to accommodate a Type 3 pumper engine. Such access road shall be nominally 12 feet in width, at or below a 12 percent grade, with a surface material of compacted gravel or decomposed granite. The access road may be integrated into the VESP's road system and or enhanced trail network. Knock-down bollards or similar entry controls shall be placed at entry points along streets and trailheads. Final alignment, phasing, and specifications of the fire road, including design of the creek crossing, shall be subject to approval of the Chico Fire Department.
15. Areas such as the Community Park, Big Meadows Park, and the Elementary School may be designated, labeled, and signed as safety zones for citizens unable to evacuate or for emergency responder use. These areas shall be evaluated by Chico Fire Department before designated a safety zone.
16. Maintain secondary emergency access points, as illustrated on Figure 5-1.
17. Comply with Chico Fire Department's routine emergency evacuation plans.

VEGETATIVE FUELS MANAGEMENT

In Valley's Edge, the prevalence of natural open space surrounding and interspersing with development areas forms a beautiful living and recreational environment. Retaining this natural aesthetic also requires that care and consideration be given to the WUI in both open space and the built environment.

Open space along the WUI is comprised primarily of grasslands, Oak Woodlands, and in some instance, riparian woodlands. Development areas along the WUI Perimeter range from very low to medium density residential areas, along with a small corner of commercial land near the intersection of the Skyway and Honey Run Road (Figure 5-3).

Fire apparatus access to open space areas described above and in Chapter 5 (Circulation) together with scheduled and recurring reduction of vegetative fuels helps reduce the threat and spread of wildfires.

Compliance

Monitoring compliance of the Fuel Management program requires coordination between the City of Chico Fire Department, the HOA, lot owners and homeowners.

1. The Valley's Edge HOA shall be responsible for coordinating annual inspections by the Chico Fire Department.
2. The Valley's Edge CC&R's shall contain an enforcement mechanism to ensure compliance with these Fuel Management policies by lot owners and or homeowners.

Applicability

The VESP's fuel management practices apply to the following areas abutting the WUI, the Temporary WUI, along roadways, and along specified trails:

1. Within 20 feet of roadways abutting land designated open space, maintained by the HOA
2. Within 3 feet on either side of Class I trails and enhanced trails, maintained by the HOA



3. Within 20 to 30 feet of a property line on the open space side of the WUI, maintained by the HOA
4. Within 20 to 30 feet (depending on the fuel reduction method) of a property line on the open space side of the Temporary WUI, maintained by the HOA or lot owner
5. Within 30 feet of a property line on the residential side of developed lots designated VLDR, maintained by the lot owner
6. Within 30 feet of a property line on the residential side of developed lots designated R1-VE, maintained by the lot owner.

Fuel Management Practices

The following guidelines and directives for the reduction and management of vegetative fuels shall be administered by the responsible entity, monitored by the HOA, and available for inspection by the City of Chico Fire Department annually as well as on an as needed basis. Unless noted otherwise the following activities shall occur on an annual basis.

Subdivisions

1. For construction activities of a combustible nature, prior to fire season a fire break or fuel reduction zone abutting the boundaries of a subdivision shall be created along the open space perimeter of the WUI, including the Temporary WUI. Where feasible based on topography, soil type, Oak Woodlands and other natural features, a fire break shall be graded to a width not less than 20 feet. Where mechanical grading is infeasible, a 30 foot fuel reduction zone shall be created using hand or mechanical trimming reducing annual grasses to four (4) inches or less, remove dead or dying trees, thin continuous growths of shrubs, prune tree branches to a height of 10 feet from the ground or 1/3 the height of the tree, whichever is less.
2. Vegetation within 30 feet of a perimeter lot shall be annually thinned and pruned both horizontally and vertically by the Master HOA to reduce surface and ladder fuels.
3. Vegetation management on a perimeter lot shall include tree trimming or removal of dead plant material and mowing native grasses to a maximum height of four (4) inches.
4. Proposed landscaping shall be fire resistant.

Homeowners (by July 15th of each year)

1. Mow, trim, or by other method maintain non-irrigated grasses to four (4) inches or less. Avoid mowing non-irrigated grasses during hot or windy days. If unavoidable, such activities should be completed before 10:00 am and accompanied by pressure ready water hose or other source of fire suppression.
2. Remove combustible material such as leaves and tree branches on or overhanging roofs, chimneys, and gutters.
3. Remove dead vegetation from the yard, and maintain tree branches 10 feet or more away habitable structures.
4. Prune tree branches to 10 feet from the ground or 1/3 the height of the tree, whichever is less.



Valley's Edge Homeowners Association (HOA)

1. Coordinate annual visitation and inspection with the Chico Fire Department.
2. Monitor and enforce homeowner, subdivider, builder and lot owner compliance with the VESP's firewise requirements and protocols.
3. Create and or maintain required fire breaks and fuel reduction zones along the open space perimeter of the WUI, including the Temporary WUI. Where feasible based on topography, soil type, Oak Woodlands and other natural features, a fire break shall be graded to a width not less than 20 feet'. Where mechanical grading is infeasible, a 30 foot fuel reduction zone shall be created using hand or mechanical trimming reducing annual grasses to 4 inches or less, remove dead or dying trees, thin continuous growths of shrubs, prune tree branches to a height of 10 feet from the ground or 1/3 the height of the tree, whichever is less.
4. The Master HOA shall appoint a Trails Management Committee responsible for maintenance of the trails system, including vegetative management.
5. Open space areas outside of the WUI should prioritize natural grazing vegetation management strategies, such as controlled burns and contracted grazing services.
6. Fuel management in permanently preserved habitat conservation areas shall be consistent with the preserve's management plan.

EDUCATION

The Valley's Edge Master HOA shall be chiefly responsible for disseminating information to residents and other stakeholders regarding the VESP's firewise policies and practices, as well as wildfire preparedness in general. The HOA shall:

1. Post applicable firewise policies in neighborhood parks, community centers, and other gathering places, on the community website, and in newsletters sent to residents.
2. Address firewise policies at annual HOA meetings and at other events coordinated presentations with the City of Chico Fire Department, particularly immediately prior to the fire season.
3. Encourage residents to enroll in the Code Red or other community early warning system coordinated through City of Chico Fire Department.

IMPLEMENTATION

Conditions of Approval will be tied to new development to implement the VESP's firewise standards and shall be determined at time of Tentative Subdivision Map(s), or other event as may be agreeable to the City and applicant(s). As applicable, the same firewise concepts described for development of private lots apply to common areas, including roads and bridges, open spaces, and community-wide water supplies for firefighting.

A condition may exist where one or more of the firewise standards are deemed unnecessary, impractical, impermissible, or not contributing to the protection of people, property, and natural resources from wildland fire. Additionally, new and/or alternative methods of advancing the interests of Valley's Edge as a firewise community may arise. Any such instance shall be by the written request of an applicant and subject to the discretion of and approval by the City of Chico Fire Department.



4.6 Residential Land Uses

The VESP encompasses four residential land use designations: Very Low Density Residential (VLDR), Low Density Residential (LDR), Medium Density Residential (MDR), and Medium High Density Residential (MHDR); further defined by five zoning categories. Where these land use types are located, sized, and shaped has been directed by natural land forms and features, notably terrain, Oak Woodlands, and proximity to parks, recreational areas, and the Village Core. Refer to Figure 4-6: Conceptual R1-SF-VE for an example of a neighborhood lotting pattern illustrating a range in lot sizes within the R1-SF-VE/R2-VE Zoning Districts.

4.6.1 Residential Zoning and Land Use Designations



RS-VE (VLDR - VERY LOW DENSITY RESIDENTIAL)

This designation includes residential lots with a minimum parcel size of 20,000 square feet. There is a small amount of VLDR designated land, encompassing approximately 46 acres. This area is referred to as Equestrian Ridge, and is the only residential land accessible along Honey Run Road. The VLDR designation implements the City's RS zoning district and allows densities ranging from 0.2 to 2.0 units per acre.



R1-VE (LDR - LOW DENSITY RESIDENTIAL)

This LDR designation is applied to areas appropriate for residential lotting on natural terrain with a minimum parcel size of 15,000 sf. Parcel sizing allows for home placement to be more responsive to site constraints, such as oak trees, slopes and terrain, and other natural features. This LDR land use designation encompasses approximately 188 acres of the VESP area. The lot size range serve Chico's demand for individually owned, custom built single-family detached homes. This LDR designation implements portions of the City's R1-15 zoning district and allows 1.4 to 2.5 units per acre.



R1-SF-VE (LDR - LOW DENSITY RESIDENTIAL)

The LDR designation allows for low density housing on graded lots with a minimum lot size of 4,000 square feet, unless a small lot subdivision is utilized. These lots will include detached, single-family, one-story and two-story homes. LDR acreage within the VESP area comprises roughly 333 acres. LDR implements the City's R1 zoning district and allows densities ranging from 2.1 to 7.5 units per acre. This density type serves Chico's growing demand for production homes.



R2-VE (MDR - MEDIUM DENSITY RESIDENTIAL)

The MDR designation allows minimum parcel sizes of 3,300 square feet. The MDR product type can accommodate traditional small lotting layout, courtyard homes, condominiums, town homes, and cottage developments such as detached and attached cottages and patio homes. This MDR designation serves Chico's demand and desire for smaller footprints, lower maintenance, and common amenities at levels more affordable than lower density homes.



Figure 4-6: Conceptual R1-SF-VE (LDR - Low Density Residential) near Homestead Park

This MDR designation occupies approximately 91 acres and implements the City's R2 zoning district, accommodating densities ranging from 6 to 14 units per acre for detached homes, and up to 20 units per acre for cottage developments.



R3-VE (MHDR - MEDIUM HIGH DENSITY RESIDENTIAL)

No minimum parcel size is required for the MDHR designated areas. The MHDR designation is applied to select areas where higher-density residential uses, such as multi-family apartments benefit from close proximity to the Village Core, elementary school, and community park. MHDR land uses comprise approximately 9 acres and the MHDR designation implements the City's R3 zoning district, accommodating densities ranging from 14.1 to 22 units per acre.



4.6.2 Multi-Generational Neighborhoods

Valley's Edge encompasses both Multi-Generational neighborhoods and Senior neighborhoods. Multi-Generational Neighborhoods typically refers to homes where two or more generations of adults share a house or property. The VESP expands this definition to include neighborhoods with a mix of demographics, including, but not limited to families, young adults, and empty nesters. Surrounded by open space, the Valley's Edge "Multi-Generational Neighborhood" component extends from the planning area's northern boundary along Stilson Canyon Ridge, south through two gently sloping valleys, including areas in and around the Village Core. An additional Multi-Generational Neighborhood is located on the southerly mesa accessible from Honey Run Road, referred to as Equestrian Ridge. Multi-Generational Neighborhoods comprise approximately 399-acres or about 30% of the total acreage at an average density of 7.04 dwelling units per acre. Multi-Generational Neighborhoods have the potential to provide up to roughly 1,392 residential dwellings across a broad range of housing types, lifestyles, and affordability.

To provide a range of single-family attached and detached housing types along with opportunities for both ownership and rental, the Multi-Generational Neighborhood component includes VLDR, LDR, MDR, and MHDR land use designations. Refer to Table 4.3.

Table 4.3 Multi-Generational Neighborhoods Breakdown

Residential Land Use	Acres	Dwelling Units Proposed	Approximate Density* (du/ac)
VLDR	46.3	25	.54
LDR	290.6	849	2.9
MDR	53.4	356	6.7
MHDR	9	162	18.0
SUBTOTAL/AVG.	399.3	1,392	7.04

**Some villages may be more or less than the approximate density depending on efficiency of the respective land plan.*



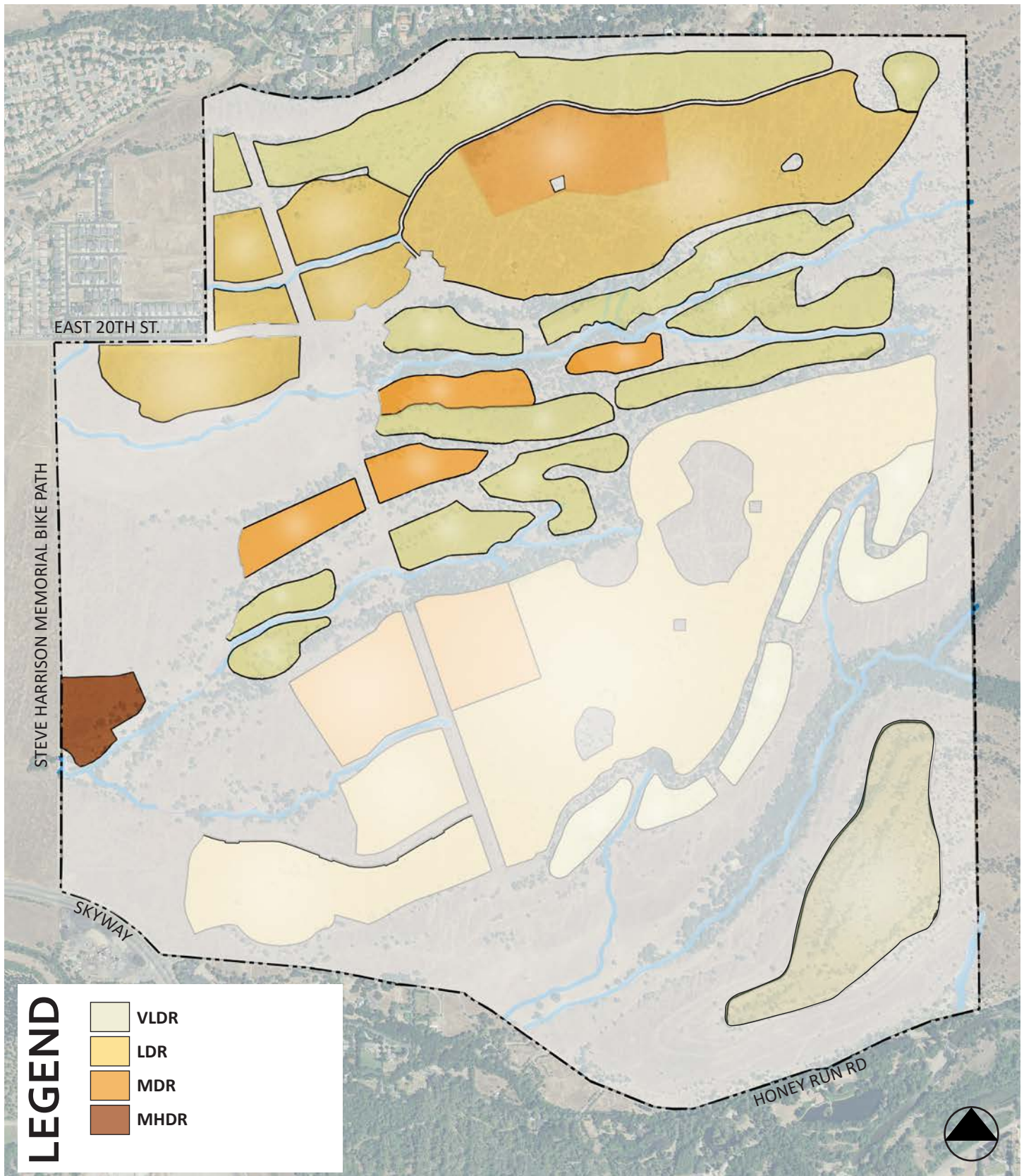


Figure 4-7: Multi-Generational Neighborhood Land Use Areas



4.6.3 Senior Neighborhoods

The Valley's Edge age-restricted 55+ "Senior Neighborhoods" component extends from Pioneer Park near the Village Core, eastward across a gently sloping grassland mesa. Similar to Multi-Generational Neighborhoods, the Senior Neighborhoods are defined by open space on its northern, eastern, and southern boundary. Senior Neighborhoods comprise roughly 269 acres, about 20% of the VESP planning area at an average density of about 8.75 dwelling units per acre.

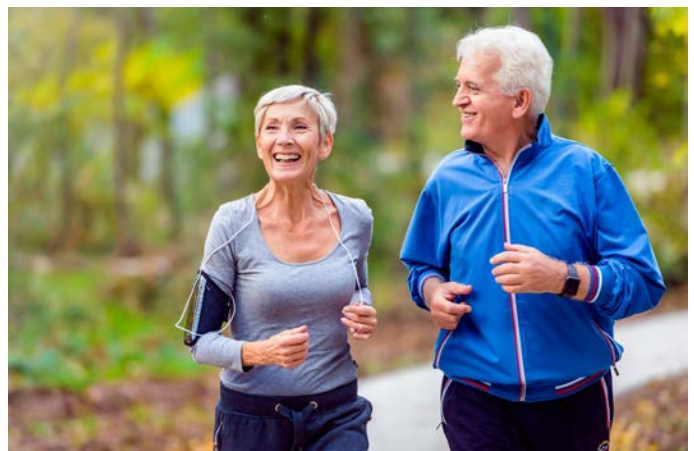
Senior Neighborhoods in the Valley's Edge planning area have the potential to provide up to approximately 1,385 residential dwellings at densities and in lifestyles that are responsive to the needs and interests of residents. Refer to Table 4.4.

The VESP Senior Neighborhoods includes LDR and MDR land use designations, accommodating a range of single-family attached and detached housing types, with opportunities for ownership and rental.

Table 4.4 Senior Neighborhoods Residential Breakdown

Residential Land Use	Acres	Dwelling Units Proposed	Approximate Density* (du/ac)
VLDR	0	0	0
LDR	231.4	866	3.7
MDR	37.8	520	13.8
SUBTOTAL/AVG.	269.2	1,386	8.75

**Some villages may be more or less than the approximate density depending on efficiency of the respective land plan.*



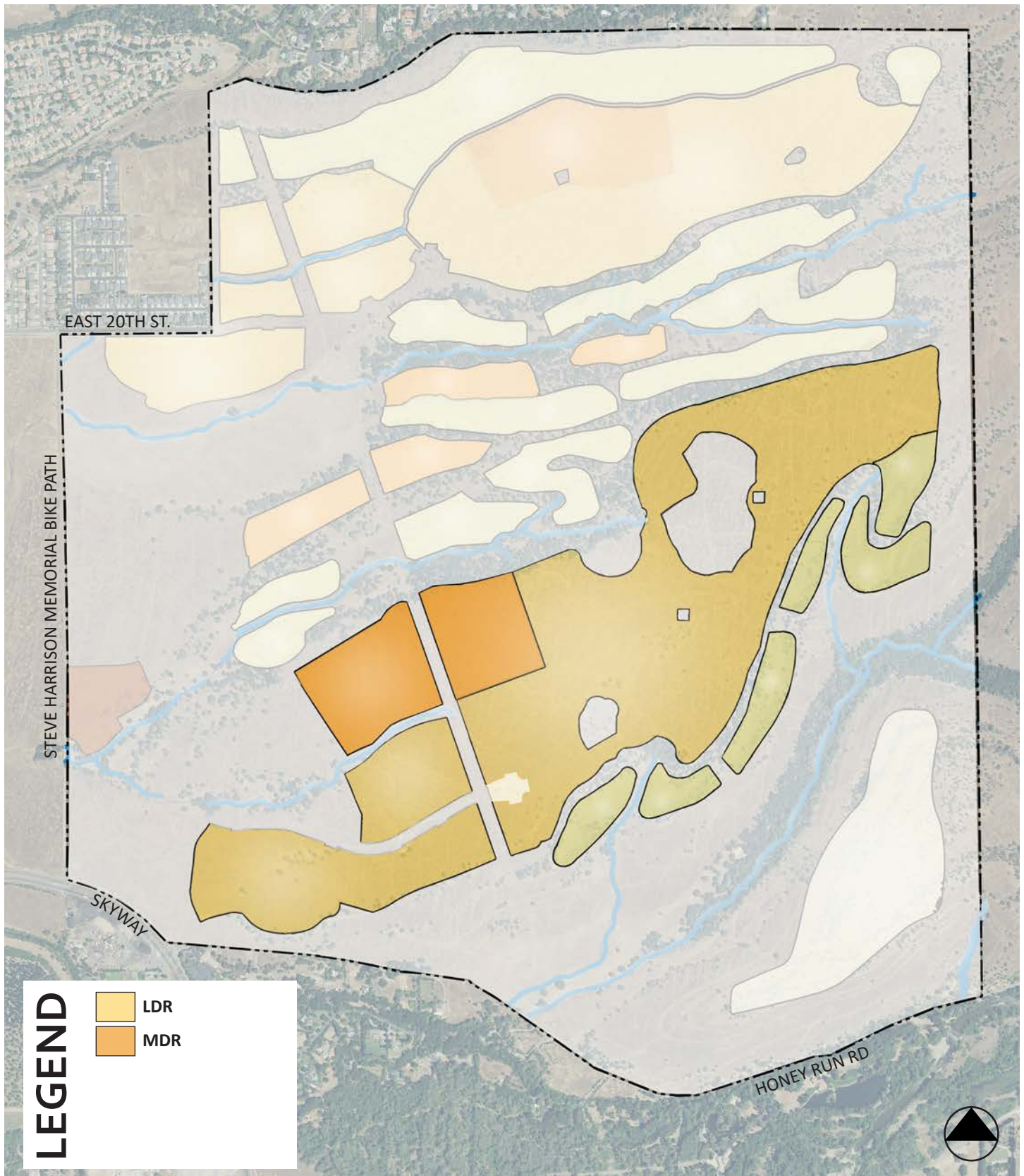


Figure 4-8: Senior Neighborhood Land Use Areas



4.6.4 Residential Development Standards

The following development standards apply to residential development within the VESP planning area.

Development Standards Terms

- **Buildable Area:** The area within the designated setbacks on a property that should be used to site a building.
- **Building Footprint:** The area encompassed by the exterior walls of a fully enclosed dwelling unit, garage, or other structure.
- **Building Height:** The vertical distance to an imaginary plane above the finished grade.
- **Cottage Development:** Homes clustered around common open space such as pedestrian paseos, garden courtyards, small parks, linear parkways, or parking courts. These homes may be attached or detached, and may have attached garages or separated parking areas with garages, carports or parking lots. Cottage developments can either be for sale or rental units. Cottage development in the VESP refers to small lot homes, detached and attached cottages, patio homes, nested homes, and courtyard homes. Section 4.7 describes in greater depth that cottage developments are an affordable alternative to larger single-family developments due to the smaller lot size and smaller home size.
- **Front Yard Setback:** The distance between the front wall of the main building and the back of the landscape easement or back of sidewalk, extending across the full width of the lot or parcel.
- **Garage Setback:** The distance between the garage door and back of sidewalk or back of curb if no sidewalk exists (the minimum length of the driveway).
- **Lot Frontage:** The narrowest lot dimension fronting on a street.
- **Lot Lines:** The property lines bounding the lot.
- **Lot Width:** The distance between the side lot lines measured at right angles to the lot depth at the midpoint between the front and rear line. This is where the minimum lot width is measured.
- **Rear Yard Setback:** The distance between the main building and the rear lot line that extends across the full width of the lot or parcel. (This distance may be averaged for floor plans where portion of the house footprint protrudes into the minimum setback, but is off-set with a larger building setback elsewhere).
- **Side Yard Setback:** The distance between the side lot line and the main building extending from the front yard line to the rear yard line.



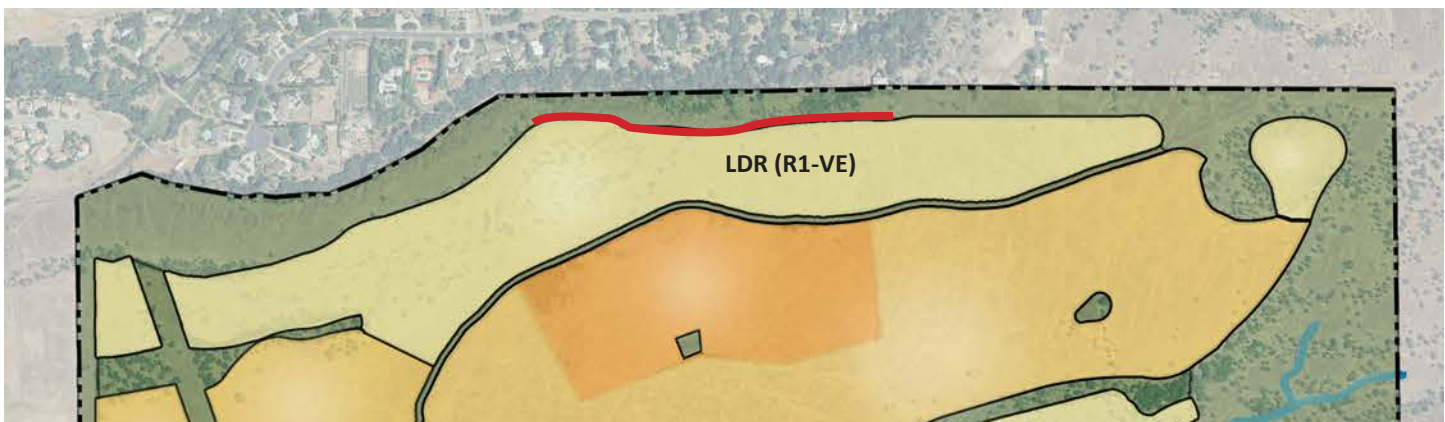
Table 4.5 **RS-VE Residential Development Standards**

Standard	RS-VE (VLDR)
Minimum Lot Size	
Lot Area	20,000 sf.
Minimum width at front setback line	80-feet; See the subdivision regulations for cul-de-sac lots
Lot Width	---
Lot Depth	---
Residential Density	1 single-family unit per lot; 0.2 - 2.0 units per acre for subdivisions
Minimum Setbacks Required	
Front	20-feet
Sides (each)	10-feet
Street side	20-feet
Rear	20-feet
Off-Street Parking Standards	
Parking	Single-family Housing: 2 spaces/unit
Additional Standards	
Maximum Site Coverage	40 %
Maximum Height Limits	35-feet for housing units; 15-feet for accessory structures; 25-feet for accessory structures, with use permit approval; 15-feet for detached garages; 35-feet for garages with a second floor dwelling unit; 25-feet for garages without a second floor dwelling unit, with use permit approval
Architectural Style	Refer to Appendix A.4, Architectural Style Reference Guide for the recommended architectural styles for the VESP area.
Foothill Development Standards	Refer to Section 4.4 for Foothill Development Standards.
Fire Protection Development Standards	Refer to Section 4.5 for Fire Protection Development Standards.



Table 4.6 R1-VE Residential Development Standards

Standard	R1-VE (LDR)
Minimum Lot Size	
Lot Area	15,000 sf.
Minimum width at front setback line in cul-de-sac/pie-shaped lots	45-feet at front property line provided 50% of Street frontage is available for on street parking. Reduced lot width/depth may be approved for irregular lots subject to the approval of the Community Development Director.
Lot Width	Varies to accommodate irregular shaped lots and natural site features
Lot Depth	Varies to accommodate irregular shaped lots and natural site features
Residential Density	1.4 - 2.5 du/ac
Minimum Setbacks Required	
Front	20-feet; Garage: 20-feet; Front yard porch and deck setback: 15-feet
Sides (each)	15-feet
Street side	15-feet
Rear	20-feet
Perimeter lots along the approximately 1,700 foot length abutting Stilson Canyon (see graphic below)	45-feet for second story; measured from northern private lot property line



The graphic above illustrates perimeter lots abutting Stilson Canyon that are required to meet the 45-foot setback from the northern private lot property line for second stories. The red line above represents the 1,700-foot setback restricted area.



Table 4.6 R1-VE Residential Development Standards

Standard	R1-VE (LDR)
Off-Street Parking Standards	
Parking	Single-family Housing: 2 spaces/unit Senior Housing: 1 space / 2 dwelling units
Additional Standards	
Maximum Site Coverage	50 %
Maximum Height Limits	35-feet or two (2) stories except for properties abutting Stilson Canyon Along Stilson Canyon: 26-feet within the first 45-feet from northern private lot property line
Landscaping	Refer to CMC 19.68, Landscaping Standards.
Porches	1. Minimum dimension shall be six (6) feet in any direction. 2. Porches may extend into setback area up to 6-feet.
Architectural Style	Refer to Appendix A.4, Architectural Style Reference Guide for the recommended architectural styles for the VESP area.
Foothill Development Standards	Refer to Section 4.4 for Foothill Development Standards.
Fire Protection Development Standards	Refer to Section 4.5 for Fire Protection Development Standards.



Table 4.7 R1-SF-VE Residential Development Standards

Standard	R1-SF-VE (LDR)
Minimum Lot Size	
Lot Area	Interior lots: 4,000 sf.; Corner lots: 5,000 sf. Small lot subdivisions: 3,500 to 4,499 sf.
Minimum width at front setback line	Interior Lots: 40-feet; Corner Lots: 45-feet
Lot Width	40-feet; no minimum depth in a subdivision or planned development
Lot Depth	80-feet; no minimum depth in a subdivision or planned development
Residential Density	2.1 - 7.5 du/ac
Minimum Setbacks Required	
Front	Lots of 4,500 sf. or more: 15-feet for main buildings and 20 ft. for garages/carports. (15-feet for swing in or side load garages) measured from back of sidewalk or back of curb if there is no sidewalk Lots of 3,500 - 4,499 sf.: See Section 19.76.150 (Small-lot subdivision)
Sides (each)	5-feet
Street side	10-feet for main buildings; 20 feet for garages/carports; 9-feet for main buildings on lots with parkways
Rear	15-feet plus 3 feet additional for each story over the first where the setback abuts a non-open space district 2-feet for garages on alleys
Off-Street Parking Standards	
Parking	Multi-Generational Housing: 2 spaces/unit Senior Housing: 1 space / 2 dwelling units
Additional Standards	
Maximum Site Coverage	60%; 65% for Small Lot Subdivision
Maximum Height Limits	35-feet for primary housing units; 25-feet for second dwelling units; 15- feet for accessory structures; 25-feet for accessory structures, with use permit approval; 15-feet for detached garages; 35-feet for garages with a second floor dwelling unit 25-feet for detached garages without a second floor dwelling unit, with use permit approval
Architectural Style	Refer to Appendix A.4, Architectural Style Reference Guide for the recommended architectural styles for the VESP area.
Foothill Development Standards	Refer to Section 4.4 for Foothill Development Standards.
Fire Protection Development Standards	Refer to Section 4.5 for Fire Protection Development Standards.



Table 4.8 R2-VE Residential Development Standards

Standard	R2-VE (MDR)
Product Types	
Traditional Tract Development; Detached or Attached Cottages; Patio Homes; Small Lot Homes; Nested Homes; Courtyard Homes	
Minimum Lot Size	
Lot Area	3,300 sf. with parkways Detached or attached cottage development homes may be on smaller lots with a common area.
Minimum width at front setback line	40-feet interior lots, 48-feet corner lots; 40-feet for alley loaded lots or homes with detached garages; 45 for lots with garages facing street; no minimum width for detached or attached cottage developments
Residential Density	6 - 14 du/ac; 20 du/ac max. for cottage developments
Setbacks Required	
Front	The front facade of the building shall be placed 18 feet from the back of the sidewalk. A front porch may encroach up to 12 feet into the resulting front setback. None required for condominiums, townhomes, and similar housing types. Not applicable for cottage developments.
Sides (each)	Attached Housing Types: 0-feet Minimum distance between homes: 8-feet Detached Housing Types: 4-feet, plus 5-feet additional for each story over the first where the setback abuts a non-open space district Not applicable for cottage developments.
Street side	10-feet for main buildings; 20-feet for garages/carports.
Rear	10-feet for main building; plus 14-feet for 2 story. 2-foot garage setback along alleys or driveways. Not applicable for cottage developments.
Cottage Development	10-feet from adjacent neighborhoods and local streets; 2-foot garage setback along alleys or driveways; 8-feet between structures
Cottage Development Open Space	Common open space shall be provided in the form of a common courtyard or paseo of at least 15 percent of the total lot area and each cottage shall have a private or semi-private yard of at least 150 square feet which may be located in a side yard, the rear yard, porch or adjacent to the courtyard, or center paseo.



Table 4.8 R2-VE Residential Development Standards

Standard	R2-VE (MDR)
Off-Street Parking Standards	
Primary & Guest Parking	Studio: .75 spaces / unit 1 bedroom: 1 spaces / unit 2 bedroom: 1.75 spaces / unit 3 bedrooms or more: 2 spaces / unit Senior Housing: 1 space per 2 units Guest (required for all R2-VE developments): 1 space per 5 units
Additional Standards	
Maximum Height Limits	35' or two (2) stories
Architectural Style	Refer to Appendix A.4, Architectural Style Reference Guide for the recommended architectural styles for the VESP area.



Table 4.9 R3-VE Residential Development Standards

Standard	R3-VE (MHDR)
Minimum Lot Size	
Minimum Lot Area	No minimum lot area required.
Residential Density	14.1 - 22 du/ac
Minimum Setbacks Required	
Front	10-feet for main buildings
Sides (each)	5-feet; plus 5-feet additional for each story over the first where setback abuts a non-open space district
Street side	10-feet for main buildings
Rear	15-feet for main buildings; plus 5-feet additional for each story over the first where setback abuts an RS or R1 district
Height Limits	45-feet or three (3) stories*
Off-Street Parking Standards	
Primary & Guest Parking	Studio: .75 spaces / unit 1 bedroom: 1 spaces / unit 2 bedroom: 1.75 spaces / unit 3 bedrooms or more: 2 spaces / unit Senior Housing: 1 space per 2 units Guest (required for all R3-VE developments): 1 space per 5 units
Additional Standards	
Site Coverage	65%
Minimum Open Space	Determined through Design Review
Maximum Height Limits	45-feet for primary housing units; Multi-family development abutting the Steve Harrison Memorial Bike Path shall be single-story for the first 25', measured from the plan area boundary 15-feet for accessory structures and detached garages; 25-feet for accessory structures and detached garages, with a minimum setback distance of 10-feet from all property lines
Architectural Style	Refer to Appendix A.4, Architectural Style Reference Guide for the recommended architectural styles for the VESP area.



4.7 Workforce/Attainable Housing

The production of Workforce/Attainable Housing is an important component of the Valley's Edge vision. Workforce housing and housing attainable for seniors across income spectrums or entry-level home buyers, is also referred to as "Missing Middle Housing" or "affordable by design housing". This type of housing revolves around design, density, and assembly methods capable of lowering the cost of new home production, as well as serves home buyers which over qualify for subsidized housing, yet under qualify for a mortgage adequate to own a typical single-family home. This housing category also is applicable to those who prefer smaller homes on smaller lots. This market segment is under-served across California, and particularly within the City of Chico following the 2018 Camp Fire.

Per the Chico General Plan and Action LU-2.5 (refer to Section 2.3.2 of the VESP), the VESP will consider, where feasible, opportunities for the provision of affordable housing units, using governmental subsidies or other incentives.

Workforce/Attainable Housing is compatible with the VESP's Medium Density Residential (MDR) land use category and corresponding R2-VE zoning designation. With an allowed density range between 6 to 14 units per acre or 20 units per acre for cottage developments, this land use is capable of accommodating a wide range of housing types, lifestyles, and affordability ranges. The Multi-Generational Neighborhoods of Valley's Edge have the capacity to accommodate roughly 356 medium density homes. The Senior Neighborhoods have capacity to accommodate roughly 520 medium density homes.

In total the VESP provides approximately 90 acres of land designated MDR accommodating roughly 876 homes at an average density of roughly 9.7 units per acre. Areas designated MDR are generally located near neighborhood parks, along open space corridors, in proximity to commercial/retail uses, along open space corridors, and along the VESP's backbone trail network.

As outlined in Section 4.6, the variety of housing options in the VESP planning area reflects a careful assessment of natural land forms and features, compatibility between adjacent land uses, proximity to commercial areas, and proximity to parks, trails, and open space. Table 4.8 (R2-VE Residential Development Standards) describes the parameters necessary to accommodate a range of workforce housing types. These standards contemplate reduced lot sizes, smaller homes, and denser neighborhood patterns, all aimed at lowering the cost of housing to increase affordability. When workforce housing is connected to walkable neighborhoods by trails and sidewalks, the need to drive and the demand for parking, garages, and carports is reduced. This increases affordability in two ways: lowering costs through reduced lot sizes and decreasing the family mileage and vehicle expense. It is expected that in many instances, properly located workforce housing can eliminate the need for a second vehicle.



HOUSING TYPES

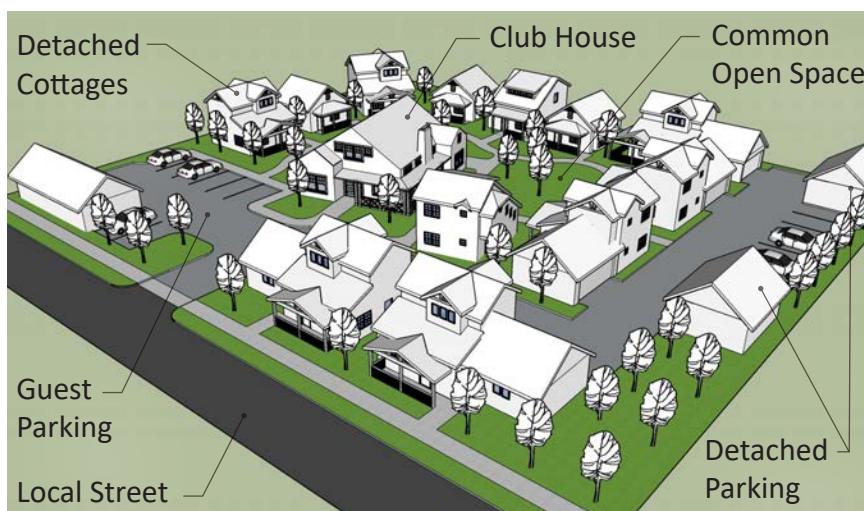
The Valley's Edge Specific Plan caters to the unmet residential needs of Chico, including housing for seniors, young adults, and empty nesters. Reinforced by the Chico General Plan, there are several goals, policies, and actions outlined in the Chico Housing Element, that prioritize the need for workforce housing. Outlined below are various workforce housing alternatives allowed within the VESP area, which can be rental or ownership homes.

Detached and Attached Cottages

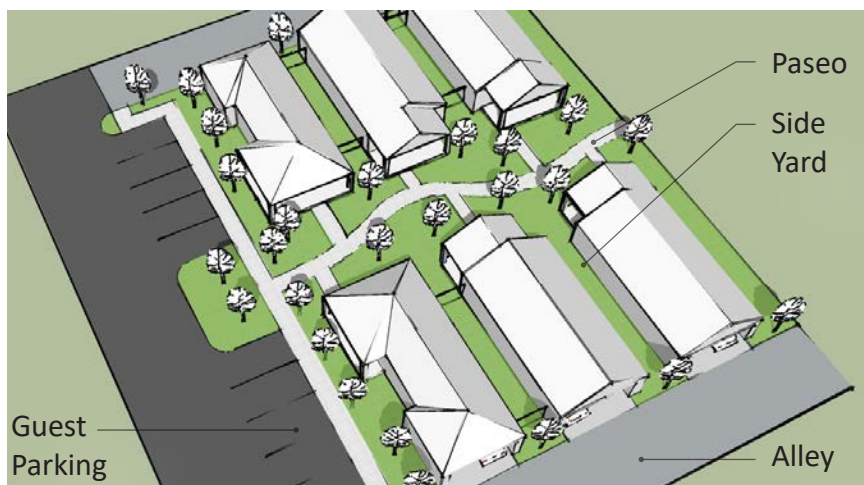
This home type consists of a series of small detached or attached cottages clustered around a common green or parkway, with parking provided as detached or attached garages/carports, and/or in separated parking areas.

Patio Homes

Patio homes are smaller single-family detached homes typically arranged with rear yard fronting onto common paseos, with attached garages located along an alley or street. These paseos often lead to parks, trails, and open space encouraging walking, bicycling, and increased social and neighborhood interaction. These homes may be mixed with more traditional designs featuring fenced private yards, providing space for home gardening, landscapes, hardscapes suiting individual lifestyles.



Cottage development example clustered around common green.



Detached cottage development with porches fronting on internal paseo.



Patio Home development with patio fronting on internal paseo with attached garages fronting a local street or alley



Small Lot Homes

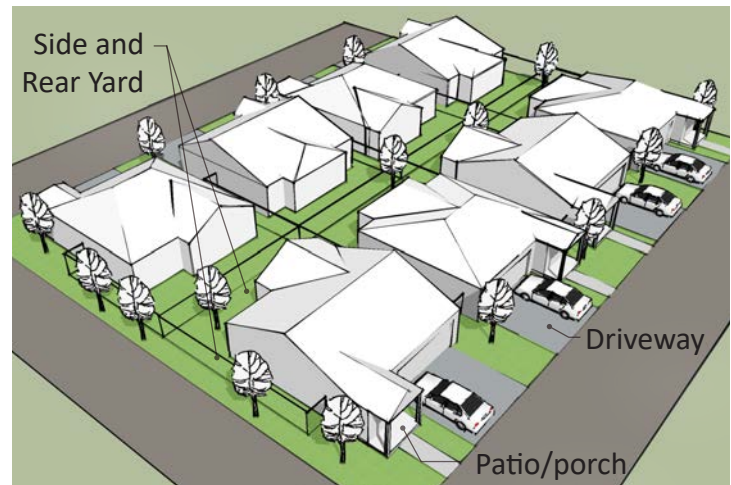
Small lot homes with reduced building footprints and side yard setbacks provide for a small, yet functional semi-private landscaped rear yard adequate for a sitting area, mini-garden, barbecue, or swing set. They are detached homes with a conventional neighborhood pattern on smaller lots ranging from 3,500 – 4,000 square feet with densities around 10 units per acre. Small lot homes will provide home-ownership opportunities at a price-point attainable for first time buyers in both the Multi-Generational and Senior Neighborhoods of the VESP planning area.

Nested Homes

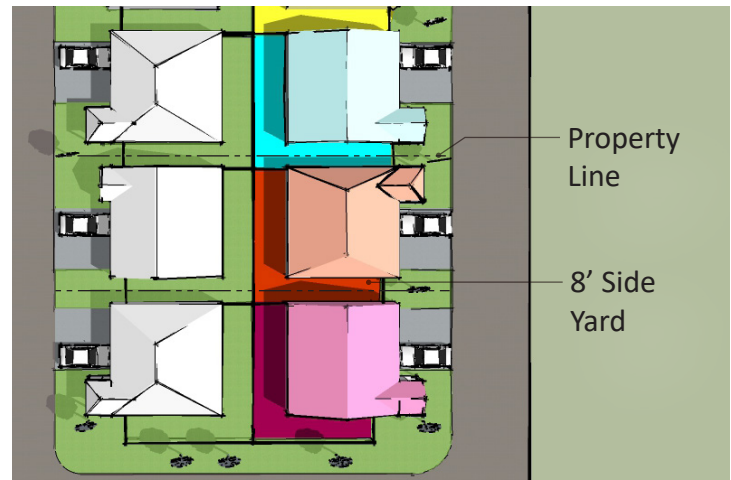
Detached homes in cottage, patio, and small lot development, can use the nested approach to create more usable side yards. In this approach, the units can be “nested” to allow each unit one full 8-foot side yard rather than two four foot side yards. One unit would have access to the side yard with windows and doors, and the other unit would have high windows on that side of the house and have access to a side yard on the other side of their house.

Courtyard Homes

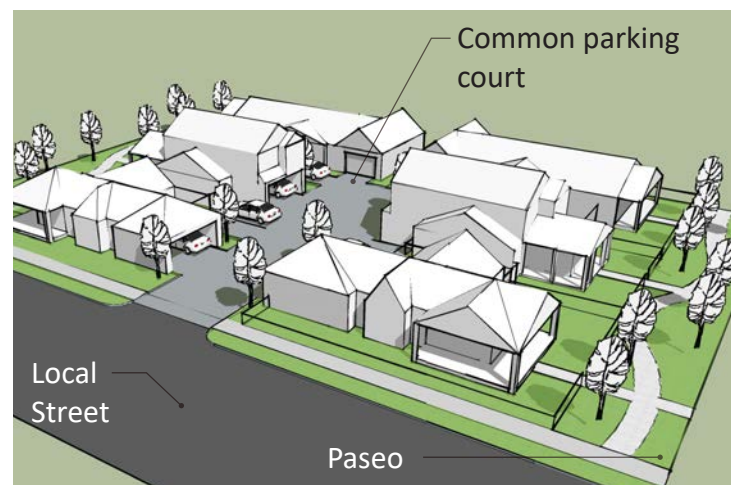
Courtyard homes provide clustered single-family detached or attached residences in duplex, triplex, or fourplex configurations designated around a common courtyard. Design elements typically include front porches oriented towards parkways or paseos, with the garages arranged around the parking court.



Small lot homes are on smaller lots with a small rear and side yards.



Nested homes have a useable side yard that abuts up to the adjacent neighboring structure.



Courtyard homes arranged around parking court



Porches oriented onto parkways



Attached cottages fronting common green



Detached cottages fronting common green



Small lot home example



Nested home expanded side yard



Porch fronting onto common pedestrian paseo



4.8 Commercial Land Uses

The Valley's Edge Land Use Plan (Figure 4-1) identifies strategically located commercial areas offer employment opportunities and services supporting the daily needs of residents, providing convenient access within the planning area.

Located on Skyway, just east of the Steve Harrison Memorial Bike Path, commercial areas can be accessed by both the Class I Path system and Neighborhood Electric Vehicles (NEVs) lanes, enabling residents to travel to and from home to work, shopping, dining, recreation and social gatherings without leaving the planning area, lessening automobile dependence.

Commercial areas in the Valley's Edge planning area, also support visitors and public facility users, such as the community park, elementary school, easily accessible via the Class I Path system.

There are two types of commercial settings in Valley's Edge, each represented by a distinct land use designation: Village Core (V-Core) and Village Commercial (V-Comm).



4.8.1 Commercial Zoning Designations

V-CORE (VILLAGE CORE)

The V-Core designation applies to the neighborhood scale Village Core, the vibrant social heart serving residents within and visitors to the Valley's Edge community. The Village Core comprises approximately 13 acres. With limited exceptions, the V-Core designation implements the City's Neighborhood Commercial (CN) zoning district. The land use exceptions are outlined in VESP Appendix C: Permitted and Conditionally Permitted Uses.



V-COMM (VILLAGE COMMERCIAL)

As a complement to the Village Core and as the primary employment district for the planning area, the V-Comm designation provides greater flexibility on building size, scale, and allowable land uses (as noted in Appendix C. Village Commercial contains approximately 44 acres of the Valley's Edge planning area. With limited exceptions, the V-Comm designation implements the City's Community Commercial (CC) zoning district. The land use exceptions are outlined in VESP Appendix C: Permitted and Conditionally Permitted Uses.

4.8.2 Village Core

The Village Core in Valley's Edge serves as its preeminent 'Third Place', where residents and visitors gather and socialize away from home and work.

The Village Core is located around majestic oak trees and framed by two seasonal creeks. It is designed to accommodate outdoor style cafes, patios and cafe style restaurants overlooking an open-air, terraced gathering space where events, such as farmers' markets, art exhibits, craft shows, and dance/music venues inspire family and community interaction and enjoyment.

Across the footbridge, rock wall corrals and stands of large oak trees serve as the frame for the community garden and adjoining picnic area. The gardens, owned and maintained by the HOA, will be made available to residents, grocers, and restaurateurs.

Among other social and recreational amenities in the Village Core (Figure 4-10), a community clubhouse and community learning center is envisioned to include a swimming pool, tennis, bocce ball, paddle ball and facilities capable of hosting small social gatherings/catered events or small kiosk.

The Village Core is also planned to accommodate a range of land uses ranging from professional offices to retail trade, including neighborhood grocery and services supporting daily resident needs.

"The village core will provide a mix of professional offices, neighborhood retail, and other services."

*- CHICO GENERAL PLAN
APPENDIX C -DOE MILL/HONEY
RUN SPECIAL PLANNING AREA*

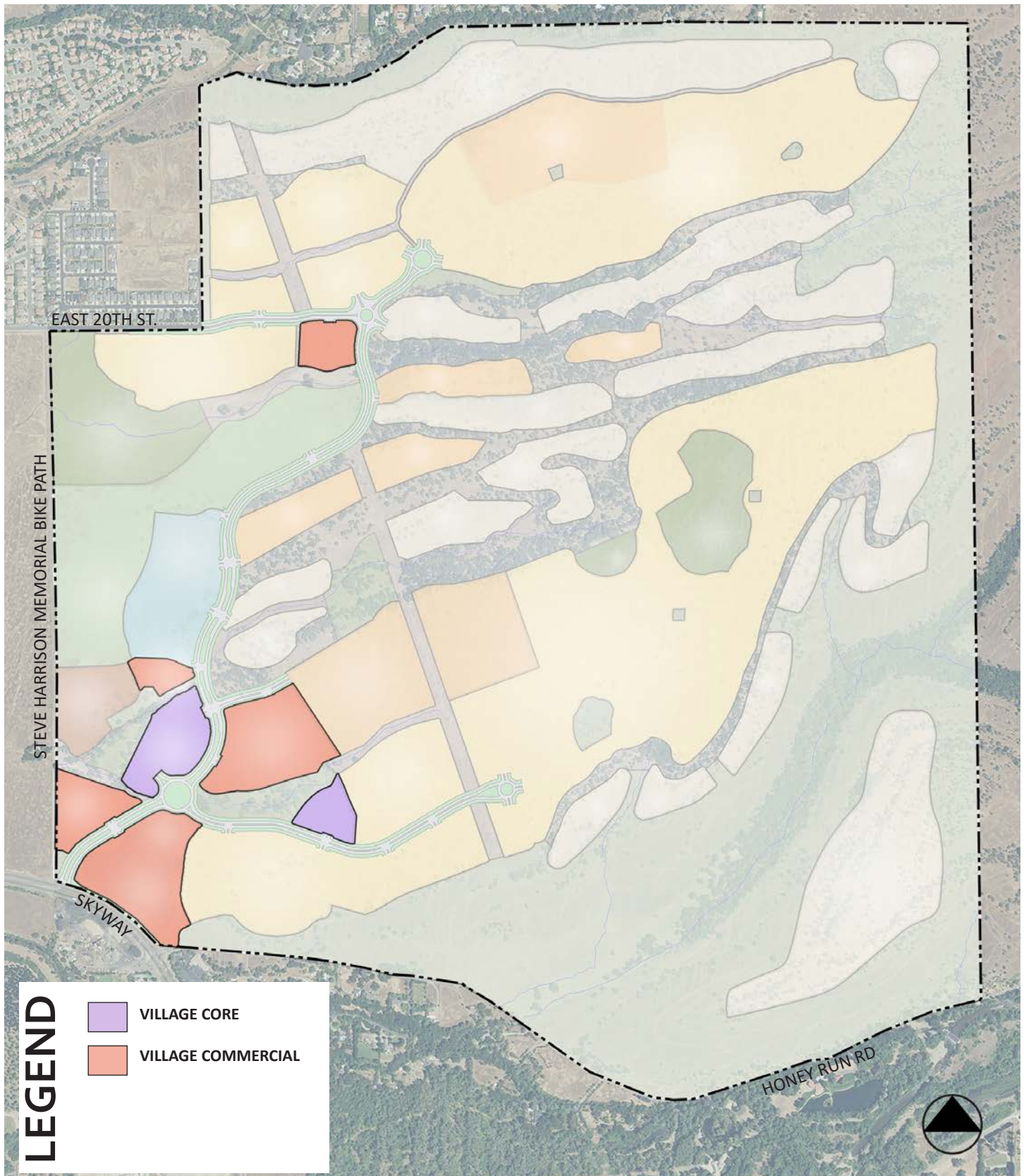


Figure 4-9: Commercial Land Use Areas

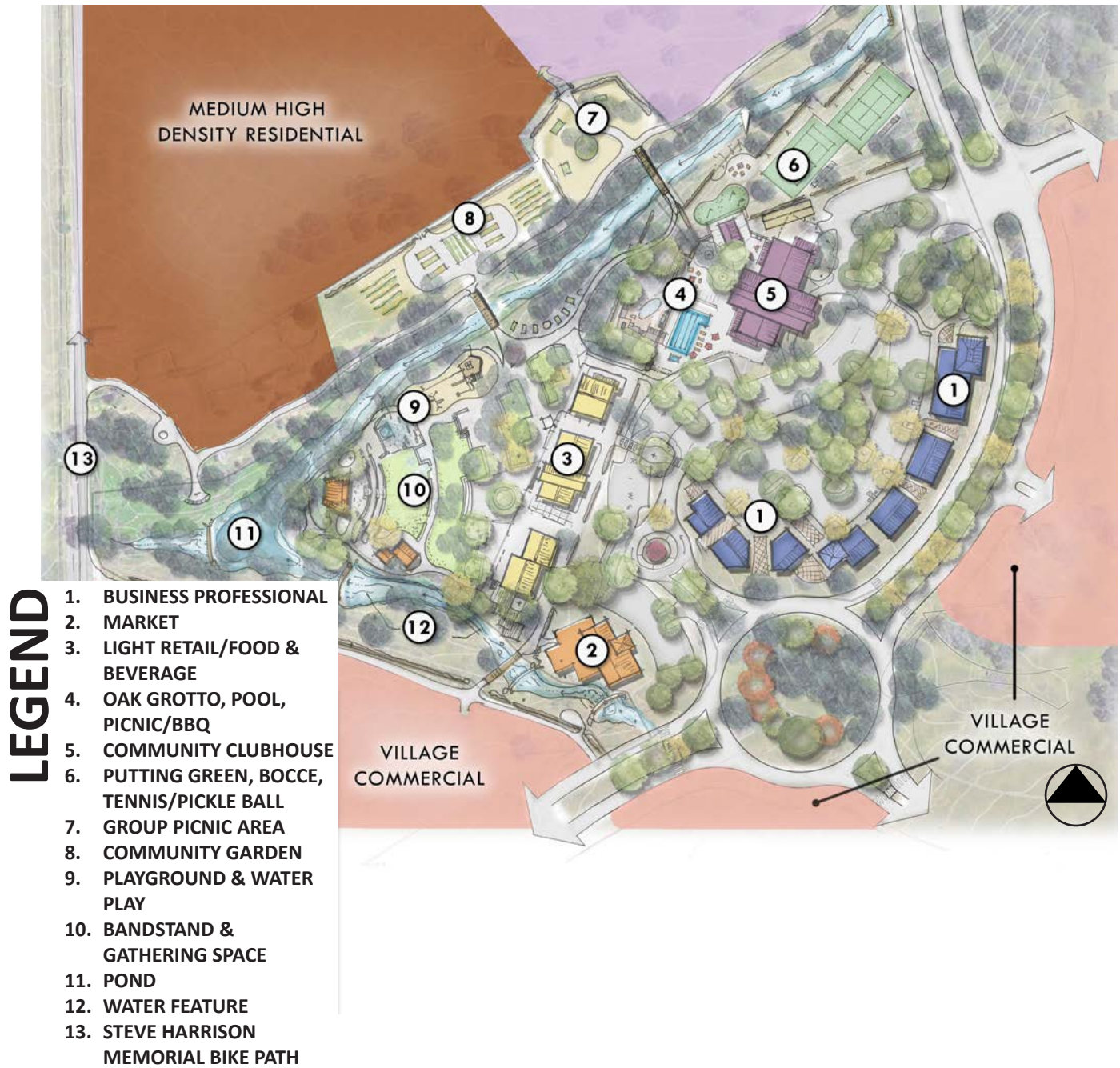


Figure 4-10: Village Core



4.8.3 Commercial Development Standards

The following development standards apply to commercial development within the Valley's Edge planning area.

Table 4.10 Commercial Development Standards

Standard	CN-VE (V-Core)	CC-VE (V-Comm)
Minimum Lot Size		
Lot Area	None required	None required
Lot Width	None required	None required
Lot Depth	None required	None required
Residential Density	N/A	0-35 du/ac
Minimum Setbacks Required		
Front (from curb edge)	0-feet	0-feet
Sides (each)	5-feet where side of the parcel abuts an alley, 10-feet where the side of the parcel abuts an R district	
Street side	10-feet	
Rear	10-feet	20-feet
Site Coverage	95%	85%
Height Limits	35-feet for main buildings 25-feet for accessory	45-feet; 25-feet within 25-feet of an abutting R zone district boundary or within 100' of the Steve Harrison Memorial Bike Path
Off-Street Parking		
Refer to the CMC for parking requirements		
Additional Standards		
Landscaping	Refer to CMC 19.68, Landscaping Standards	
Lighting	Refer to B.6, Non-Residential Guidelines for exterior lighting standards.	



4.9 Special Purpose Land Uses

The Special Purpose land uses encompass the open space, parks, and public facilities offered within the VESP area. These areas designated in Figure 4-11 establish the backdrop for the trails and linear parks detailed in Chapter 3, along with an area set aside for a future elementary school site. Refer to Chapter 3 - Parks, Recreation, & Open Space for detailed descriptions of the elements discussed in this Section.

4.9.1 Special Purpose Land Use Summary

PQ (PUBLIC QUASI PUBLIC)

The PQ designation applies to areas planned to accommodate a future elementary school and associated recreational and administrative buildings. PQ land uses comprise approximately 19 acres of the VESP area. The elementary school site was sited in proximity to the community park for shared use opportunities with the play fields and parking. The PQ designations implements the City's PQ zoning district within Valley's Edge planning area.

OS1 (PRIMARY OPEN SPACE)

The OS1 land use designation applies to areas planned to be set aside for conservation that contain environmentally sensitive habitat. OS1 land uses encompass approximately 46 acres of the Valley's Edge planning area. The OS1 designation implements the City's OS1 zoning district within Valley's Edge.

R-OS (REGIONAL OPEN SPACE)

The R-OS land use designation applies to roughly 370 acfes surrounding the northern, eastern, and southern boundaries of the built environment, referred to as the Regional Park. This expansive park serves many purposes, from conservation and passive recreation, to visual buffers and a permanent barrier to foothill encroachment. The R-OS designation implements the City's OS1 zoning district within Valley's Edge.

V-OS2 (VALLEY OPEN SPACE)

The V-OS2 land use designation applies to areas appropriate for active and/or passive recreation, including community park, play fields, linear parks, creekside greenways, neighborhood parks, and special use parks. V-OS2 land uses comprise 246 acres of the Valley's Edge planning area. The V-OS2 designation implements the City's OS2 zoning district within Valley's Edge.



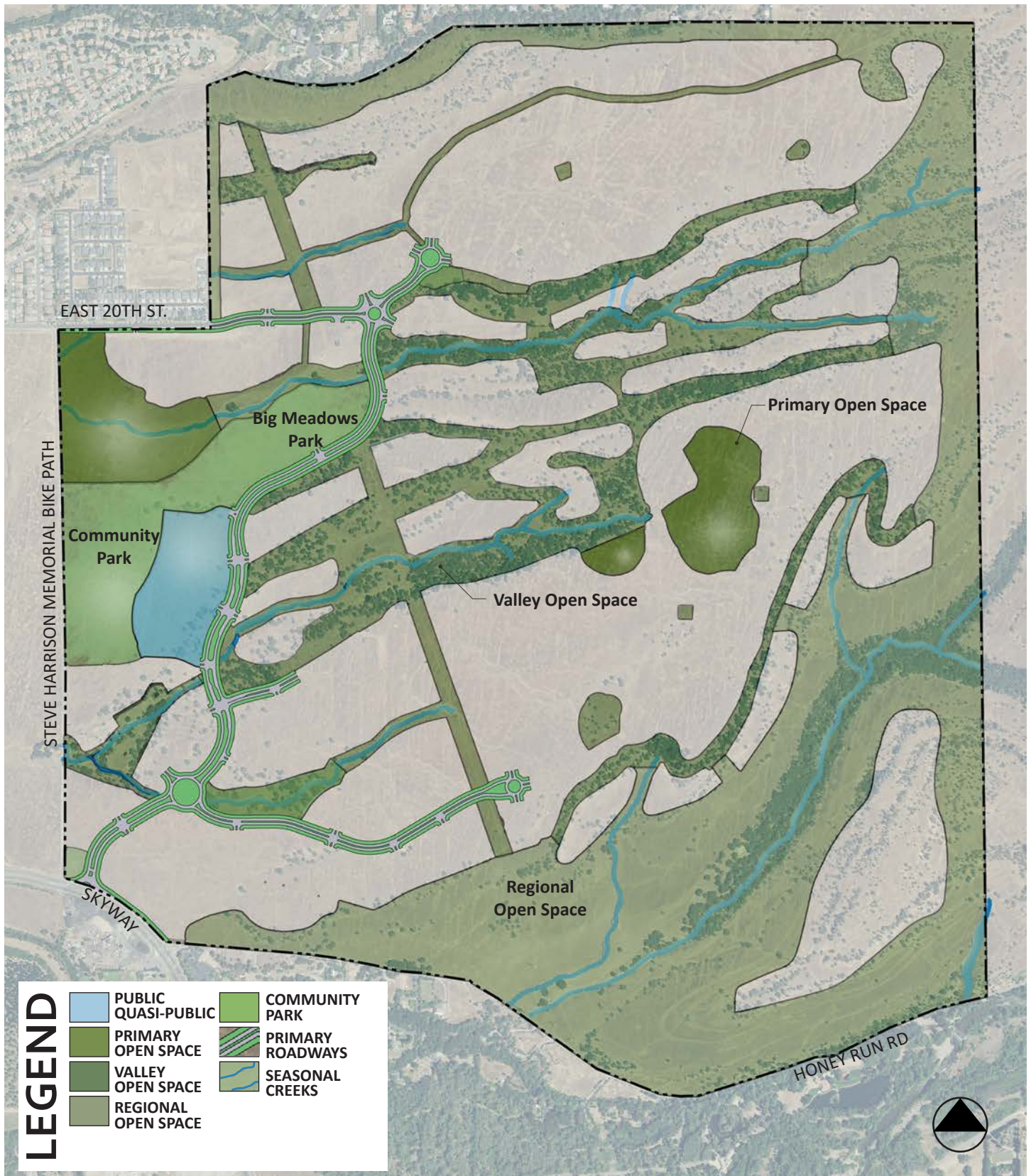


Figure 4-11: Special Purpose Land Use Areas





4.9.2 Special Purpose Development Standards

The following development standards apply to Special Purpose land use designations in the Valley's Edge planning area.

Table 4.11 **Special Purpose Development Standards**

Standard	PQ (Public-Quasi-Public)	OS1 (V-OS)	OS2 (R-OS & V-OS)
Minimum Lot Area	Determined by Specific Plan or planned development permit and by use permit approval in PQ	1-acre; smaller if approved by Planning Commission, based on the finding that a smaller site is suitable because of its unique character or purpose.	
Front		25-feet for structures adjacent to residential districts	
Sides (each)			
Street side			
Rear			
Impervious Surface Site Coverage		5%; more if approved by Planning Commission.	25%; more if approved by Planning Commission.
Height Limits		25 feet.; more if approved by Planning Commission.	
Off-Street Parking		See CMC 19.70, Table for Recreation parking standards.	