



DATE: October 20, 2016
TO: PLANNING COMMISSION
FROM: Mark Corcoran, Senior Planner (879-6800, zoning@chicoca.gov)
RE: Lava Ridge Apartments Planned Development Permit
Located easterly of the intersection of Highway 32 and Bruce Road, APN 018-600-078

SUMMARY

The applicant requests approval for the design of a 98-unit apartment complex as part of a proposed planned development on an undeveloped site.

The Architectural Review and Historic Preservation Board (ARHPB) has reviewed the site design and architecture and recommends approval. Planning Commission approval of the project via the Planned Development Permit Process is required pursuant to the SD-2 (Special Design considerations, Humbolt Road – Foothill) zoning overlay (Municipal Code Section 19.52.070.D2). Staff recommends Commission approval of the project, subject to conditions. No major issues have been identified.

Recommendation:

Planning staff recommends adoption of Resolution No. 16-14 (**Attachment A**), approving the project, subject to the conditions contained therein.

Proposed Motion:

I move that the Planning Commission adopt Resolution No. 16-14, approving the Lava Ridge Apartments Planned Development Permit (PDP 16-01), subject to the conditions of approval contained therein.

BACKGROUND

The applicant proposes to construct nine multi-unit residential buildings collectively containing 98 dwelling units, a community center with an adjacent park and swimming pool, and all necessary and required site improvements on an undeveloped site located approximately 1,200 feet easterly of the intersection of Highway 32 and Bruce Road (see **Attachment B**, Location Map). The site is designated MDR (Medium Density Residential) on the General Plan Diagram and is located in the R2-SD2-FDSD zoning and overlay zoning district (Medium Density Residential with Special Design Consideration Zone 2 and Foothill Development Standards).

The project site is a 4.97-acre parcel located to the south of State Highway 32, west of Yosemite Drive, north of Humboldt Road, and east of Bruce Road. The land to the east, south, and west of the project site is currently vacant but approved for residential development while land to the north contains single family and multi-family residences. Curbs and gutters have been installed along the Native Oak Drive street frontage and utilities are available. The surrounding General Plan designated Land Uses include MHDR (Medium High Density Residential) to the north, and MDR (Medium Density Residential) to the east, south, and west. Zoning for the parcels surrounding the project site includes R-2 (Medium Density Residential) to the east, south, and west; and OS-2 (secondary Open Space and R-3 (Medium-High Density Residential) to the north. Land to the east and south of the project site is also within the FD (Foothill Development) overlay zone.

The proposed project site and all land to the east, south and west of the project site is within the approved Oak Valley Conceptual Master Plan (PDP-02). The Conceptual Master Plan Land Use Plan applied the development standards of the R-3 (Medium High Density Residential (Multi-family)) zone to the project site (see **Attachment C**, Oak Valley Conceptual Master Plan Conceptual Land Use Plan).

The proposed site design includes nine multi-unit residential buildings, and a single story community center with an adjacent park, playground, restroom and outdoor shower building, and a swimming pool. Eight of the multi-unit residential buildings have three floors and one has two floors. The project site also includes 176 vehicle parking stalls, 108 bicycle parking spaces, perimeter landscaping, and all other necessary and required improvements (see **Attachment D**, Site Development Plan). The proposed project would result in a gross density of 19.71 units per gross acre. The density allowed by the R-3 zone is 14.1 to 22 units per gross acre.

The proposed project will be accessed via two secured entry driveways from Native Oak Drive. Vehicle and bicycle parking will be located throughout the project site and vehicle traffic will travel along two primary access lanes interconnected by two crossing access lanes. Five enclosed trash and recycling collection points will be located along the perimeter of the project site. In response to changes recommended by the Architectural Review and Historic Preservation Board both driveways will feature stamped concrete.

Eight of the nine (9) multi-unit residential buildings will be two stories with a peak height of 34 feet, and one of the residential buildings will be two stories with a peak height of 24 feet, three (3) inches (see **Attachment E**, Exterior Elevations). The community center will be single story with a peak height of 18 feet 11 inches. All of the building façades adhere to the traditional architecture style and they will include earth-tone color scheme. The front of each building the side of any building facing Native Oak Drive will have a cut stone veneer on the ground floor and all buildings will have an illuminated plate containing the building number and unit numbers of the apartments within the building. Units located on the second and third floors will have balconies with a rail fencing. Trash enclosures, mail boxes, and the pool restroom and shower building will all be finished with materials and colors matching the residential buildings and the community center.

A six (6) foot high capped split-faced decorative block wall will be constructed along the property line of the proposed project and vehicle and pedestrian access gates will be powder coated framed tube steel (see **Attachment F**, Site Details). Safety fencing with a controlled

access point will surround the swimming pool area. A single five (5) foot tall monument sign illuminated by ground-mounted lamps for the proposed project will be installed along Native Oak Drive.

The proposed landscaping plans conform to the Oak Valley Subdivision Landscape Plans and they include the prescribed landscape improvements along Native Oak Drive as well as a 60 foot wide landscaped buffer between the project site and Highway 32 (see **Attachment G**, Landscape Improvement Plans). Within 15 years, 71.66% of the parking lot will be shaded by the trees included in the proposed landscaping plans. Ornamental vines and shrubs will be planted to screen utilities and equipment located on the ground as well as the trash and recycling enclosures. In response to changes recommended by the Architectural Review and Historic Preservation Board the proposed landscaping plans include multiple native and near-native tree species. No trees will be removed from the site by the proposed project.

Lighting of the proposed project will include 51 twelve (12) foot tall architectural single or double arm mounted lamps installed throughout the site (see **Attachment H**, Photometric Plan). In addition, two architectural wall lamps will be installed at the entrance of each building seven (7) feet above grade. All lighting will be shielded and directed so as to minimize impacts to the night sky and surrounding area.

Prior Review

On May 4, 2016, the Architectural Review and Historic Preservation Board (ARHPB) reviewed the proposal and voted unanimously to recommend conditional approval with the following suggestions:

1. Where appropriate for public sidewalks, concrete stained to match proposed bronze granite pavers should be installed.
2. Composition shingles colored 'Aged Bark' and 'Autumn Blend' should be used instead of tile roofs.
3. Two additional color pallets incorporating tans and browns to blend into the foothill setting should be submitted.
4. Stone wainscoting should be added to the elevations facing Native Oak Road on buildings 'A', 'E', and 'F'.
5. Landscape plans should be modified to include the introduction of native and near native shade trees.
6. Concrete used for the vehicle parking and maneuverability area should be stained to complement the bronze granite pavers.

Changes to the proposed project based on recommendations all six (6) recommendations are reflected in the **Attachments D, E, and G** respectively.

DISCUSSION

While consistent with the approved Oak Valley Conceptual Master Plan, the proposed project will have a higher residential density than the underlying general plan land use designation and zone for the project site. This inconsistency is a result of a density transfer component of the overall Oak Valley Conceptual Master Plan approval. The density transfer, which was implemented to protect the viewshed and local aesthetics, redistributes density from the higher

elevated eastern end of the Master Plan area to an area that has a lower elevation. The approval of the Oak Valley Conceptual Master Plan assumes development of the project site at R-3 (Medium-High Density Residential) density. With the density transfer concept employed, approvals of the Oak Valley Conceptual Master Plan were found to be consistent with the General Plan.

The propose of the Planned Development Permit is to promote and encourage flexibility in the application of Code standards to a site in order to protect environmental values or natural resources, public health, safety and general welfare of the community. In addition, a Planned Development Permit ensures that open space areas are planned as part of overall project designs while promoting development in the community by allowing deviations from normal development standards.

The proposed project site is within the FDSD (Special Design Consideration Overlay Zone and Foothill Development Standards) overlay zone. The FDSD overlay zoning district limits the height of structures to 25 feet. However, an additional ten (10) feet may be permitted if visual assessments can verify that the greater building height will not negatively impact the foothill viewshed. The applicant provided renderings of the proposed project from a variety of views within the surrounding public right-of-way to demonstrate the visual impact of the proposed project (see **Attachment I**, Viewshed Analysis).

As previously stated, the project site was designated by the Oak Valley Conceptual Master Plan to be developed to a higher residential density because of the elevation of the project site. The western end of the Master Plan area has an approximate elevation of 250 feet above mean sea level (amsl). As the Master Plan area extends approximately 2,220 linear feet to the east, the elevation raises to 300 feet amsl. The rise in elevation from west to east across the Master Plan area initiated the approved density transfer across the Master Plan area.

Staff believes that the additional ten (10) feet of height of eight (8) of the buildings of the proposed project will not negatively impact the viewshed of the foothills to the east due to the lower elevation of the project site and other factors. In recommending approval of the project, the Architectural Review and Historical Preservation Board made the following finding:

The project reduces building height by minimizing roof pitch. The proposed color pallet is neutral and allows the project to blend into the eastern foothills. The height of the structures are limited, and do not necessarily block viewsheds or dominate their surroundings. Structures are adequately setback from Highway 32, which will be buffered with landscaping to soften the project's appearance from the right-of-way.

The proposed project is consistent with the land use standards of the approved Oak Valley Conceptual Master Plan and would therefore be compatible with the surrounding planned development.

ENVIRONMENTAL REVIEW

The proposed project is within the scope of a previously certified Environment Impact Report (SCH#1998032048) it is therefore determined by California Environmental Quality Act (CEQA) Guidelines section 15162 to require no subsequent environmental because no new significant environmental effects or increases to previously identified environmental effects due to the

implementation of the Project have been identified, and none of the mitigation measures or project alternatives contained within the certified EIR have been found to be infeasible or considerably different due to the implementation of the proposed project.

REQUIRED FINDINGS FOR APPROVAL

Planned Development Permit Findings (CMC Section 19.28.060)

Following a public hearing, the Planning Commission may approve or conditionally approve a planned development permit only after making all of the following findings:

1. *The proposed development is allowed within the zoning district and generally complies with all of the applicable provisions of City of Chico Title 19 regulations with modifications as specifically approved, and applicable project design guidelines.*

The project design includes massing and architectural characteristics that relate to nearby proposed projects and the natural environment, establishing a sense of place, while also addressing the street frontages in a pedestrian-friendly manner, consistent with Design Guidelines (DGs) 1.2.21, 1.2.31 and 1.4.11.

2. *The proposed development would be harmonious and compatible with existing and future developments within the zoning district and general area, as well as with the land uses presently on the subject property.*

The Project will be harmonious and compatible with existing and planned developments within the Master Plan and surrounding area, in that several elements are utilized in the Project design to coordinate the design with the character and uses of adjacent development. The exterior treatments of the Project complement the surrounding natural environment by incorporating earth toned colors and stone veneers in their design. Trash and utility areas would be screened by architecturally integrated walls and planted vines and shrubs.

3. *The proposed entitlement is consistent with the General Plan.*

At 19.71 dwelling units per acre the Project will be within the density range of 14.1 to 22 dwelling units per acre assigned to the project site by the Master Plan. The project is consistent with General Plan policies that encourage context-sensitive design (CD-5.2 and CD-5.3). The site is not located within the bounds of a Neighborhood Plan or Area Plan.

4. *The site is physically suitable for the type and density and/or intensity of use being proposed.*

The 4.97 acre site is physically suitable for the Project in that it is adjacent to existing and planned residential uses and necessary utilities are available to serve the Project. The proposed structures are compatible with the site in that they provide functional and adequate setbacks, with the off street parking and recreation area located within the Project interior.

5. *There are adequate provisions for public and emergency vehicle access, sanitation, water, and public utilities and services to ensure that the proposed development would not be detrimental to public health and safety.*

The existing streets provide adequate public and emergency vehicle access, sanitation, water, and public utilities and services to ensure that the project would not be detrimental to public health and safety, in that the City's sanitary sewer system has adequate capacity to serve the project; domestic water will be provided by California Water Service Company; and storm water facilities will be constructed in accordance with adopted City standards.

6. *The design, location, size and operating characteristics of the proposed development would not be detrimental to the public interest, health, safety, convenience, or welfare of the City.*

The design, location, size, and operating characteristics of the project will comply with all City zoning, building, and public improvement standards, with specific modifications considered and approved herein and, therefore, the project would not be detrimental to the public interest, health, safety, convenience, or welfare of the City. Although the structures would be three stories, the overall height would be equal to, or less than, 34 feet and they would not unnecessarily block views.

7. *The proposed development is consistent with the purpose of [CMC 19.28.010].*

The project is consistent with the purpose of Chico Municipal Code Chapter 19.28 (*Planned Development*) in that it:

- offers an innovative housing design,
- is consistent with the General Plan and design guidelines as outlined above,
- would not require the removal of any trees, and
- includes open space as an integral part of the overall project design.

PUBLIC CONTACT

A 10-day public hearing notice was mailed to all landowners and residents within 500 feet of the site. A legal notice was also placed in the *Chico Enterprise Record*. As of the date of this report, no correspondence has been received in response to the public notice.

DISTRIBUTION:

PC Distribution
PDP 16-01 File

External

Stromer Realty, Patrick Laughlin, 591 Coulusa Avenue, Yuba City, CA 95991
Northstar Engineering, Jay Lowe, 111 Mission Ranch Blvd., #100 Chico, CA 95926

ATTACHMENTS:

- A. Planning Commission Resolution No. 13-15
Exhibit I Conditions of Approval

- B. Location Map
- C. Oak Valley Conceptual Land Use Plan
- D. Planned Development Permit Site Plan
- E. Exterior Elevations
- F. Site Details
- G. Landscape Plans
- H. Photometric Plan
- I. Viewshed Analysis
- J. Applicant Project Description

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1 RESOLUTION NO. 16-14

2 RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CHICO
3 CONDITIONALLY APPROVING THE LAVA RIDGE APARTMENTS PLANNED
4 DEVELOPMENT PERMIT PDP 16-01
(Lendco, LLC.)

5 WHEREAS, Lendco, LLC. has submitted a planned development permit application to
6 construct 98 new residential units on a 4.97 acre site approximately 1,200 feet easterly of the
7 intersection of Highway 32 and Bruce Road, identified as Assessor's Parcel No. 018-600-078
8 (Project); and

9 WHEREAS, the Planning Commission considered the Project, staff report,
10 recommendation from the Architectural Review and Historic Preservation Board, and comments
11 submitted at a noticed public hearing held on October 20, 2016; and

12 WHEREAS, the Project is within the scope of a previously certified Environment Impact
13 Report (SCH#1998032048) it is therefore determined by California Environmental Quality Act
14 (CEQA) Guidelines section 15162 to require no subsequent environmental because no new
15 significant environmental effects or increases to previously identified environmental effects due
16 to the implementation of the Project have been identified, and none of the mitigation measures or
17 project alternatives contained within the certified EIR have been found to be infeasible or
18 considerably different due to the implementation of the Project.

19 NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF
20 THE CITY OF CHICO AS FOLLOWS:

- 21 1. With regard to the Project the Planning Commission finds that:
- 22 A. The Project is consistent with the Oak Valley Conceptual Master Plan (Master Plan) area
23 and generally consistent with all applicable General Plan Land Use Development
24 Standards, Title 19 Land Use Regulations, and the City Design Guidelines Manual, with
25 modifications specifically approved as indicated on the approval documents listed in
26 Exhibit I, attached hereto. The Project design includes massing and architectural
27 characteristics that relate to the natural environment, establish a sense of space, while
28 addressing the street frontages in a pedestrian-friendly manner consistent with Design

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Guidelines Objectives (DGs) 1.2.21, 1.2.31 and 1.411.

- B. The Project will be harmonious and compatible with existing and planned developments within the Master Plan and surrounding area, in that several elements are utilized in the Project design to coordinate the design with the character and uses of adjacent development. The exterior treatments of the Project complement the surrounding natural environment by incorporating earth toned colors and stone veneers in their design. Trash and utility areas would be screened by architecturally integrated walls and planted vines and shrubs.
- C. At 19.71 dwelling units per acre the Project will be within the density range of 14.1 to 22 dwelling units per acre assigned to the project site by the Master Plan. The project is consistent with General Plan policies that encourage context-sensitive design (CD-5.2 and CD-5.3). The site is not located within the bounds of a Neighborhood Plan or Area Plan.
- D. The 4.97 acre site is physically suitable for the Project in that it is adjacent to existing and planned residential uses and necessary utilities are available to serve the Project. The proposed structures are compatible with the site in that they provide functional and adequate setbacks, with the off street parking and recreation area located within the Project interior.
- E. The location and design of the Project will significantly reduce any impact to the foothills viewshed that may result from a request for an additional 10 feet of building height over the height of 25 feet as permitted within the SD2-FDSD (Special Design Consideration and Foothill Development Standard) overlay zone. Design features of the Project that will significantly reduce impacts to the viewshed include a minimization of the roof pitch of the proposed buildings and the incorporation of a color pallet that blends with the natural environment. The location of the Project, in a portion of the Master Plan area that has a lower elevation than the surrounding area, will significantly reduce any impact of the Project on the foothill viewshed.
- F. The design, location, size, and operating characteristics of the Project will comply with all City zoning, building, and public improvement standards, with specific modifications

1 considered and approved herein and, therefore, the Project would not be detrimental to
2 the public interest, health, safety, convenience, or welfare of the City. Although the
3 structures would be three stories, the overall height would be equal to, or less than, 34 feet
4 and they would not unnecessarily block views.

5 G. The Project site is consistent with the purpose of Chico Municipal Code Chapter 19.28
6 (Planned Development) in that it offers an innovative housing design, is consistent with
7 the General Plan and Design Guidelines as outlined above, and includes open space and
8 recreation space as an integral part of the overall project design.

9 2. Based on all of the above, the Planning Commission hereby approves the Project, subject to
10 the conditions set forth in Exhibit I, attached hereto.

11 3. The Planning Commission hereby specifies that the materials and documents which constitute
12 the record of proceedings upon which its decision is based are located at and under the
13 custody of the City of Chico Community Development Department.

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22 THE FOREGOING RESOLUTION WAS ADOPTED at a meeting of the Planning
23 Commission of the City of Chico held on October 20, 2016, by the following vote:

24 AYES:

25 NOES:

26 ABSENT:

27 ABSTAIN:

28 DISQUALIFIED:

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ATTEST:

APPROVED AS TO FORM:

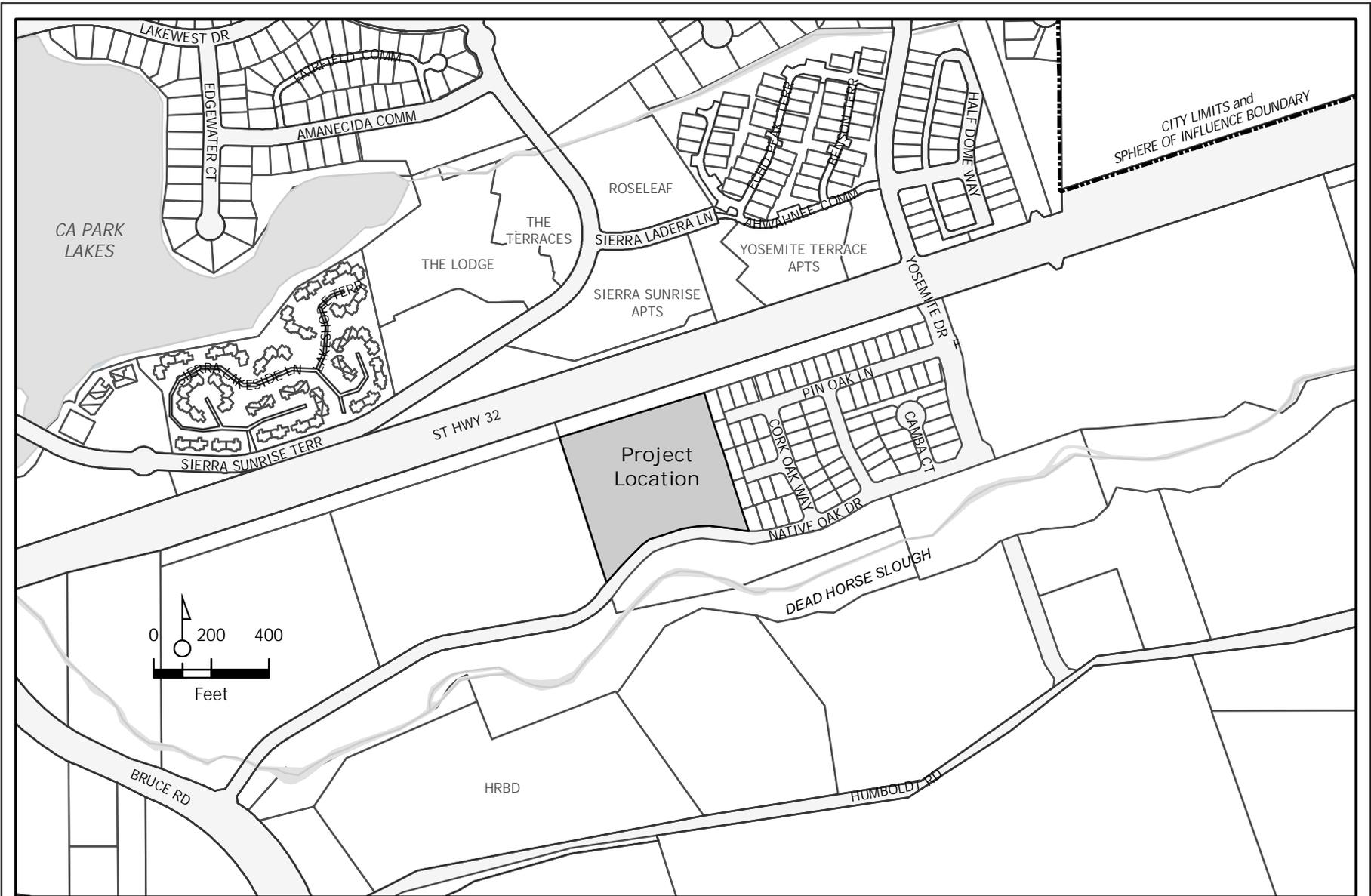
MARK WOLFE
Planning Commission Secretary

Andrew Jones
Assistant City Attorney

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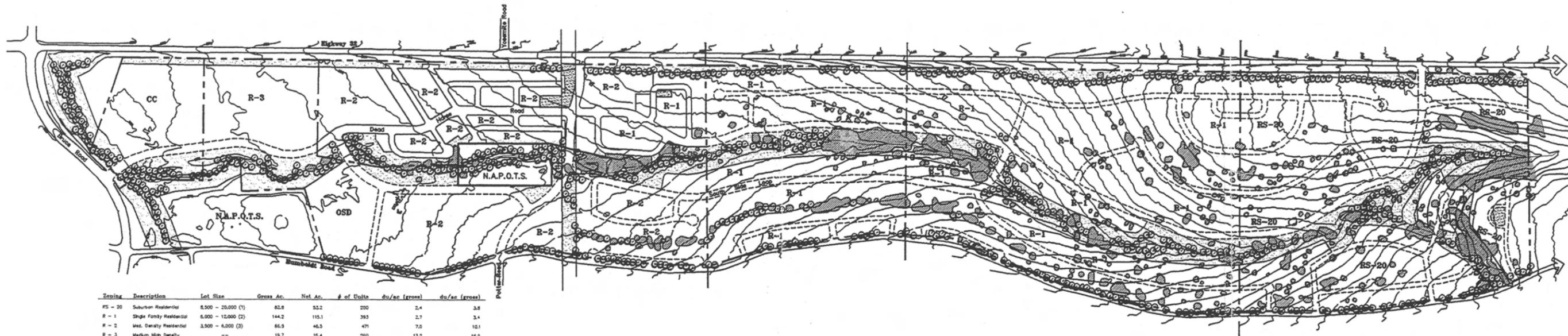
EXHIBIT "I"
CONDITIONS OF APPROVAL
Lava Ridge Apartments Planned Development Permit (PDP 16-01)
(Lendco, LLC)

1. All approved building plans and permits shall note that the project shall comply with the Lava Ridge Apartments Planned Development Permit (PDP 16-01). No building permits related to this approval shall be finalized without prior authorization of Planning Department staff.
2. The approval documents for this project include the following exhibits:
 - a. Planned Development Permit Site Plan (date stamped Sep 27, 2016)
 - b. Exterior Elevations (date stamped Sep 27, 2016)
 - c. Site Details (date stamped Sep 27, 2016)
 - d. Landscape Plans (date stamped Sep 27, 2016)
 - e. Photometric Plans and Lighting Cut Sheets (date stamped Sep 27, 2016)
3. Planned Development Permit 16-01 authorizes the following development standards for the Lava Ridge Apartment development:
 - a. Maximum height for buildings is 34 feet
4. All wall-mounted utilities and roof or wall penetrations including vent stacks, utility boxes, exhaust vents, gas meters and associated equipment, shall be screened by appropriate materials and colors, illustrated or notated on the building plans as required screening, and subject to approval by Planning Department staff prior to issuance of a certificate of occupancy.



PDP 16-01 Lava Ridge Apartments
 APN: 018-600-078-000





Zoning	Description	Lot Size	Gross Ac.	Net Ac.	# of Units	du/ac (gross)	du/ac (gross)
RS-20	Suburban Residential	8,500 - 20,000 (1)	82.8	53.2	200	2.4	3.8
R-1	Single Family Residential	5,000 - 12,000 (2)	144.2	115.1	393	2.7	3.4
R-2	Med. Density Residential	3,500 - 6,000 (3)	86.9	46.3	471	7.0	10.1
R-3	Medium High Density Residential (Multi-Family)	---	19.7	15.4	250	13.2	16.9
CC	Community Commercial	---	14.8	10.0	109,000 sq. ft.	---	(25 FAR)
OSD (Park)	Open Space (Park)	---	9.8	---	---	---	---
OSD	Open Space/Buffer	---	---	87.5	---	---	---
Major Roads	Major Roads	---	---	10.5	---	---	---
Total			338.2	338.2	1,324 du		109,000 sq. ft.

(1) Minimum lot size in RS-20 is 20,000 s.f. and 100' wide, but does not consider clustering.
 (2) Minimum lot size in R-1 is 5,000 s.f.
 (3) Minimum lot size in R-2 is 4,000 s.f. and 45' wide, may not accommodate "auto court" products

Conceptual Land Use Plan
 OAK VALLEY - CHICO, CALIFORNIA

For conceptual planning purposes only. Dimensions, yields, acreages and grading will vary with final design and engineering. Subject to approval.

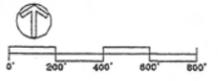
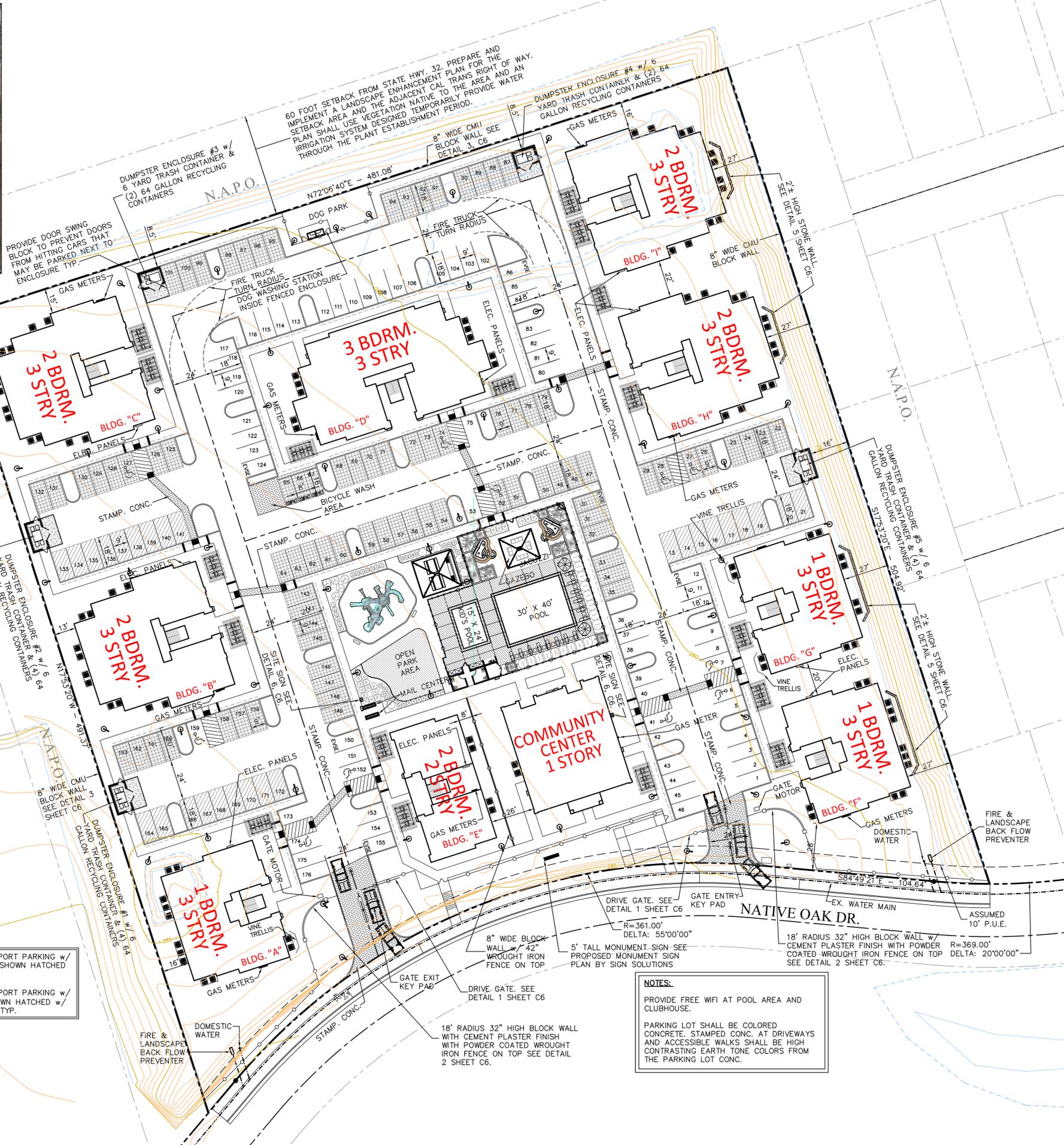


Figure 3-4 Conceptual Master Plan



VICINITY MAP
N.T.S.



OPTIONAL COVERED CARPORT PARKING w/ SOLAR PANELS ON TOP SHOWN HATCHED w/ GRID PATTERN TYP.
OPTIONAL COVERED CARPORT PARKING w/ OUT SOLAR PANELS SHOWN HATCHED w/ CROSS HATCH PATTERN TYP.

NOTES:
PROVIDE FREE WIFI AT POOL AREA AND CLUBHOUSE.
PARKING LOT SHALL BE COLORED CONCRETE. STAMPED CONC. AT DRIVEWAYS AND ACCESSIBLE WALKS SHALL BE HIGH CONTRASTING EARTH TONE COLORS FROM THE PARKING LOT CONC.

SITE ANALYSIS:
TOTAL SITE AREA: 216,829 S.F. (4.97 ACRES)
ZONING: R3-SD2-FDSD = MEDIUM HIGH DENSITY RESIDENTIAL WITH SPECIAL DESIGN CONSIDERATION 2 AND FOOTHILL DEVELOPMENT STANDARD OVERLAY ZONING DISTRICTS.

R3 SETBACKS:
FRONT = 15'
SIDES = 5' PLUS 5' ADDITIONAL FOR EA. STORY OVER THE FIRST WHERE SETBACK ABUTS AN RS OR R1 DISTRICT.
REAR = 15' PLUS ADDITIONAL FOR EA. STORY OVER THE FIRST WHERE SETBACK ABUTS AN RS OR R1 DISTRICT.

UNITS PER ACRE:
UNITS PER ACRE ALLOWED: 22
UNITS PER ACRE PROVIDED: 19.71

DUMPSTER AREA:
EA. RESIDENCE USES 32 GALLON TRASH
32 GAL. X 98 UNITS = 3,136 GALLONS TRASH
1 GAL. = 0.15556 C.F.
3,136 GAL. X 0.15556 = 488 C.F.
1 C.F. = 0.03704 CUBIC YARDS
488 C.F. X 0.03704 = 18.07 CUBIC YARDS

RECYCLING CONTAINER AREA REQUIRED:
(1) 64 GALLON CONTAINER PER 10 UNITS
98 UNITS = 627 GALLONS TOTAL

RECYCLING CONTAINER AREA PROVIDED:
(16) 64 GALLON CONTAINERS
1,024 GALLONS TOTAL

PARKING REQUIRED:
1.25 SPACES PER EA. 1 BDRM. UNIT
1.75 SPACES PER EA. 2 BDRM. UNIT
2 SPACES PER EA. 3 BDRM. UNIT
1 SPACE PER EVERY 5 UNITS FOR GUEST

PARKING ANALYSIS:
1.25 SPACES X 36 (1) BDRM. UNITS = 45 SPACES
1.75 SPACES X 52 (2) BDRM. UNITS = 91 SPACES
2 SPACES X 10 (3) BDRM. UNITS = 20 SPACES
98 UNITS / 5 = 19.6 SPACES FOR GUEST
TOTAL PARKING REQUIRED: 176 SPACES
TOTAL PARKING PROVIDED: 176 SPACES
11 ADA SPACES PROVIDED
6 ELECTRIC VEHICLE SPACES PROVIDED
159 STANDARD SPACES PROVIDED

BIKE PARKING:
1 BIKE SPACE PER EA. UNIT
1 BIKE SPACE PER EVERY 10 UNITS FOR GUEST
108 SPACES REQUIRED
108 BIKE SPACES PROVIDED

PARKING LOT SHADING ANALYSIS:
SEE LANDSCAPE PLANS BY THPLA Inc.

PARKING LOT LANDSCAPED ANALYSIS:
PARKING LOT PAVED AREA: 65,102 S.F.
REQUIRED LANDSCAPED AREA (5%): 3,255 S.F.
PROVIDED LANDSCAPED AREA: 5,749 S.F.

TOTAL SITE LANDSCAPED ANALYSIS:
TOTAL SITE AREA: 216,829 S.F. (4.97 ACRES)
REQUIRED LANDSCAPED AREA (35% FOR R3): 75,890 S.F.
PROVIDED LANDSCAPED AREA: 75,956 S.F. (35%)

- REVISIONS TO SITE PER MAY 4TH MEETING**
- 1.) REVISED ADA ACCESS TO PUBLIC WAY. SEE U SHAPE ACCESS RAMP NEXT TO COMMUNITY CENTER.
 - 2.) REMOVED ONE MONUMENT SIGN AND PROVIDED ONE CENTRAL SIGN.
 - 3.) REVISED EAST DRIVEWAY TO A SLIGHT ANGLE TO AVOID UTILITIES.
 - 4.) REMOVED A FINGER ISLAND AT THE SOUTHWEST OF BUILDING D AND PROVIDED A BICYCLE WASH AREA WITH PAVERS. REVISED 3 SPACES TO THE RIGHT OF THIS TO COMPACT STALLS.
 - 5.) CHANGED LIGHT POLE HEIGHTS TO 12' & ADDED 14 ADDITIONAL LIGHT POLES.
 - 6.) ADDED DOG WASHING AREA TO DOG PARK.
 - 7.) ADDED KIDS POOL, RE-POSITIONED THE EQUIPMENT BUILDING AND ADDED A BBQ STATION IN THE PARK AREA.
 - 8.) MOVED BUILDING "E" 3' WEST AND THE COMMUNITY CENTER 3' EAST AND PROVIDED A MASONRY WALL WITH A WROUGHT IRON FENCE ON TOP BETWEEN THE TWO BUILDINGS.
 - 9.) ADDED A RADIUS 32" HIGH MASONRY WALL WITH WROUGHT IRON FENCE AT THE EAST AND WEST ENTRANCES.
 - 10.) MINOR REVISIONS TO BICYCLE RACKS AND LOCATIONS.

REVISIONS	
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VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING
0" = 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE(S) ACCORDINGLY

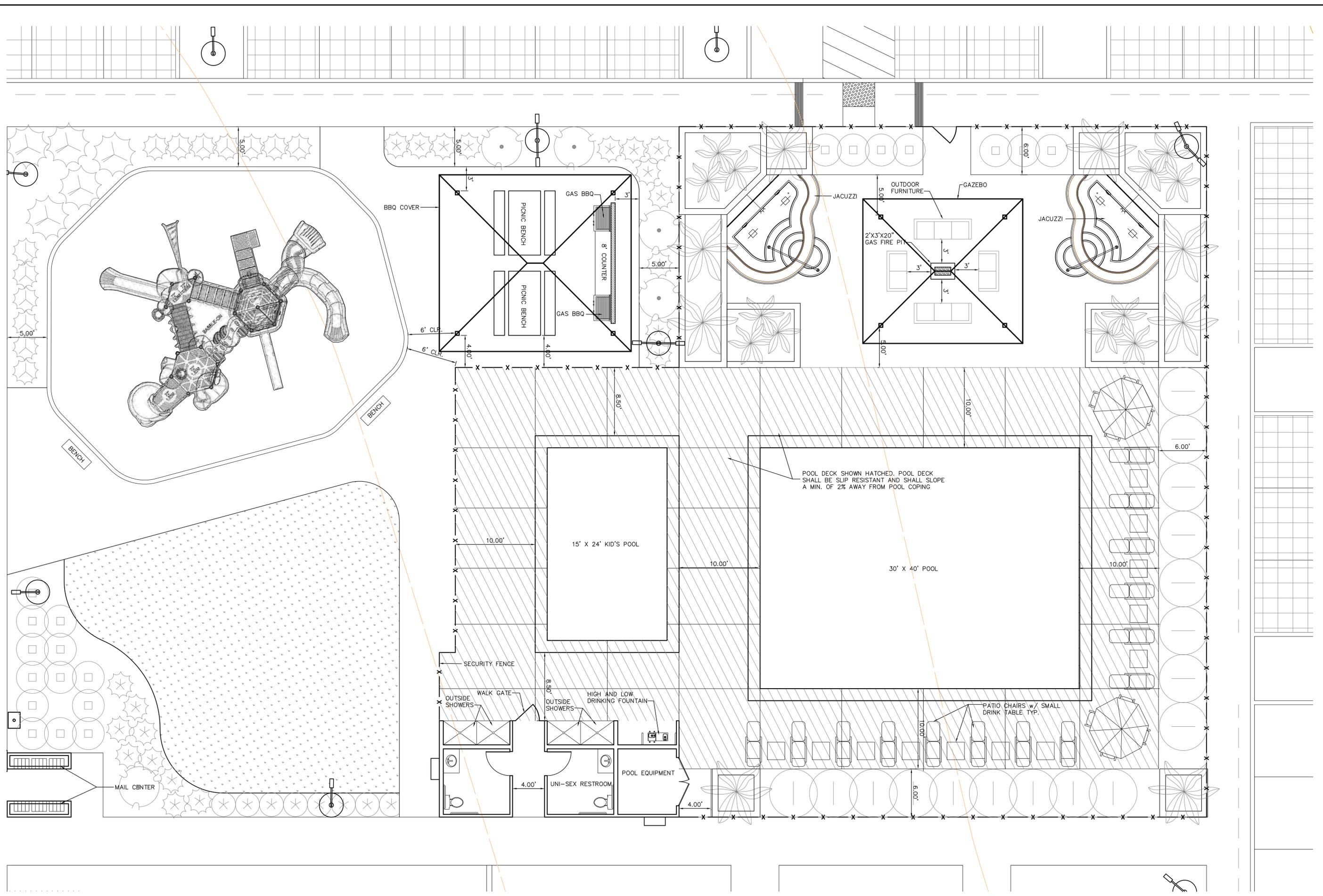
PROPOSED SITE DEVELOPMENT FOR:
LENDO LLC
98 MULTI-FAMILY APARTMENTS
NATIVE OAK DRIVE
CHICO, CA 95928

LAUGHLIN and SPENCE
CIVIL ENGINEERS & SURVEYORS
1008 Live Oak Boulevard
Yuba City, California 95991
(530) 671 1008
fax (530) 671 0822



Date: 9-23-16
Scale: 1"=30'
Drawn: MM
Job: 154021
Sheet:

C1
Page 1 OF 22



REVISIONS	
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 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE(S) ACCORDINGLY

PROPOSED SITE DEVELOPMENT FOR:
LENDCO LLC
98 MULTI-FAMILY APARTMENTS
 NATIVE OAK DRIVE
 CHICO, CA 95928

LAUGHLIN and SPENCE
 CIVIL ENGINEERS & SURVEYORS
 1008 Live Oak Boulevard
 Yuba City, California 95991
 (530) 671 1008
 fax (530) 671 0822



Date 9-23-16
 Scale 1"=5'
 Drawn MM
 Job 154021
 Sheet

C2

PARK SITE PLAN

REVISIONS	
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VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE(S) ACCORDINGLY



BUILDING "A" EAST ELEVATION

TYPICAL AC COMPRESSORS w/ VINE LATTICE SHIELD AS NEEDED. NOT ALL COMPRESSORS WILL HAVE LATTICE WORK. SEE SITE PLAN.

LED WALL PACK LIGHT FIXTURE. BRONZE FINISH WITH CUTOFF LIGHT SHIELD. 7' MOUNTING HEIGHT.

28"X36" PLACARD SIGN WITH BUILDING IDENTIFICATION LETTER AND APARTMENT #'S. LETTERS MIN. 8" HIGH.

LED WALL PACK LIGHT FIXTURE. BRONZE FINISH WITH CUTOFF LIGHT SHIELD. 7' MOUNTING HEIGHT



BUILDING "A" NORTH ELEVATION

LED WALL PACK LIGHT FIXTURE. BRONZE FINISH WITH CUTOFF LIGHT SHIELD.

DECORATIVE PERFORATED METAL PANELS 4' WIDE w/ HINGED ACCESS DOORS

ELECTRICAL PANEL LOCATIONS VARY FROM BUILDING TO BUILDING. SEE SITE PLAN

8" MIN. FROM GRADE TO SILL FRAMING AND PLYWOOD TYP.

EXTERIOR ELEVATIONS

PROPOSED SINGLE BEDROOM UNITS FOR:
LENDCO LLC
98 MULTI-FAMILY APARTMENTS
 NATIVE OAK DRIVE
 CHICO, CA 95928

LAUGHLIN and SPENCE
 CIVIL ENGINEERS & SURVEYORS
 (530) 671 1008
 1008 Live Oak Boulevard
 Yuba City, California 95991
 fax (530) 671 0822



Date 9-23-16
 Scale 1/4" = 1'-0"
 Drawn MM
 Job 154021A
 Sheet

A1
 Page 2 OF 39

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BUILDING "A" SOUTH ELEVATION

8" MIN. FROM GRADE TO SILL
FRAMING AND PLYWOOD TYP.

LED WALL PACK LIGHT
FIXTURE. BRONZE FINISH
WITH CUTOFF LIGHT SHIELD.

GAS METERS w/ VINE
LATTICE SHIELD. LOCATION
VARIES FROM BUILDING TO
BUILDING. SEE SITE PLAN



BUILDING "A" WEST ELEVATION

8" MIN. FROM GRADE TO SILL
FRAMING AND PLYWOOD TYP.

REVISIONS	
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VERIFY SCALE BAR
IS ONE INCH ON
ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON
THIS SHEET, ADJUST
SCALE(S)
ACCORDINGLY

PROPOSED SINGLE BEDROOM UNITS FOR:
LENDCO LLC
98 MULTI-FAMILY APARTMENTS
PLANTER CREEK DRIVE
CHICO, CA 95928

LAUGHLIN and SPENCE
CIVIL ENGINEERS & SURVEYORS
1008 Live Oak Boulevard
Yuba City, California 95991
(530) 671 1008
fax (530) 671 0822



Date 9-23-16
Scale 1/4" = 1'-0"
Drawn MM
Job 154021A
Sheet

A2

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VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE(S) ACCORDINGLY



BUILDING "F" WEST ELEVATION



BUILDING "F" SOUTH ELEVATION

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PROPOSED SINGLE BEDROOM UNITS FOR:
LENDCO LLC
98 MULTI-FAMILY APARTMENTS
 NATIVE OAK DRIVE
 CHICO, CA 95928

LAUGHLIN and SPENCE
 CIVIL ENGINEERS & SURVEYORS
 1008 Live Oak Boulevard
 Yuba City, California 95991
 (530) 671 1008
 fax (530) 671 0822



Date 9-23-16
 Scale 1/4" = 1'-0"
 Drawn MM
 Job 154021A

Sheet **A1.1**
 Page 4 OF 39

EXTERIOR ELEVATIONS

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VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE(S) ACCORDINGLY



BUILDING "F" NORTH ELEVATION

GAS METERS w/ VINE LATTICE SHIELD. LOCATION VARIES FROM BUILDING TO BUILDING. SEE SITE PLAN



BUILDING "F" EAST ELEVATION

PROPOSED SINGLE BEDROOM UNITS FOR:
LENDCO LLC
 98 MULTI-FAMILY APARTMENTS
 PLANTER CREEK DRIVE
 CHICO, CA 95928

LAUGHLIN and SPENCE
 CIVIL ENGINEERS & SURVEYORS
 1008 Live Oak Boulevard
 Yuba City, California 95991
 (530) 671 1008
 fax (530) 671 0822



Date 9-23-16
 Scale 1/4" = 1'-0"
 Drawn MM
 Job 154021A
 Sheet

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REVISIONS	
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VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE(S) ACCORDINGLY

PROPOSED SINGLE BEDROOM UNITS FOR:
LENDCO LLC
98 MULTI-FAMILY APARTMENTS
 NATIVE OAK DRIVE
 CHICO, CA 95928

LAUGHLIN and SPENCE
 CIVIL ENGINEERS & SURVEYORS
 1008 Live Oak Boulevard
 Yuba City, California 95991
 (530) 671 1008
 fax (530) 671 0822



Date 9-23-16
 Scale 1/4" = 1'-0"
 Drawn MM
 Job 154021A
 Sheet

A1.2
 Page 6 OF 39



EXTERIOR ELEVATIONS

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REVISIONS	
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VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE(S) ACCORDINGLY

PROPOSED 2 BEDROOM PLANS FOR:
LENDCO LLC
98 MULTI-FAMILY APARTMENTS
 NATIVE OAK DRIVE
 CHICO, CA 95928

LAUGHLIN and SPENCE
 CIVIL ENGINEERS & SURVEYORS
 1008 Live Oak Boulevard
 Yuba City, California 95991
 (530) 671 1008
 fax (530) 671 0822



Date 9-23-16
 Scale 1/4" = 1'-0"
 Drawn MM
 Job 154021B
 Sheet

A1



BUILDING "B" EAST ELEVATION
BUILDING "T" WEST ELEVATION

28"X36" PLACARD SIGN WITH BUILDING IDENTIFICATION LETTER AND APARTMENT #'S. LETTERS MIN. 8" HIGH.



BUILDING "B" NORTH ELEVATION
BUILDING "T" SOUTH ELEVATION

8" MIN. FROM GRADE TO SILL FRAMING AND PLYWOOD TYP.

TYPICAL AC COMPRESSORS w/ VINE LATTICE SHIELD AS NEEDED. NOT ALL COMPRESSORS WILL HAVE LATTICE WORK. SEE SITE PLAN.

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VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE(S) ACCORDINGLY



BUILDING "B" SOUTH ELEVATION
 BUILDING "I" NORTH ELEVATION

GAS METERS WITH VINE LATTICE. LOCATION VARIES FROM BUILDING TO BUILDING. SEE SITE PLAN

LED WALL PACK LIGHT FIXTURE. BRONZE FINISH WITH CUTOFF LIGHT SHIELD.

8" MIN. FROM GRADE TO SILL FRAMING AND PLYWOOD TYP.



BUILDING "B" WEST ELEVATION
 BUILDING "I" EAST ELEVATION

PROPOSED 2 BEDROOM PLANS FOR:
LENDCO LLC
 98 MULTI-FAMILY APARTMENTS
 NATIVE OAK DRIVE
 CHICO, CA 95928

LAUGHLIN and SPENCE
 CIVIL ENGINEERS & SURVEYORS
 1008 Live Oak Boulevard
 Yuba City, California 95981
 (530) 671 1008
 fax (530) 671 0822



Date 9-23-16
 Scale 1/4" = 1'-0"
 Drawn MM
 Job 154021B
 Sheet

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VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE(S) ACCORDINGLY

PROPOSED 2 BEDROOM PLANS FOR:
LENDCO LLC
98 MULTI-FAMILY APARTMENTS
 NATIVE OAK DRIVE
 CHICO, CA 95928

LAUGHLIN and SPENCE
 CIVIL ENGINEERS & SURVEYORS
 1008 Live Oak Boulevard
 Yuba City, California 95991
 (530) 671 1008
 fax (530) 671 0822



Date 9-23-16
 Scale 1/4" = 1'-0"
 Draw MM
 Job 154021B
 Sheet **A1.1**
 Page 4 OF 37

PK. HT. 34'-11"
 PLT. HT. 27'-0"
 F.F. 19'-0"
 PLT. HT. 17'-10"
 F.F. 9'-10"
 PLT. HT. 8'-8"
 F.F. 0'-8"
 NAT. GRADE 0'-0"



7/8" 3-COAT CEMENT PLASTER, BERKSHIRE BEIGE
 COASTAL FOG
 ACCENT COLOR TEMPLETON GRAY HC161
 COMP. ROOF OVER 15# FELT INSTALLED PER MANUFACTURER'S SPECIFICATIONS. USE CERTAINTED PRESIDENTIAL AGED BARK
 7/8" 3-COAT CEMENT PLASTER, JACKSON TAN
 DECORATIVE FOAM MOLDING, BENJAMIN MOORE TEXAS LEATHER
 LED WALL PACK LIGHT FIXTURE, BRONZE FINISH WITH CUTOFF LIGHT SHIELD, 7" MOUNTING HEIGHT
BUILDING "C" EAST ELEVATION
BUILDING "H" WEST ELEVATION
 28"X36" PLACARD SIGN WITH BUILDING IDENTIFICATION LETTER AND APARTMENT #'S. LETTERS MIN. 8" HIGH.
 EL DORADO STONE BIRCH LEDGE CUT 33

LED WALL PACK LIGHT FIXTURE, BRONZE FINISH WITH CUTOFF LIGHT SHIELD.
 ELECTRICAL PANEL LOCATIONS VARY FROM BUILDING TO BUILDING. SEE SITE PLAN
 DECORATIVE PERFORATED METAL PANELS 4' WIDE w/ HINGED ACCESS DOORS



JACKSON TAN
 8" MIN. FROM GRADE TO SILL FRAMING AND PLYWOOD TYP.
BUILDING "C" NORTH ELEVATION
BUILDING "H" SOUTH ELEVATION
 TYPICAL AC COMPRESSORS w/ VINE LATTICE SHIELD AS NEEDED. NOT ALL COMPRESSORS WILL HAVE LATTICE WORK. SEE SITE PLAN.

EXTERIOR ELEVATIONS

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VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING
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BUILDING "C" SOUTH ELEVATION
 BUILDING "H" NORTH ELEVATION

LED WALL PACK LIGHT FIXTURE. BRONZE FINISH WITH CUTOFF LIGHT SHIELD.

GAS METERS WITH VINE LATTICE. LOCATION VARIES FROM BUILDING TO BUILDING. SEE SITE PLAN



BUILDING "C" WEST ELEVATION
 BUILDING "H" EAST ELEVATION

PROPOSED 2 BEDROOM PLANS FOR:
LENDCO LLC
 98 MULTI-FAMILY APARTMENTS
 NATIVE OAK DRIVE
 CHICO, CA 95928

LAUGHLIN and SPENCE
 CIVIL ENGINEERS & SURVEYORS
 1008 Live Oak Boulevard
 Yuba City, California 95991
 (530) 671 1008
 fax (530) 671 0822



Date 9-23-16
 Scale 1/4" = 1'-0"
 Drawn MM
 Job 154021B
 Sheet

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VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING
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SOUTH ELEVATION

- PK. HT. 34'-4"
- PLT. HT. 27'-0"
- F.F. 19'-0"
- PLT. HT. 17'-10"
- F.F. 9'-10"
- PLT. HT. 8'-8"
- F.F. 0'-8"
- NAT. GRADE 0'-0"



EAST ELEVATION

LED WALL PACK LIGHT FIXTURE. BRONZE FINISH WITH CUTOFF LIGHT SHIELD.

ELECTRICAL PANEL LOCATIONS VARY FROM BUILDING TO BUILDING. SEE SITE PLAN

DECORATIVE PERFORATED METAL PANELS 4' WIDE w/ HINGED ACCESS DOORS

TYPICAL AC COMPRESSORS w/ VINE LATTICE SHIELD AS NEEDED. NOT ALL COMPRESSORS WILL HAVE LATTICE WORK. SEE SITE PLAN.

TEXAS LEATHER

- 7/8" 3-COAT CEMENT PLASTER. COLOR BERKSHIRE BEIGE AC2
- DECORATIVE FOAM MOLDING. BENJAMIN MOORE TEXAS LEATHER
- 7/8" 3-COAT CEMENT PLASTER. COLOR JACKSON TAN
- 7/8" 3-COAT CEMENT PLASTER. COLOR BERKSHIRE BEIGE AC2

8" MIN. FROM GRADE TO SILL FRAMING AND PLYWOOD TYP.

EXTERIOR ELEVATIONS

PROPOSED 3 BEDROOM PLANS FOR:
LENDCO LLC
98 MULTI-FAMILY APARTMENTS
 NATIVE OAK DRIVE
 CHICO, CA 95928

LAUGHLIN and SPENCE
 CIVIL ENGINEERS & SURVEYORS
 1008 Live Oak Boulevard
 Yuba City, California 95991
 (530) 671 1008
 fax (530) 671 0822



Date 9-23-16
 Scale 1/4" = 1'-0"
 Drawn MM
 Job 154021D
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 Page 2 OF 35

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VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE(S) ACCORDINGLY

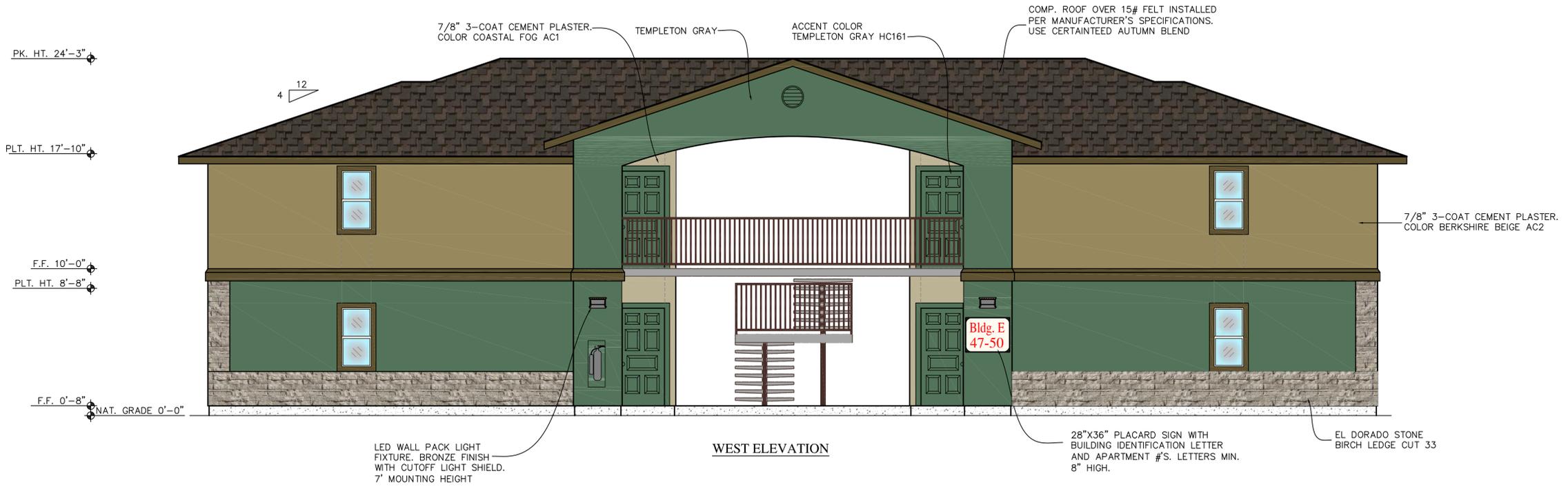
PROPOSED 4-PLEX PLANS FOR:
LENDCO LLC
98 MULTI-FAMILY APARTMENTS
 NATIVE OAK DRIVE
 CHICO, CA 95928

LAUGHLIN and SPENCE
 CIVIL ENGINEERS & SURVEYORS
 1008 Live Oak Boulevard
 Yuba City, California 95991
 (530) 671 1008
 fax (530) 671 0822



Date 9-23-16
 Scale 1/4" = 1'-0"
 Drawn MM
 Job 154021C
 Sheet

A1
 Page 2 OF 26



WEST ELEVATION



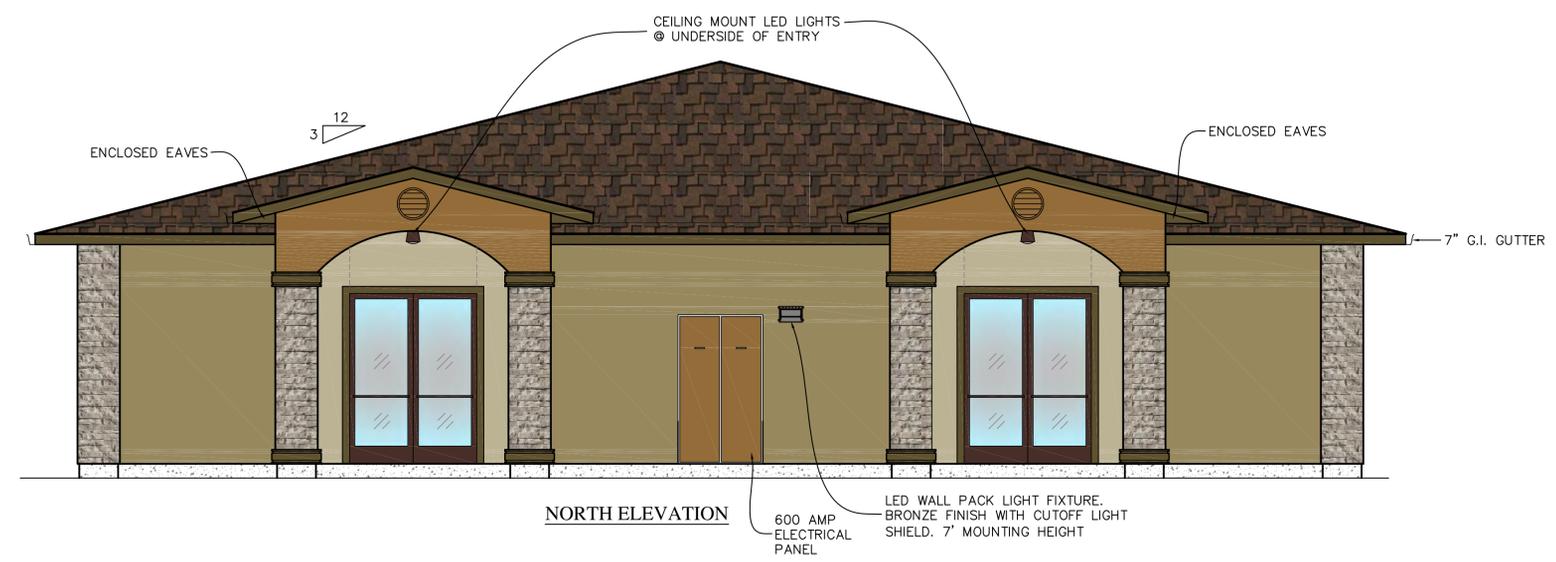
SOUTH ELEVATION

REVISIONS	
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VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE(S) ACCORDINGLY



WEST ELEVATION



NORTH ELEVATION

PROPOSED CLUBHOUSE PLANS FOR:
LENDCO LLC
98 MULTI-FAMILY APARTMENTS
 NATIVE OAK DRIVE
 CHICO, CA. 95928

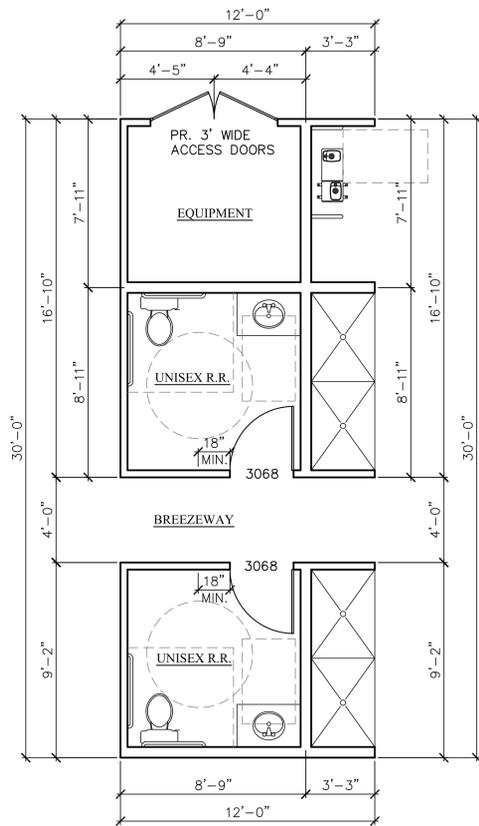
LAUGHLIN and SPENCE
 CIVIL ENGINEERS & SURVEYORS
 1008 Live Oak Boulevard
 Yuba City, California 95991
 (530) 671 1008
 fax (530) 671 0822



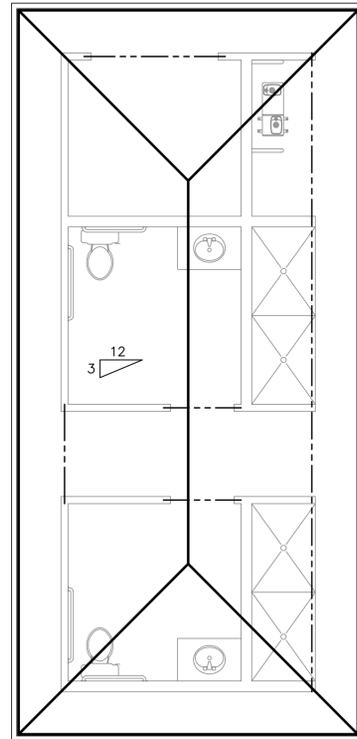
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 Drawn MM/SMJ
 Job 154021E
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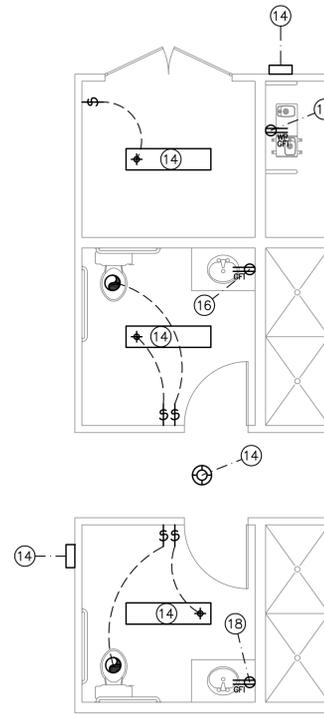
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FLOOR PLAN



ROOF PLAN

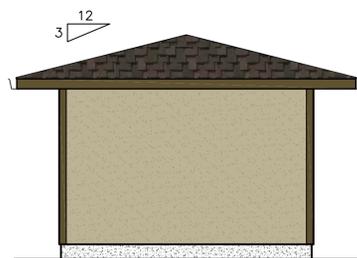


ELECTRICAL PLAN

EQUIPMENT BUILDING PANEL										PANELBOARD SCHEDULE										230 VOLTS 3 @ 400 AMP PANEL	
BRANCH BREAKERS										BRANCH BREAKERS											
WIRE #	ITEM	AMP RATING	POLE	CIR. NO.	KVA LOADING			KVA LOADING			CIR. NO.	POLE	AMP RATING	ITEM	WIRE #						
					A	B	C	A	B	C											
#4	POOL RECIRCULATION PUMP	70	1	1	11.64			0.72	0.72		2	20	CHLORINE PUMP	#12							
#4	POOL RECIRCULATION PUMP	70	3	3		11.64					4	2	CHLORINE PUMP	#12							
#4	POOL RECIRCULATION PUMP	70	5	5			11.64				6	2	WADER MAIN PUMP MOTOR	#12							
#12	CHEMTROL	20	1	7	0.60			0.96			8	2	WADER MAIN PUMP MOTOR	#12							
#12	POOL HEATER	20	1	9		1.20			1.56		10	1	POOL LIGHTS	#12							
#12	POOL LIGHTS	20	1	11			1.56			1.56	12	1	POOL LIGHTS	#12							
#12	POOL LIGHTS	20	1	13	1.56			0.26			14	1	EQUIP. LIGHTS	#14							
#12	POOL LIGHTS	20	1	15			1.56		0.18		16	1	BATHROOM GFI	#12							
#12	DRINKING FOUNTAIN GFI	20	1	17				0.18		0.18	18	1	BATHROOM GFI	#12							
#14	MAIL CENTER LIGHT	15	1	19			0.03	3.06			20		JACUZZI #1	#8							
#8	JACUZZI #2	50	1	17				3.06		3.06	22		JACUZZI #1	#8							
#8	JACUZZI #2	50	3	3			3.06			3.06	24		JACUZZI #1	#8							
				41							42										
25% CONT. LOAD					16.86	17.46	16.47	5.00	5.52	5.76											
TOTAL KVA					0.39	0.39	0.39	0.06	0.39	0.39											
TOTAL KVA/PH.					17.25	17.85	16.86	5.06	5.91	6.15											
TOTAL KVA LOAD					PH. A = 22.31 PH. B = 23.76 PH. C = 23.01																
					69.08 KVA																
					TOTALS																

400 AMPS X 230 VOLTS X 80% = -73,600 WATTS (73.06 KVA) ALLOWABLE

ELECTRICAL LOADS SHOWN IN LOAD TABLE ABOVE ARE APPROXIMATE AND USED FOR OVERALL SITE ELECTRICAL LOAD DESIGN FOR PG&E APPLICATION. ACTUAL LOADS TO BE DETERMINED BY POOL AND JACUZZI DESIGNER.



NORTH ELEVATION



WEST ELEVATION

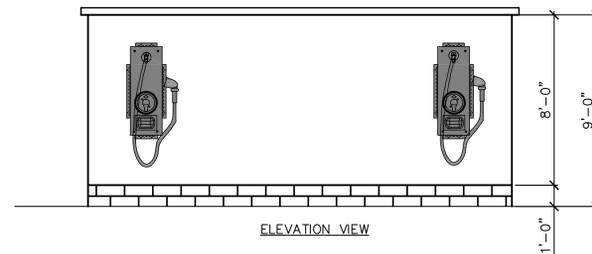
BOHLMANN DF-DUAL PEDESTAL DRINKING FOUNTAIN



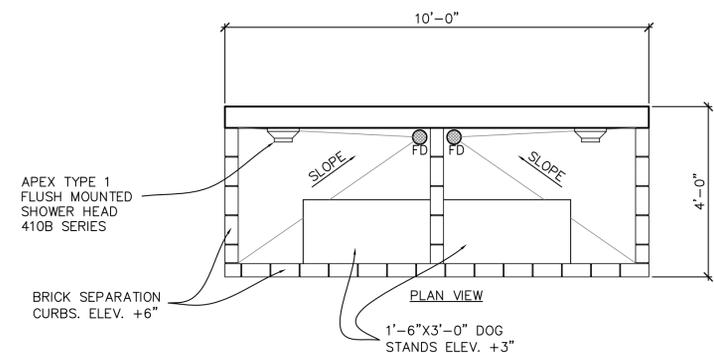
SOUTH ELEVATION



EAST ELEVATION



ELEVATION VIEW



DOG WASH PLAN
SCALE: 1/2"=1'-0"

REVISIONS	
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VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE(S) ACCORDINGLY

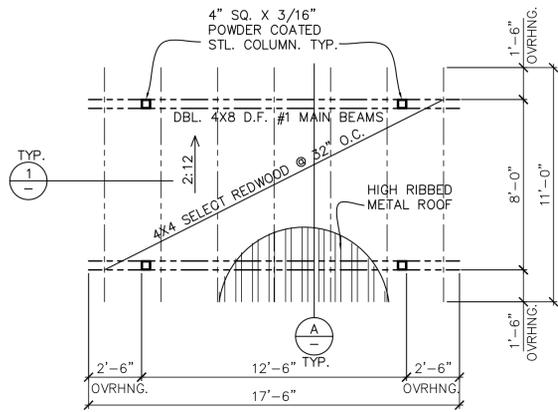
PROPOSED EQUIPMENT BUILDING FOR:
LENDCO LLC
98 MULTI-FAMILY APARTMENTS
NATIVE OAK DRIVE
CHICO, CA. 95928

LAUGHLIN and SPENCE
CIVIL ENGINEERS & SURVEYORS
1008 Live Oak Boulevard
Yuba City, California 95991
(530) 671 1008
fax (530) 671 0822

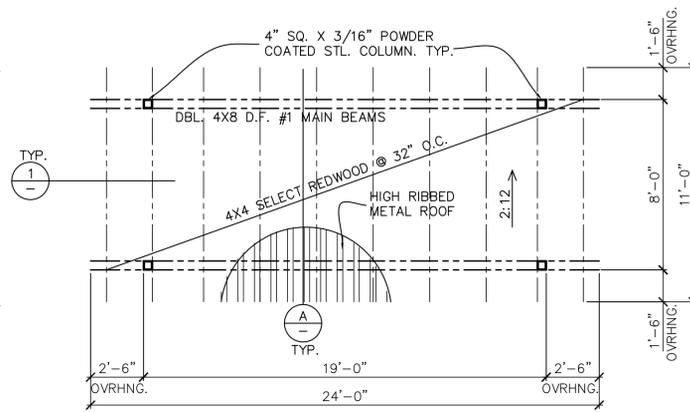


Date: 9-23-16
Scale: 1/4"=1'-0"
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JOB#: 154021
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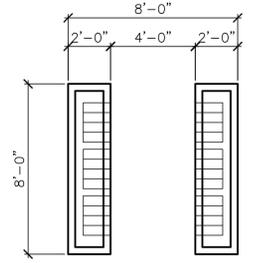
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Page 22 OF 23



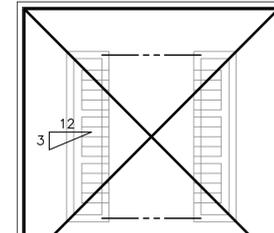
BICYCLE COVER @ 2 BIKE RACK GROUP



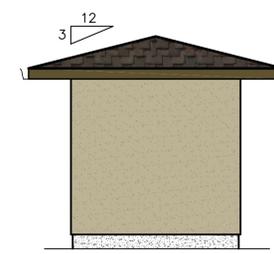
BICYCLE COVER @ 3 BIKE RACK GROUP



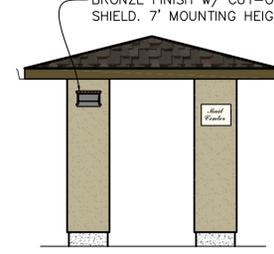
MAIL BUILDING FLOOR PLAN



MAIL BUILDING ROOF PLAN



NORTH & SOUTH ELEVATIONS

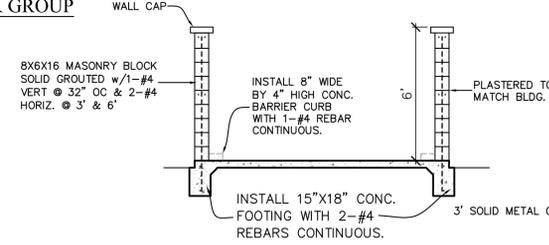


EAST & WEST ELEVATIONS

LED WALL PACK LIGHT FIXTURE. BRONZE FINISH w/ CUT-OFF LIGHT SHIELD. 7' MOUNTING HEIGHT.

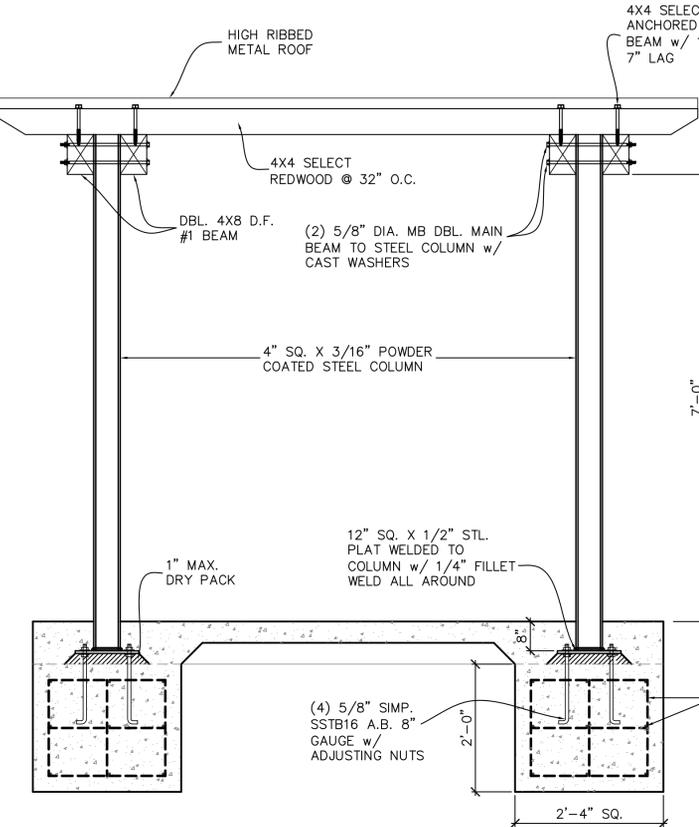
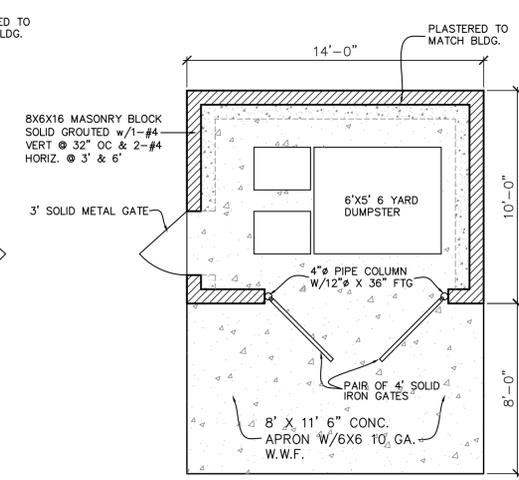
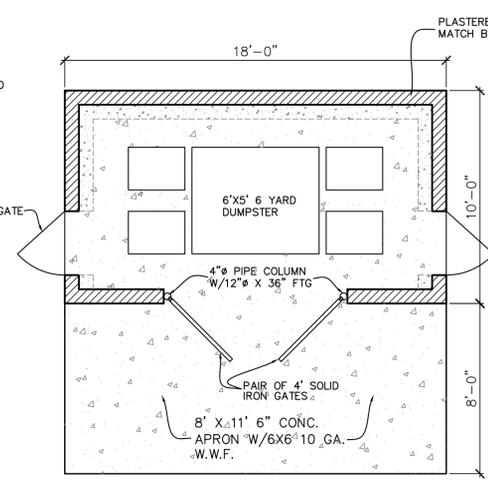
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VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING
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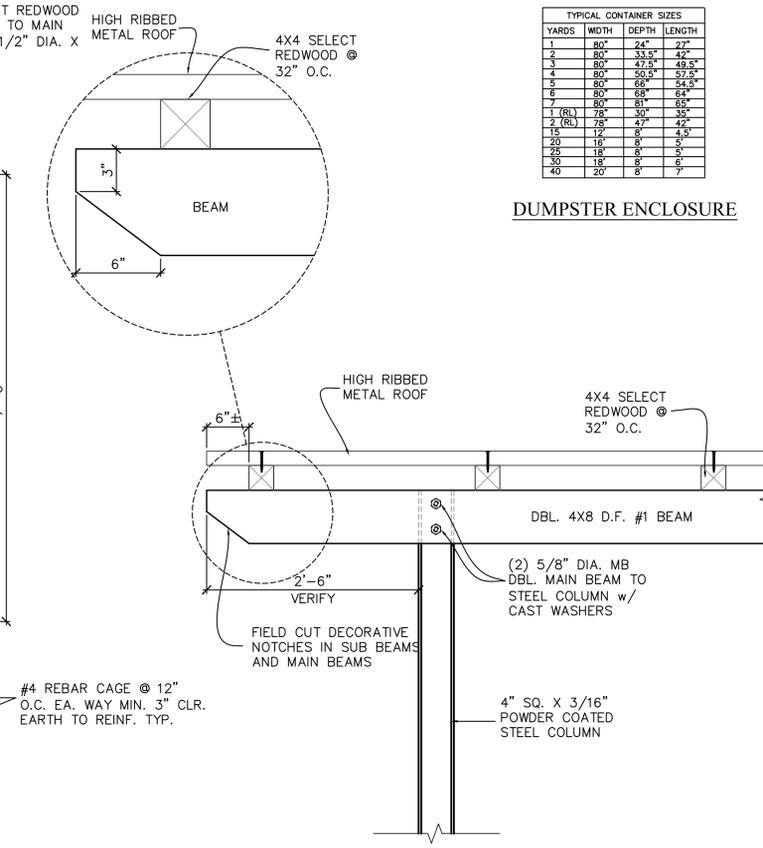


TYPICAL CONTAINER SIZES			
YARDS	WIDTH	DEPTH	LENGTH
1	80"	24"	27"
2	80"	33.5"	42"
3	80"	42.5"	49.5"
4	80"	50.5"	57.5"
5	80"	58"	64"
6	80"	66"	71.5"
7	80"	74"	79"
8	80"	81"	86.5"
1 (RL)	75"	30"	35"
2 (RL)	75"	47"	42"
10	12"	8"	4.5"
20	16"	8"	5"
30	18"	8"	5.5"
40	20"	8"	6"

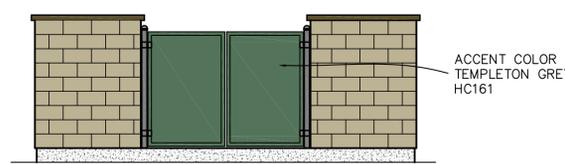
DUMPSTER ENCLOSURE



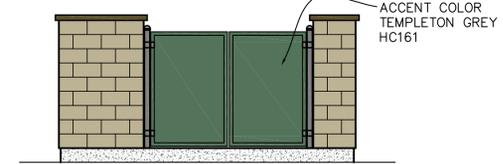
TYPICAL TRELLIS SECTION SCALE= 3/4"=1'-0"



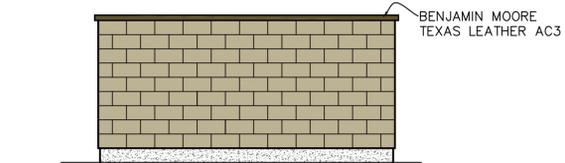
TYPICAL TRELLIS FRAMING DETAIL SCALE= 1"=1'-0"



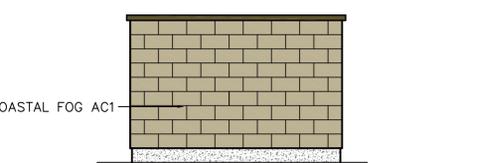
EAST ELEVATION @ ENCLOSURE #1 & 2
 WEST ELEVATION @ ENCLOSURE #5



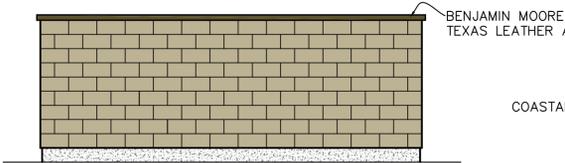
SOUTH ELEVATION @ ENCLOSURE #3 & 4



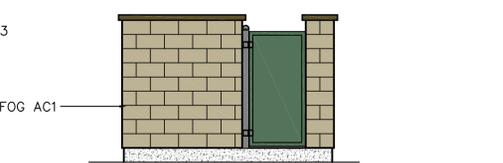
NORTH ELEVATION @ ENCLOSURE #3 & 4



EAST ELEVATION @ ENCLOSURE #3
 WEST ELEVATION @ ENCLOSURE #4



WEST ELEVATION @ ENCLOSURE #1 & 2
 EAST ELEVATION @ ENCLOSURE #5



NORTH & SOUTH ELEVATION @ ENCLOSURES #1,2 & 5
 WEST ELEVATION @ ENCLOSURE #3
 SOUTH ELEVATION @ ENCLOSURE #4

PROPOSED EQUIPMENT BUILDING FOR:
LENDCO LLC
 98 MULTI-FAMILY APARTMENTS
 NATIVE OAK DRIVE
 CHICO, CA. 95928

LAUGHLIN and SPENCE
 CIVIL ENGINEERS & SURVEYORS
 1008 Live Oak Boulevard
 Yuba City, California 95991
 (530) 671 1008
 fax (530) 671 0822

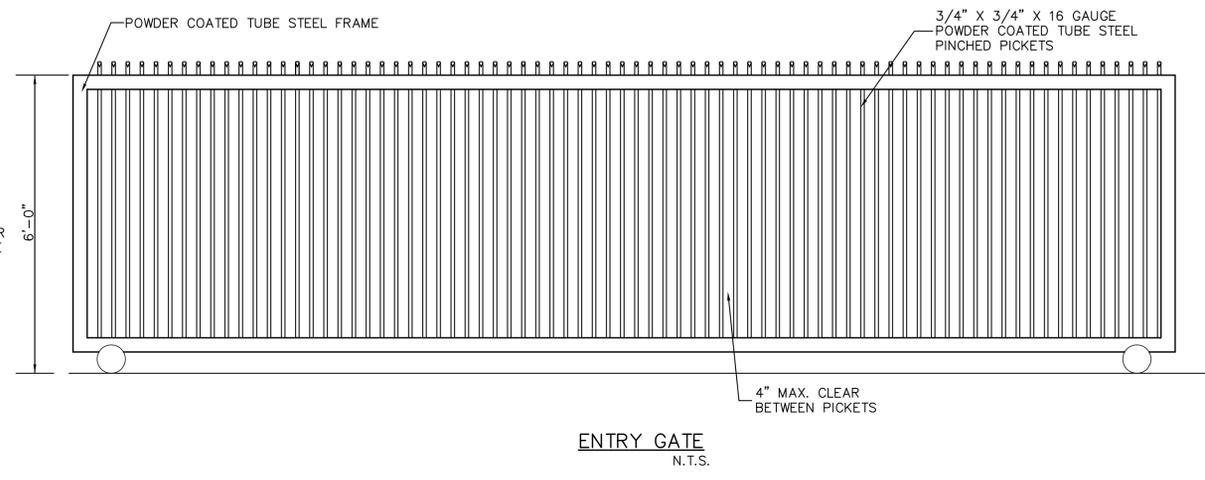
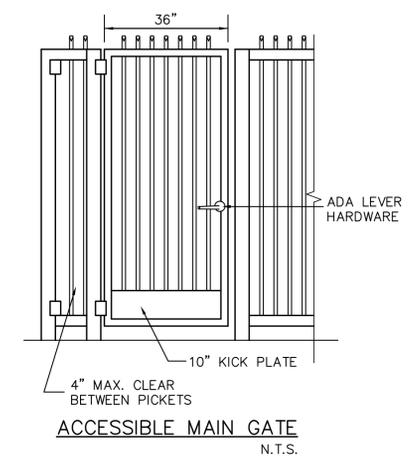
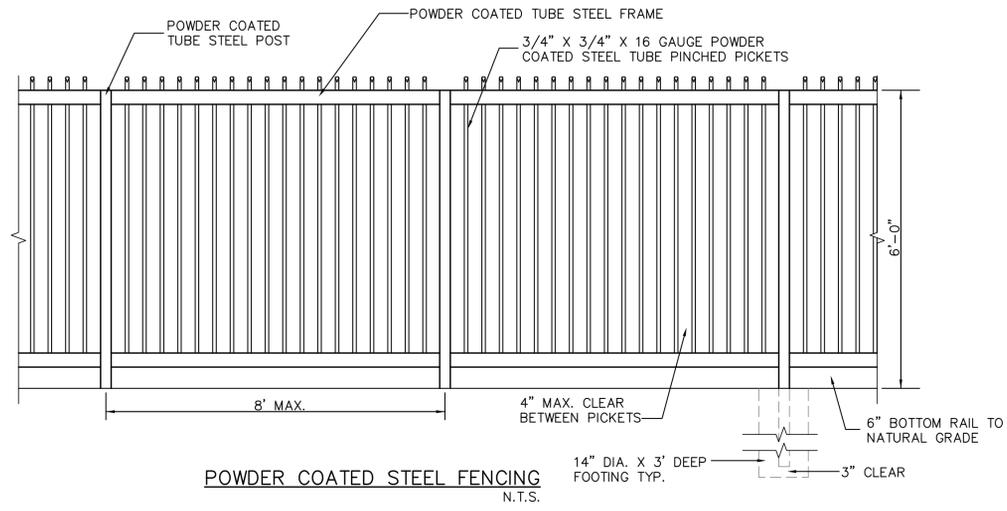


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 Scale: 1/4"=1'-0"
 Drawn: MM
 Job#: 154021
 Sheet:

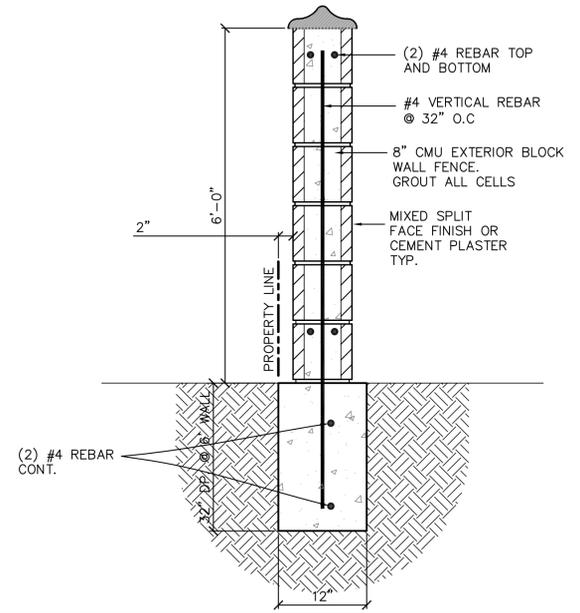
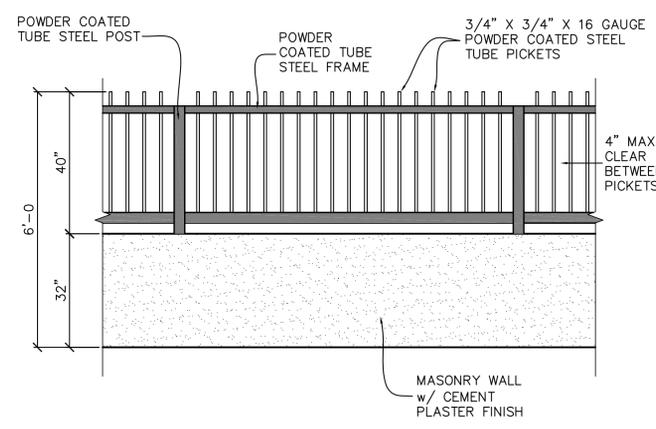
A2
 Page 23 OF 23

REVISIONS	
A	
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E	

VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE(S) ACCORDINGLY

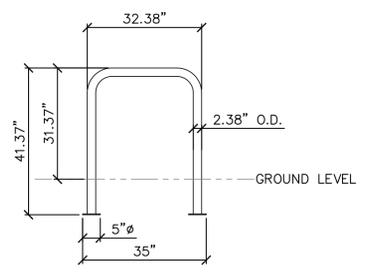


1) GATE, FENCE AND WALK DOOR DETAILS SCALE : N.T.S.



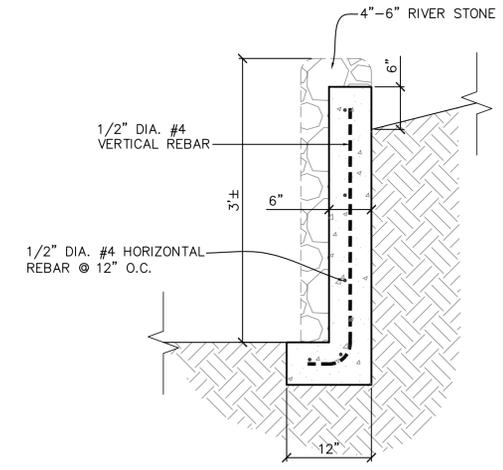
2) MASONRY WALL w/ WROUGHT IRON FENCE

3) BLOCK WALL DETAIL SCALE: N.T.S.

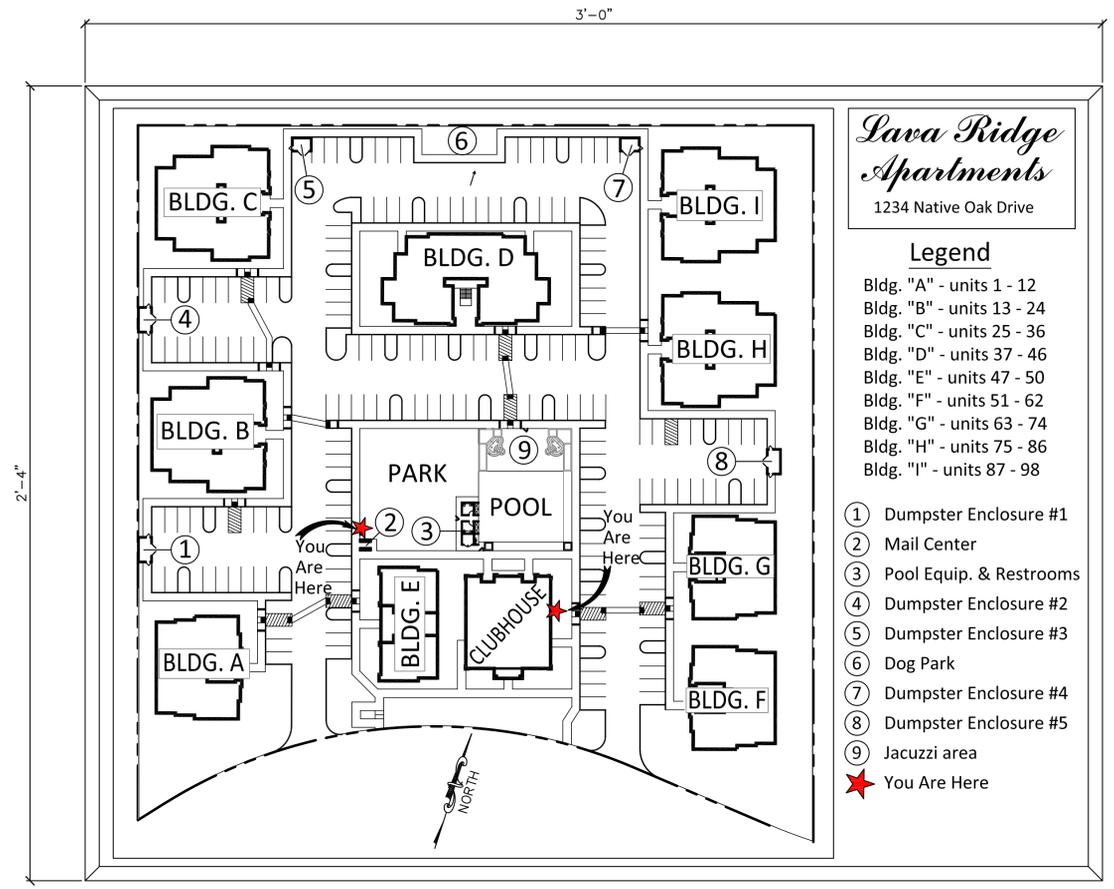


ANOVA LBR2PING U-BIKE RACK. 2-BIKE CAPACITY, POWDER COATED, IN GROUND MOUNT BIKE RACK.

4) BICYCLE RACK AND MOUNTING DETAIL SCALE: 1/2"=1'-0" (24"x36" SHEET)



5) STONE WALL DETAIL SCALE: 1"=1'-0" (24"x36" SHEET)



6) SITE SIGN DETAIL SCALE : N.T.S.

Lava Ridge Apartments
 1234 Native Oak Drive

- Legend**
- Bldg. "A" - units 1 - 12
 - Bldg. "B" - units 13 - 24
 - Bldg. "C" - units 25 - 36
 - Bldg. "D" - units 37 - 46
 - Bldg. "E" - units 47 - 50
 - Bldg. "F" - units 51 - 62
 - Bldg. "G" - units 63 - 74
 - Bldg. "H" - units 75 - 86
 - Bldg. "I" - units 87 - 98

- ① Dumpster Enclosure #1
- ② Mail Center
- ③ Pool Equip. & Restrooms
- ④ Dumpster Enclosure #2
- ⑤ Dumpster Enclosure #3
- ⑥ Dog Park
- ⑦ Dumpster Enclosure #4
- ⑧ Dumpster Enclosure #5
- ⑨ Jacuzzi area
- ★ You Are Here

PROPOSED SITE DEVELOPMENT PLAN FOR:
LENDCO LLC
98 MULTI-FAMILY APARTMENTS
 NATIVE OAK DRIVE
 CHICO, CA 95928

LAUGHLIN and SPENCE
 CIVIL ENGINEERS & SURVEYORS
 1008 Live Oak Boulevard
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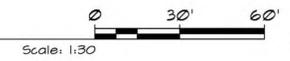
Date 9-23-16
 Scale AS NOTED
 Drawn SMJ
 Job 154021
 Sheet

C6

REFER TO THE ENLARGED AREA PLAN, SHEET L4



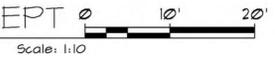
LANDSCAPE MASTER PLAN



REFER TO THE 1:20 AREA PLAN, SHEET L3

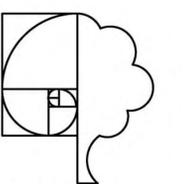


ENLARGED AREA PLANTING CONCEPT



PLAN NOTES:

- A. SCREEN THE GROUND HVAC UNITS WITH A 4' HIGH WALL AND OR EVERGREEN PLANTINGS
- B. SCREEN THE UTILITIES FROM VIEW WITH EVERGREEN PLANTINGS
- C. PLANTER CREEK DRIVE LANDSCAPE IMPROVEMENTS AS PER THE OAK VALLEY SUBDIVISION LANDSCAPE PLANS
- D. 60' WIDE SHR 32 LANDSCAPE BUFFER AS PER THE OAK VALLEY SUBDIVISION LANDSCAPE PLANS
- E. SCREEN THE TRASH ENCLOSURE WITH EVERGREEN SHRUBS AND VINES
- F. BIKE PARKING, TYP.

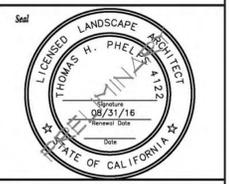


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LENDGO, LLC APARTMENTS
LANDSCAPE IMPROVEMENT PLANS
PLANTER CREEK DRIVE
CHICO, CA 95928

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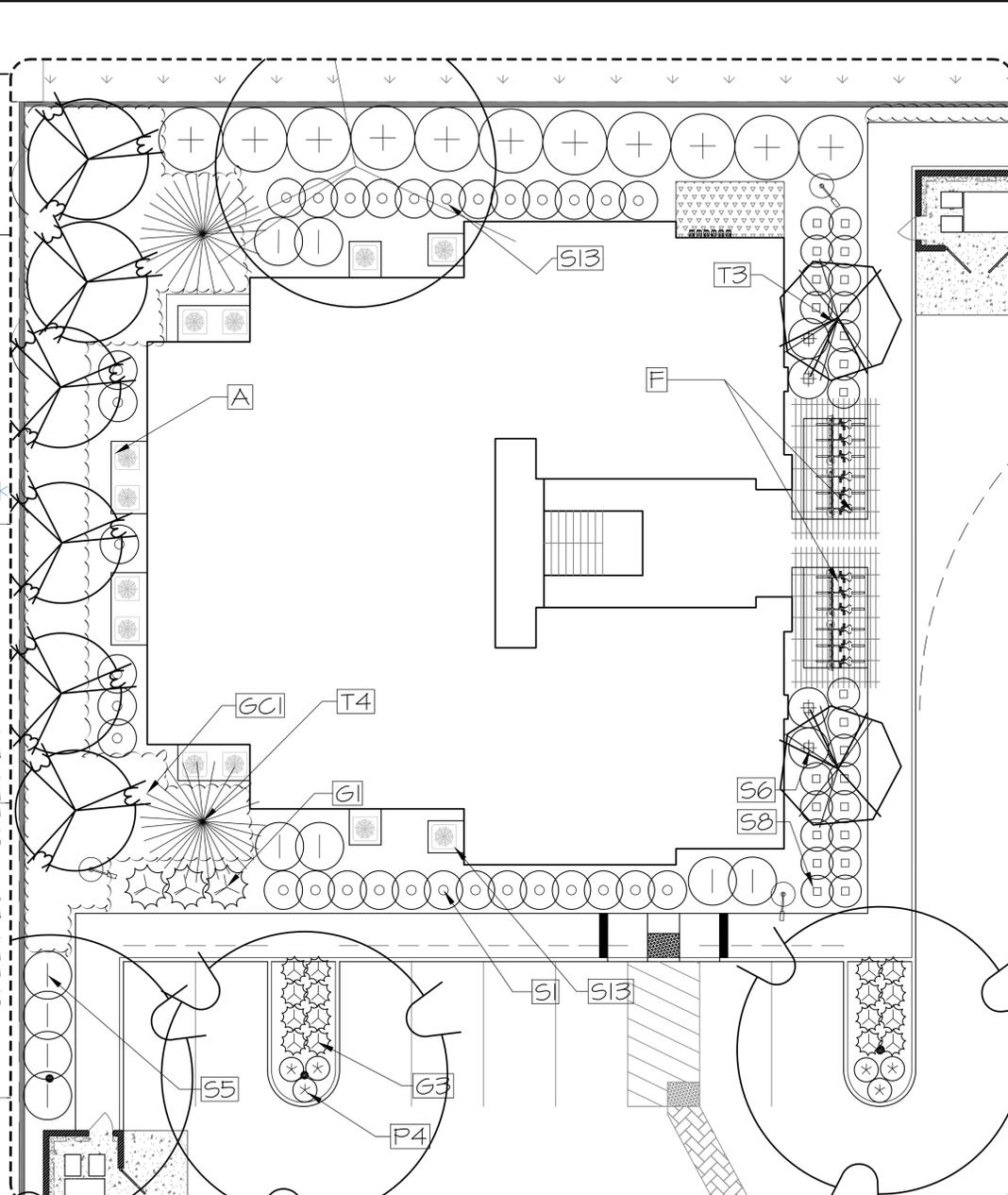
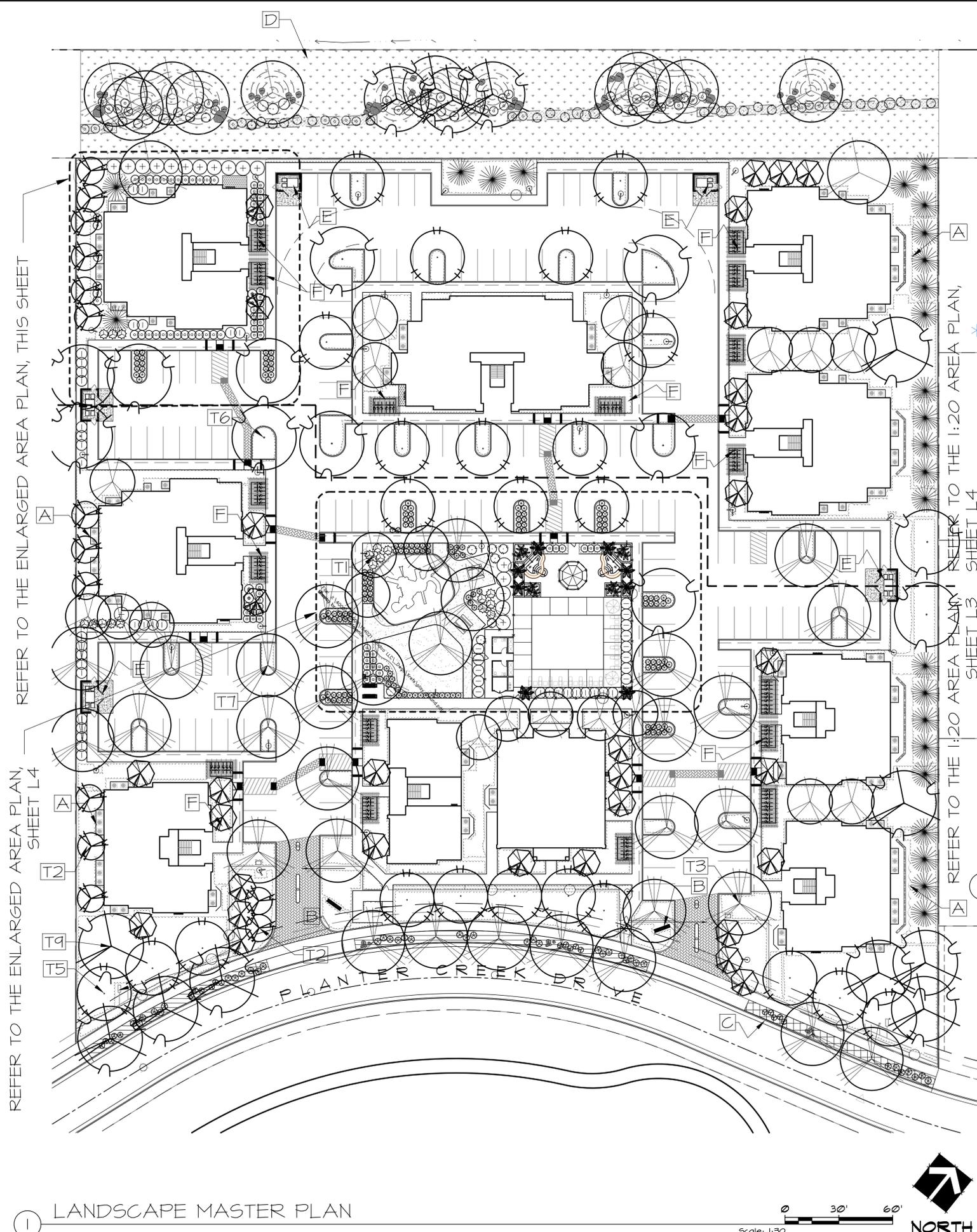
Sheet Title
LANDSCAPE MASTER PLAN



No.	Date	Revision
1	2-13-16	Owner changes
2		
3		
4		

Project Mgr.: THP
Drawn By: THP
Scale: 1"=30'
Date: 11 NOV 2015
File Name: CA_DD of 6 sheets

ATTACHMENT ' ' L1

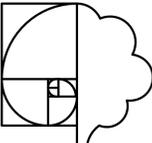


1 ENLARGED AREA PLANTING CONCEPT
Scale: 1:10

PLAN NOTES:

- A. SCREEN THE GROUND HVAC UNITS WITH A 4' HIGH WALL AND OR EVERGREEN PLANTINGS
- B. SCREEN THE UTILITIES FROM VIEW WITH EVERGREEN PLANTINGS
- C. PLANTER CREEK DRIVE LANDSCAPE IMPROVEMENTS AS PER THE OAK VALLEY SUBDIVISION LANDSCAPE PLANS
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- E. SCREEN THE TRASH ENCLOSURE WITH EVERGREEN SHRUBS AND VINES
- F. BIKE PARKING, TYP.

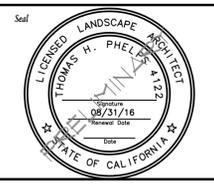
1 LANDSCAPE MASTER PLAN
Scale: 1:30


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LENDCO, LLC APARTMENTS
 LANDSCAPE IMPROVEMENT PLANS
 PLANTER CREEK DRIVE
 CHICO, CA 95928

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Sheet Title
 LANDSCAPE MASTER PLAN



No.	Date	Revision
1	2-13-16	Owner changes
2		
3		
4		

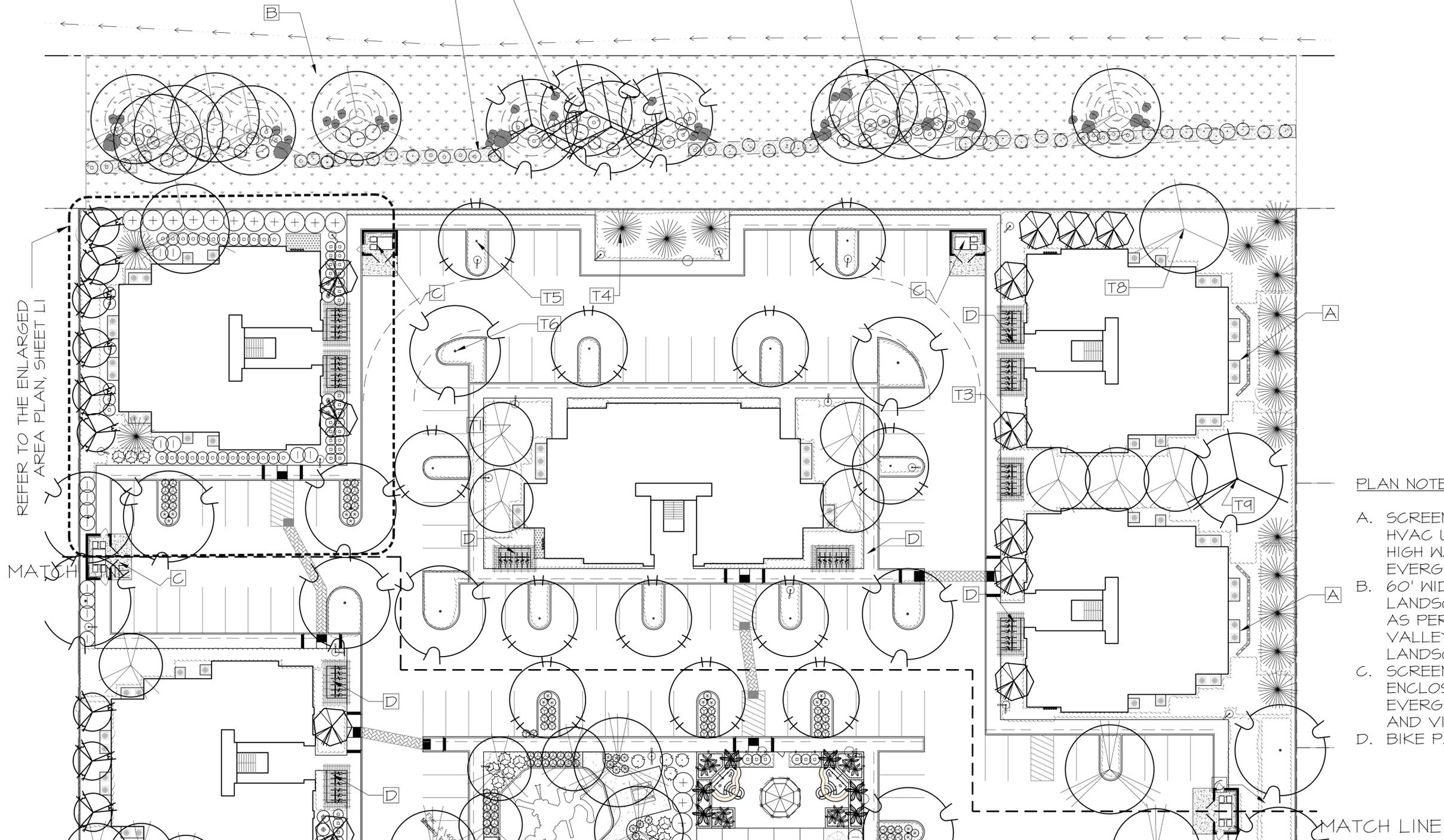
Project Mgr.: THP
 Drawn By: THP
 Scale: 1"=30'
 Date: 11 NOV 2015
 File Name: CA_DD of 6 sheets

ATTACHMENT ' ' L1

BOULDER LOCATION, TYP.
REFER TO NOTE B, SHEET LI,
OAK VALLEY SUBDIV. LANDSCAPE PLANS

24" DEEP X 60" WIDE PLANTING TRENCH;
BACK FILL WITH 50% COMPOST / 50%
AMENDED EXISTING SITE SOIL, TYP.

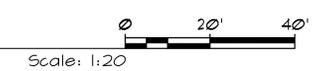
3:1 MOUNDED AREA WITH EXISTING
SITE SOIL, TYP.



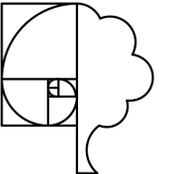
PLAN NOTES:

- A. SCREEN THE GROUND HVAC UNITS WITH A 4' HIGH WALL AND OR EVERGREEN PLANTINGS
- B. 60' WIDE SHR 32 LANDSCAPE BUFFER AS PER THE OAK VALLEY SUBDIVISION LANDSCAPE PLANS
- C. SCREEN THE TRASH ENCLOSURE WITH EVERGREEN SHRUBS AND VINES
- D. BIKE PARKING, TYP.

1 LANDSCAPE MASTER PLAN - NORTH



ATTACHMENT ' ' 6



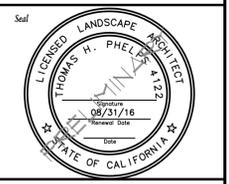
THOMAS H. PHELPS
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thphelps@sbcglobal.net

LENDCO, LLC APARTMENTS
 LANDSCAPE IMPROVEMENT PLANS
 PLANTER CREEK DRIVE
 CHICO, CA 95928

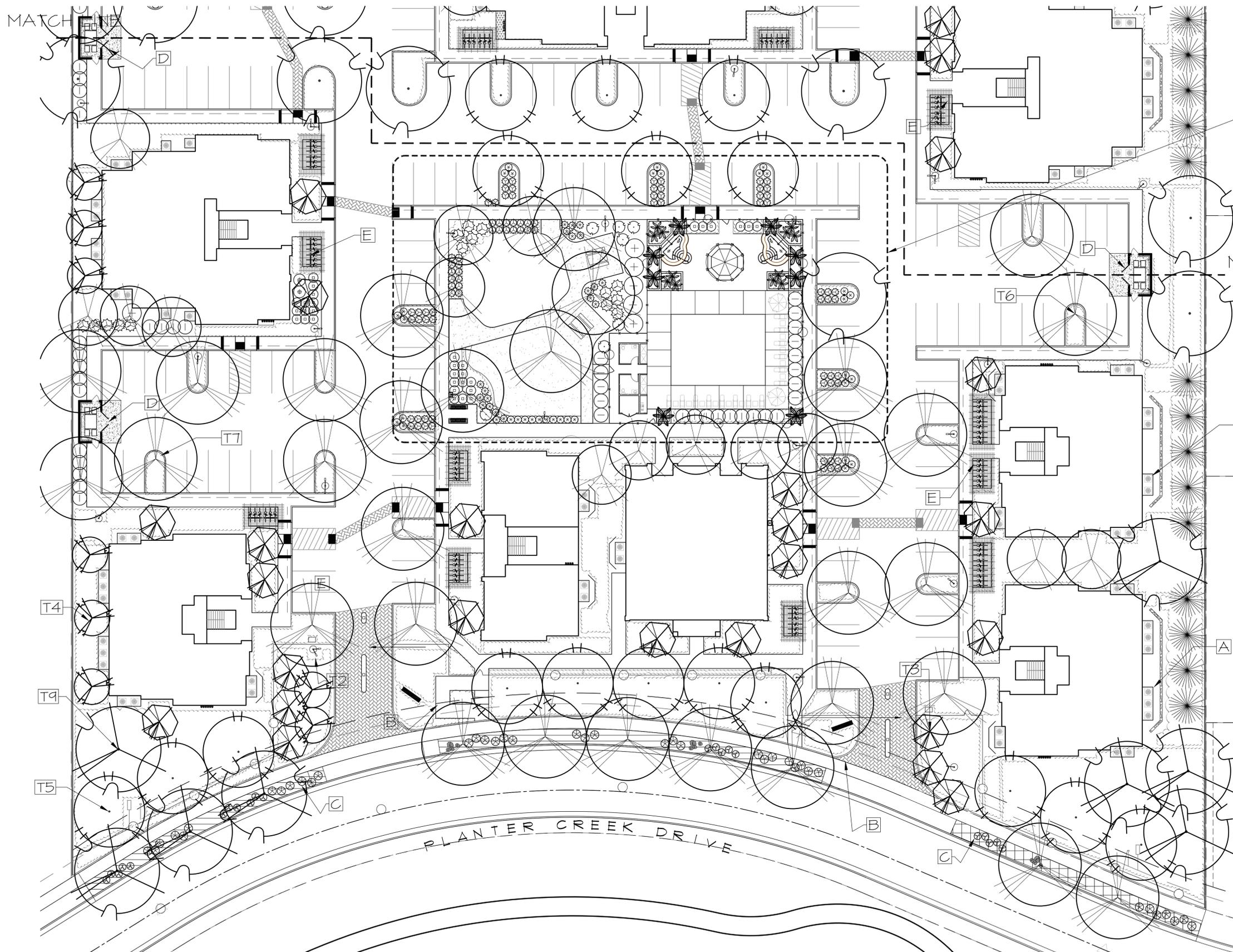
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Sheet Title
LANDSCAPE MASTER PLAN



No.	Date	Revision
1	2-23-16	owner changes
2		
3		
4		

Project Mgr.: THP
 Drawn By: THP
 Scale: 1"=20'
 Date: 11 NOV 2015
 File Name: CA_DD of 6 sheets



REFER TO THE ENLARGED
POOL AREA & COMMON
AREA PLAN, SHEET L4

MATCH LINE

PLAN NOTES:

- A. SCREEN THE GROUND HVAC UNITS WITH A 4' HIGH WALL AND OR EVERGREEN PLANTINGS
- B. SCREEN THE UTILITIES FROM VIEW WITH EVERGREEN PLANTINGS
- C. PLANTER CREEK DRIVE LANDSCAPE IMPROVEMENTS AS PER THE OAK VALLEY SUBDIVISION LANDSCAPE PLANS
- D. SCREEN THE TRASH ENCLOSURE WITH EVERGREEN SHRUBS AND VINES
- E. BIKE PARKING, TYP.

① LANDSCAPE MASTER PLAN - SOUTH

Scale: 1"=20'



ATTACHMENT ' ' L3

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LENDGO, LLC APARTMENTS
 LANDSCAPE IMPROVEMENT PLANS
 PLANTER CREEK DRIVE
 CHICO, CA 95928

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Sheet Title
LANDSCAPE MASTER PLAN



No.	Date	Revision
1	2-23-16	owner changes

Project Mgr.: THP Sheet No.:
 Drawn By: THP L3
 Scale: 1"=20'
 Date: 11 NOV 2015
 File Name: CA_DD of 6 sheets



REVISIONS	
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D	
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VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE(S) ACCORDINGLY

PROPOSED SITE DEVELOPMENT FOR:
LENDCO LLC
98 MULTI-FAMILY APARTMENTS
 NATIVE OAK DRIVE
 CHICO, CA 95928

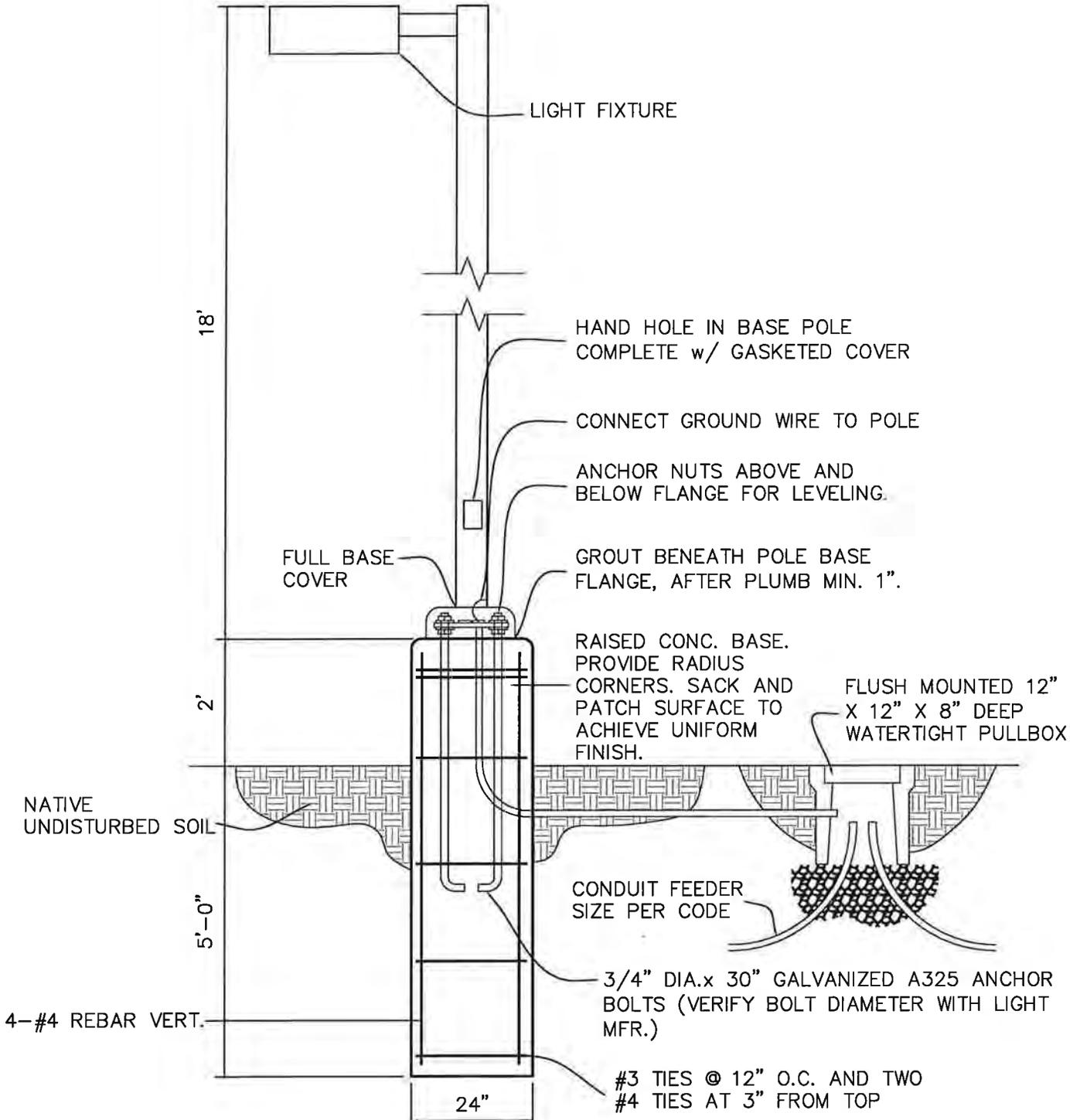
LAUGHLIN and SPENCE
 CIVIL ENGINEERS & SURVEYORS
 1008 Live Oak Boulevard
 Yuba City, California 95991
 (530) 671 1008
 fax (530) 671 0822



LUMINAIRE SCHEDULE								
SYMBOL	LABEL	QTY.	CATALOG #	DESCRIPTION	LAMP	LUMENS	LLF	WATTS
	LP1	5	AS2 250M SR3HS (PULSE START)	ARCHITECTURAL ARM MOUNTED CUTOFF LUMINAIRE W/ SR3 REFLECTOR, BLACK INTERNAL HOUSE SIDE SHIELD MEETS THE "NIGHTTIME FRIENDLY" CRITERIA	(1) 250 WATT ED28 PULSE START METAL HALIDE.	22500	1.00	288
	LP2	6	AS2 250M SR3HS (PULSE START)	ARCHITECTURAL ARM MOUNTED CUTOFF LUMINAIRE W/ SR3 REFLECTOR, BLACK INTERNAL HOUSE SIDE SHIELD MEETS THE "NIGHTTIME FRIENDLY" CRITERIA	(2) 250 WATT ED28 PULSE START METAL HALIDE.	45000	1.00	576
	WP	26	TWR1 LED 1 50K MVOLT	2100mm TWR1 LED WALL PACK	(1) 31 WATT LED LIGHT	ABSOLUTE	1.00	34.4

PHOTOMETRIC LIGHTING PLAN

Date 9-23-16
 Scale 1"=30'
 Drawn MM
 Job 154021
 Sheet **C3**
 Page 3 OF 22



SECTION



FEATURES & SPECIFICATIONS

INTENDED USE — Streets, walkways, parking lots and surrounding areas.

CONSTRUCTION — Rugged, die-cast, single-piece aluminum housing with nominal wall thickness of 1/8". Die-cast door frame has Impact-resistant, tempered, glass lens (3/16" thick). Door frame is fully gasketed with one-piece tubular silicone. **US Patent No. D447,590. Canada Patent No. 94324.**

Finish: Standard finish is dark bronze polyester powder finish. Additional architectural colors are available.

OPTICS — Anodized segmented reflectors for superior uniformity and control. Reflectors attach with tool-less fasteners and are rotatable and interchangeable. Five full cutoff distributions available: Type II (roadway), Type III (asymmetric), Type IV (forward throw), Type IV (wide, forward throw) and Type V (symmetric square).

ELECTRICAL — Ballast: Constant wattage autotransformer. Metal Halide: Super CWA (pulse start ballast), 88% efficient and EISA legislation compliant, is required for 175-400W (SCWA option) for US shipments only. CSA, NOM or INTL required for probe start shipments outside of the US. Pulse-start ballast (SCWA) required for 200W, 320W, or 350W. Ballast is 100% factory-tested. All ballasts are mounted on a removable power tray with tool-less latch and have positive locking disconnect plug.

Socket: Porcelain, horizontally-mounted, mogul-base socket with copper alloy, nickel-plated screw shell and center contact.

INSTALLATION — Integral arm for pole or wall mounting. Optional mountings available.

LISTINGS — UL Listed (standard). CSA Certified (see Options). UL listed for 25°C ambient and wet locations. IP65 Rated.

WARRANTY — 1-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/terms_and_conditions.aspx

Note: Specifications subject to change without notice.

Catalog Number
Notes
Type

AERIS™
Architectural Area & Roadway Luminares

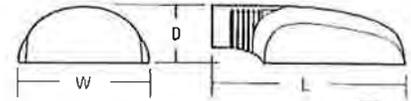


AS2

METAL HALIDE: 175W-400W
HIGH PRESSURE SODIUM: 200W-400W
10' to 35' Mounting

Specifications

EPA: 1.2 ft²
Length: 28-1/2 (72.4)
Width: 17-1/8 (43.2)
Height: 8-3/8 (21.0)
*Weight: 40 lbs (18.2 kg)



All dimensions are inches (centimeters) unless otherwise indicated.
*Weight as configured in example below.



ORDERING INFORMATION

For shortest lead times, configure products using standard options (shown in bold).

Example: AS2 250M SR3 TB SCWA SPA LPI

AS2	Wattage	Distribution	Voltage	Ballast	Mounting	Options	Finish ¹⁶	Lamp ¹⁷		
AS2	<u>Metal halide</u>	SR2	Segmented type II roadway	120	(blank) Magnetic ballast CWI Constant wattage isolated Pulse Start SCWA Super CWA pulse start ballast	SPA Square pole mounting	Shipped installed in fixture SF Single fuse (120, 277, 347V) DF Double fuse (208, 240, 480V) PER NEMA twist-lock receptacle only (no photocontrol) EC Emergency circuit ¹³ QRS Quartz restrike system ¹³ HS Houseside shield (SR2, SR3) ^{11, 14} CSA CSA certified NOM NOM certified ⁹ INTL Available for MH probe start shipping outside the U.S. REGC1 California Title 20 effective 7/1/2010 Shipped separately¹¹ PE1 NEMA twist-lock PE (120, 208, 240V) PE3 NEMA twist-lock PE (347V) PE4 NEMA twist-lock PE (480V) PE7 NEMA twist-lock PE (277V) SC Shorting cap VG Vandal guard ¹⁵	(blank) Dark bronze	LPI Lamp included	
	175M ²		Segmented type III asymmetric	208 ⁷		RPA Round pole mounting		DBL Black	L/LP Less lamp	
	200M ³		Segmented type IV forward throw, sharp cutoff	240 ⁷		WBA Wall bracket (up or down) ¹⁰		DGC Charcoal gray		
	250M⁴	SR3	Segmented type IV wide, forward throw	277	Shipped separately^{11, 12} ASKMA2 Mast arm adapter DCAS2 Decorative curved arm, square pole only DCAS2R Decorative curved arm, round pole only SPA19/AS Square pole adaptor (DM19 to SPA) RPA19/AS Round pole adaptor (DM19 to RPA)	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white				
	320M ³		Segmented type V symmetric square	347				DMB Medium bronze		
	350M ^{2, 3, 5}			480 ⁷				DNA Natural aluminum		
	400M^{4, 5}	SR4SC		23050HZ ⁹					DWH White	
	<u>High pressure sodium⁶</u>								Super Durable Finishes	
	200S									
	250S	SR4W								
	400S									
		SR5S								

Note: Aeris™ has a unique drilling template that requires an Aeris drilling pattern to be specified when ordering poles. See example below.
Example: SSA 20 4C DM19AS DDB
Aeris Drilling Pattern
DM19AS 1 at 90 degrees
DM2BAS 2 at 180 degrees
DM29AS 2 at 90 degrees
DM39AS 3 at 90 degrees
DM49AS 4 at 90 degrees
DM32AS 3 at 120 degrees (round poles only)

Accessories: Tenon Mounting Slipfitter
Order as separate catalog number. Must be used with pole mounting (RPA).

Tenon O.D.	One	Two@180°	Two@90°	Three@120°	Three@90°	Four@90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

- Notes**
- Lower wattages available. Consult factory.
 - These wattages do not comply with California Title 20 regulations.
 - Must be ordered with SCWA.
 - These wattages require the REGC1 option to be chosen for shipments into California for Title 20 compliance. 250M REGC1 in not available in 347 or 480V.
 - Must use reduced jacket lamp.
 - Not available with SCWA.
 - Must specify CWI for use in Canada.
 - Optional multi-tap ballast (120, 208, 240, 277V) (120, 277, 347V in Canada)
 - Consult factory for available wattage.
 - Mounted in lens-up orientation, fixture is damp location listed.
 - May be ordered as an accessory.
 - Must specify finish when ordered as an accessory.
 - Maximum allowance wattage lamp included.
 - Order AS2SR2/3HS U or AS2SR4WHS U as an accessory.
 - Order AS2VG U as an accessory.
 - See www.lithonia.com/archcolors for additional color options
 - Must be specified

RECEIVED

APR 19 2015

CITY OF CHICO
PLANNING SERVICES

REVISIONS	
1	



J:\4000\154000\154021 Lendco LLC\Visual_Rep\LOCATION_COVER.dwg 04/19/15 11:46 amLS2013-

PROPOSED SITE DEVELOPMENT FOR:
LENDCO LLC
98 MULTI-FAMILY APARTMENTS
NATIVE OAK DRIVE
CHICO, CA 95928

LAUGHLIN and SPENCE
CIVIL ENGINEERS & SURVEYORS
1008 Line Oak Boulevard
Yuba City, California 95991
(530) 671-1008
Fax (530) 671-0822



DATE: 4-14-16
SCALE: 1"=300'
SHEET: SB
PROJECT: 154021

V1

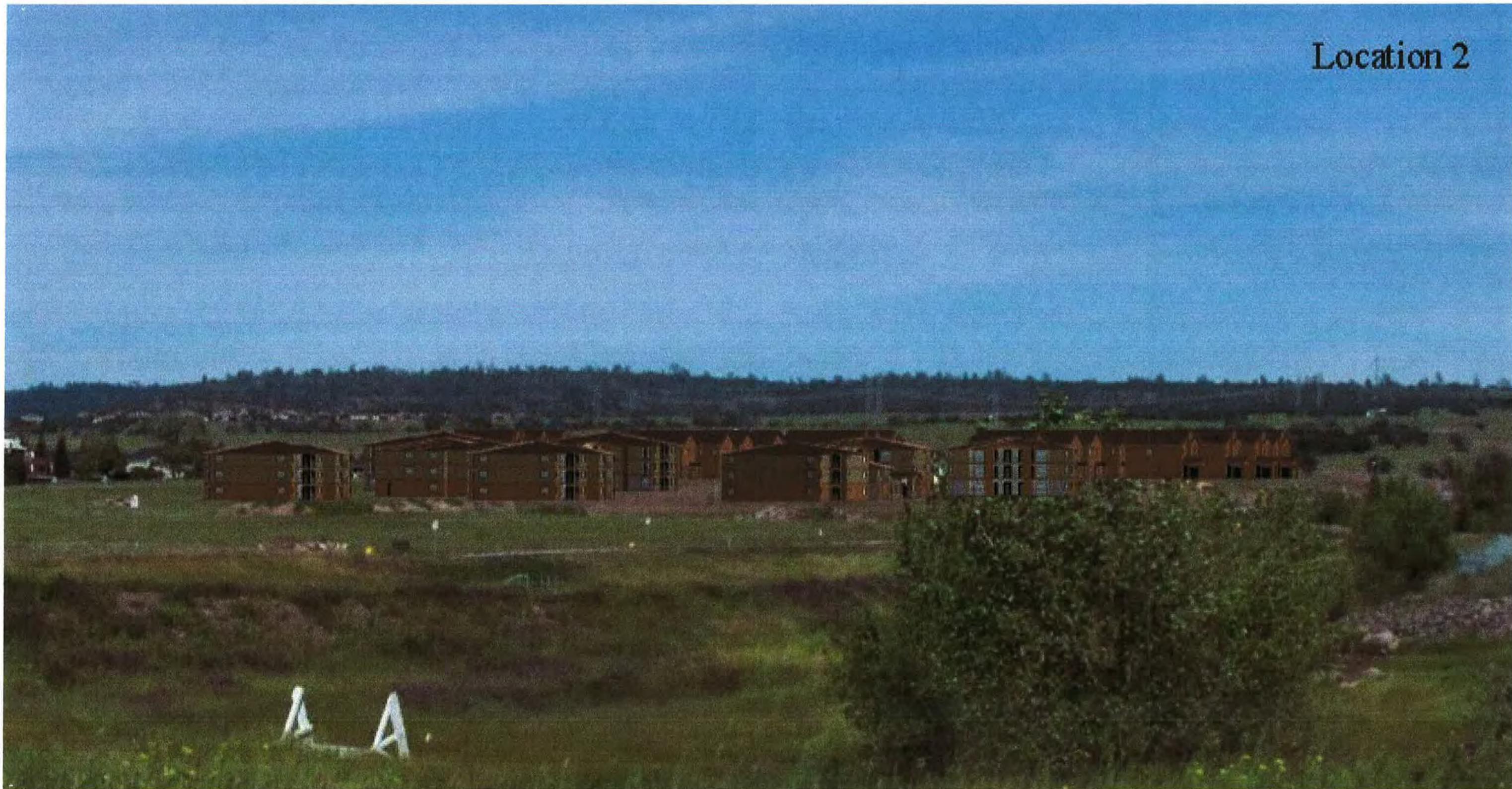
VISUAL IMPACT LOCATION MAP

Location 1



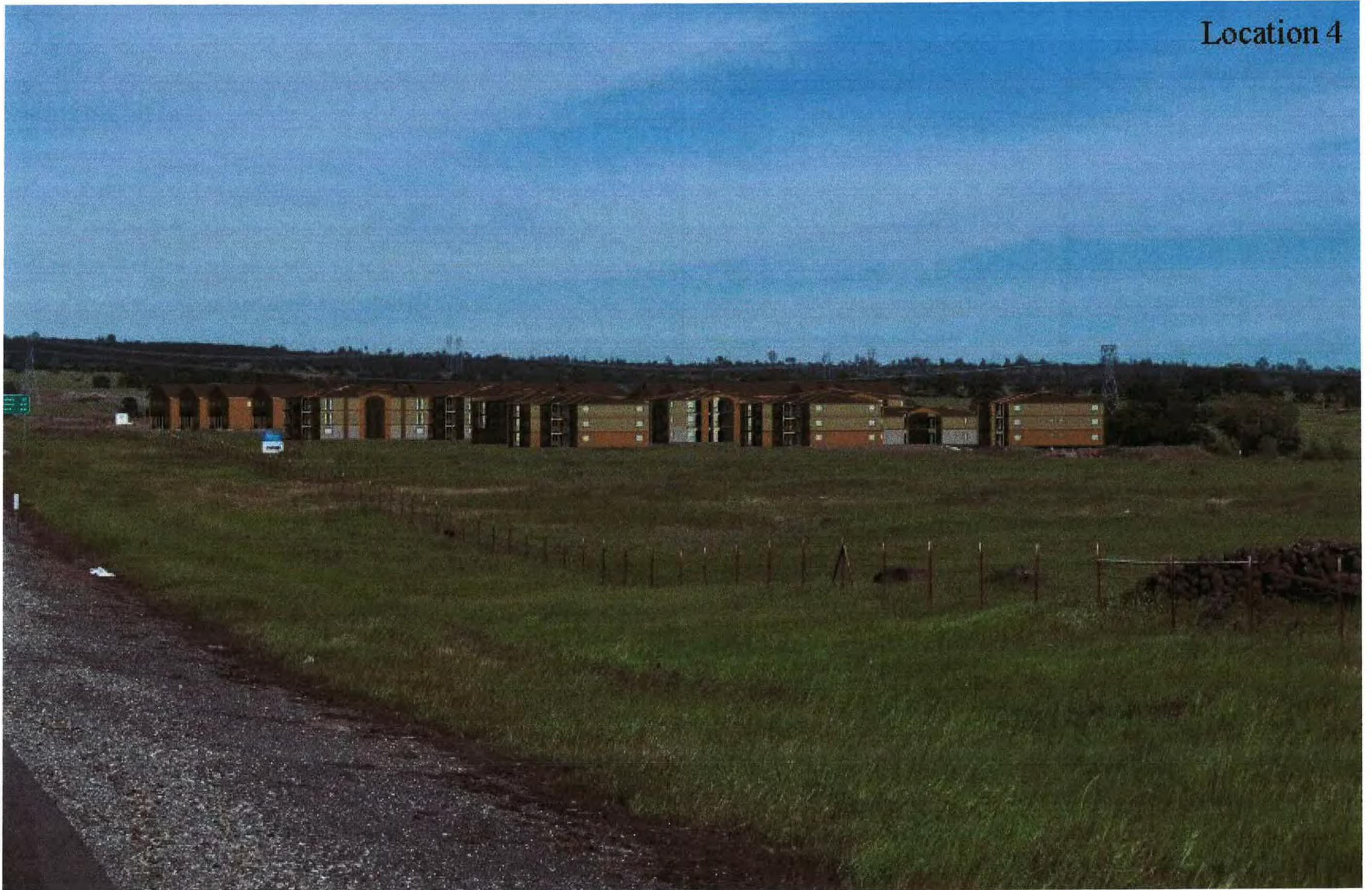
Attachment I

Location 2





Location 4



Attachment I



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FEB 25 2016

CITY OF CHICO
PLANNING SERVICES

Project Description
Lava Ridge Apartments
Native Oak Drive
Chico, California

The Lava Ridge Apartments project is one of the multi-family portions of the 2007 approved Oak Valley Development. This development is located south of State Highway 32 and east of Bruce Road. This apartment site consists of 4.97 acres of a vacant constructed building pad. It is zoned R3-SD2: medium density residential, with special design consideration 2 overlay zoning district. The development is subject to the FD Foothill Development Standards. This lot is bounded by Highway 32 on the north, R-1 on the east, R-3 on the west and Native Oak Drive on the south with the Dead Horse Slough open space area.

This parcel is part of the Phase I, 43 acre, Valley Oak Development. The parcel has been graded and established for development. It is generally flat with no trees and non-native grasses. The grading has positioned the lot substantially below the profile of State Highway 32 and the R-1 development to the East. It is slightly above or level with the recently constructed Native Oak Drive. This drive has curbs, gutters, sidewalks and utilities with a detached paved bicycle route parallel to the drive on the south.

The Lava Ridge apartment development proposes 36-1 bedroom apartments, 52-2 bedroom apartments and 10-3 bedroom apartments at 19.8 units an acre. A 3,600 square foot clubhouse is provided with a gym, business room, entertainment/lobby area, coffee/snack area, offices and restrooms. With the clubhouse, there is a 1,200 square foot pool, two Jacuzzis, cabana, park with tot equipment and restrooms. The mail center is conveniently located within this complex. The clubhouse complex is centrally located between the two gate controlled access drives near Native Creek Drive. This proposed development also includes a dog park, 176 parking spaces including ADA and electric vehicle parking. Bicycle facilities are integrated to each building and the clubhouse, pool, park area. Photometric lighting studies were done to insure adequate security lighting without light pollution to adjacent properties. Site landscaping consists of 35% of this site.

The proposed development provides a quality protected environment where residents can live quietly and have an available recreation and gathering complex as well as a venue to host private parties. The contemporary design of the two and three story apartment buildings and clubhouse creates attractive highly functional residential building. This design is accented by color variations and architectural features while maintaining developmental continuity. Multiple roof spans, building articulations, railed balconies and patios and arched entries provides interesting and pleasant building appearances. Roof coverings are concrete tile. Wall coverings are cement plaster (medium texture), with the ground level incorporating stucco stone. Plaster

trim is specified at all windows and doors and at each level. Safety rails are powder coated steel at all balconies and patios.

All utilities for the buildings are included within the building or shielded with landscaping or shield walls.

Conformance to City of Chico Design Review

DG 1.1.11 – Project provides common design elements for building architecture providing a sense of neighborhood.

DG 1.1.12 – Project reduced building length by using minimum roof pitch, minimum wall height and lowered building pad to protect view vistas and provide high visibility to the Dead Horse Slough open space area by building placement and view corridors.

DG 1.1.13 – Project provides full pedestrian access to all project elements with pedestrian friendly circulation to all facilities and public sidewalks.

DG 1.1.14 – Project provides required parking internally and away from public way.

DG 1.1.15 – Project places project gathering center near the public street.

DG 1.1.26 – Project layout provides visual presence and association with the Dead horse Slough open space area.

DG 1.1.32 – Project provides pedestrian oriented gathering area with centrally located community center.

DG 1.1.34 – Project provides sense for place with common architectural theme and to the greater Chico area by extensive pedestrian and bicycle facilities integrated paver areas within the circulation element.

DG 1.1.35 – Project provides photometric analysis to insure adequate safety lighting while minimizing light spill to adjacent areas.

DG 1.1.42 – Project provides park, tot area, pool, spa, community center and dog park.

DG 1.2.13 – Project scale and characters in conformance with zoning provides compatibility to future approved neighborhood.

DG 1.2.22 – Projects low pitched, multi-sectioned hip roofs add character and sense of place.

DG 1.2.31 Project color selection and variations compliment the natural vistas of the area.

DG 1.2.32 Project use of stone, plaster surfaces and tile roofs all provide a sense of permanence and place.

DG 1.3.13 Project provides and enhances pedestrian scale and orientation.

DG 1.3.15 Project provides views and orientation to Dead Horse Slough.

DG 1.3.22 – Project provides stamped, decorative concrete at entrance and at pedestrian crossings.

DG 1.3.78 – Project does not propose any roof mounted mechanical equipment.

DG 1.5.11 – Project entrances clearly lighted.

DG 1.5.13 – Project proposed max parking lot lights at 18' FT height.

DG 1.5.14 – Project provides photometric plan to assume safety light without excessive light.

DG 1.5.15 – Project provide cut off fixtures for site lighting where necessary.

DG 1.5.16 – Project provides pedestrian scaled lighting.

DG 1.5.19 – Project provides cut off fixtures to minimize light spillage into adjacent areas.

DG 1.6.14 – Project provides small lighted building identification plaque for each building.

DG 1.6.16 – Project provides lighted entrance monument sign of pedestrian scale on lava cap base.

DG 1.8.12 – Project provides common design elements while considering compatibility with community.

DG 4.1.11 – Project provides sense of community by building designs and orientation.

DG 4.1.14 – Project provides a mix of unit sizes and shapes.

DG 4.1.15 – Project provides building set back variations and angled building orientation with offset parking isles.

DG 4.1.21 – Project provides view corridors and community center complex oriented to Dead Horse Slough open space.

DG 4.1.23 – Project provides building variety including size and stories.

DG 4.1.24 – Project provides balconies and patios with orientation towards parking and pedestrian areas.

DG 4.1.31 – Project provides directory signage with efficient circulation pattern.

DG 4.1.33 – Project provides pavement texture changes at pedestrian areas.

DG 4.1.35 Project provides direct pedestrian connection from public sidewalks and bicycle entrance to complex.

DG 4.1.41 – Project provides pedestrian sidewalks to all areas of complex.

DG 4.1.42 – Project provides centrally located community center complex.

DG 4.1.43 – Project proposes no site barriers for all forms of circulation.

DG 4.1.44 – Project provides photo metric plan to insure safety lighting without unnecessary glare.

DG 4.1.45 – Project provides community center complex including community building, park, tot lot, pool, Jacuzzi, cabana and dog park.

DG 4.1.52 – Project provides direct sidewalks from bicycle/vehicle parking to units.

DG 4.1.53 – Project provides safety lighting cutoff to eliminate glare.

DG 4.2.11 – Project provides individual buildings, articulations, material and color variations, and roof variations.

DG 4.2.22 – Project provides architectural design theme to establish project identity.

DG 4.2.31 – Project provides public way color variations, stone veneer and varied architectural elements.

DG 4.2.32 – Project provides front facing patios and balconies with definitive access walks to buildings.

DG 4.2.41 – Project provides clearly defined entrances.